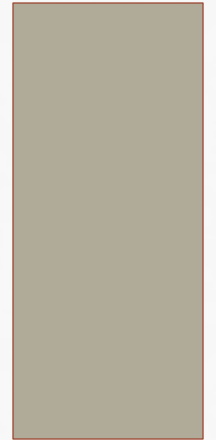
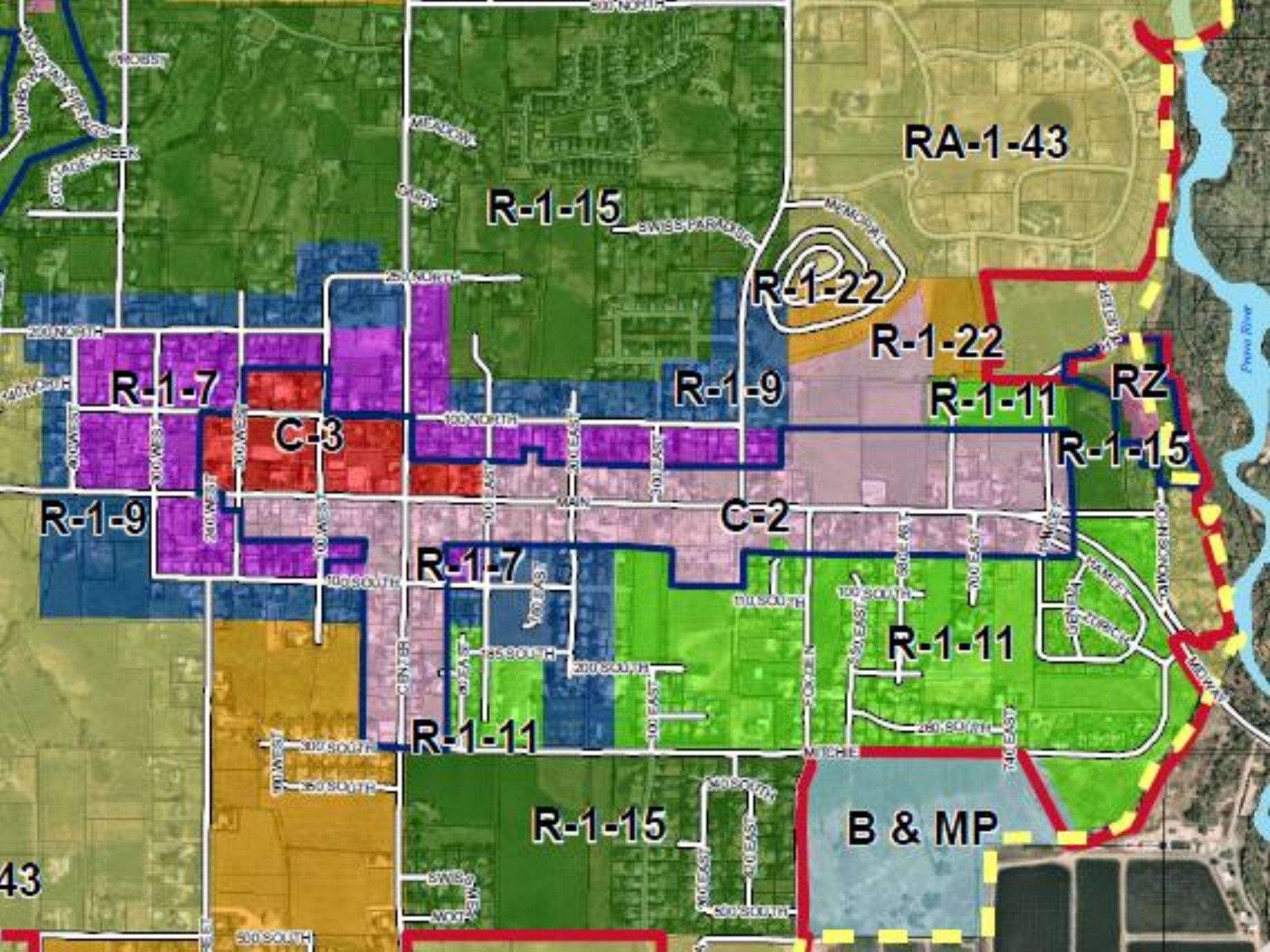


MAIN STREET DISCUSSION

CITY PLANNER





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R-1-22

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R-1-11

RZ

C-3

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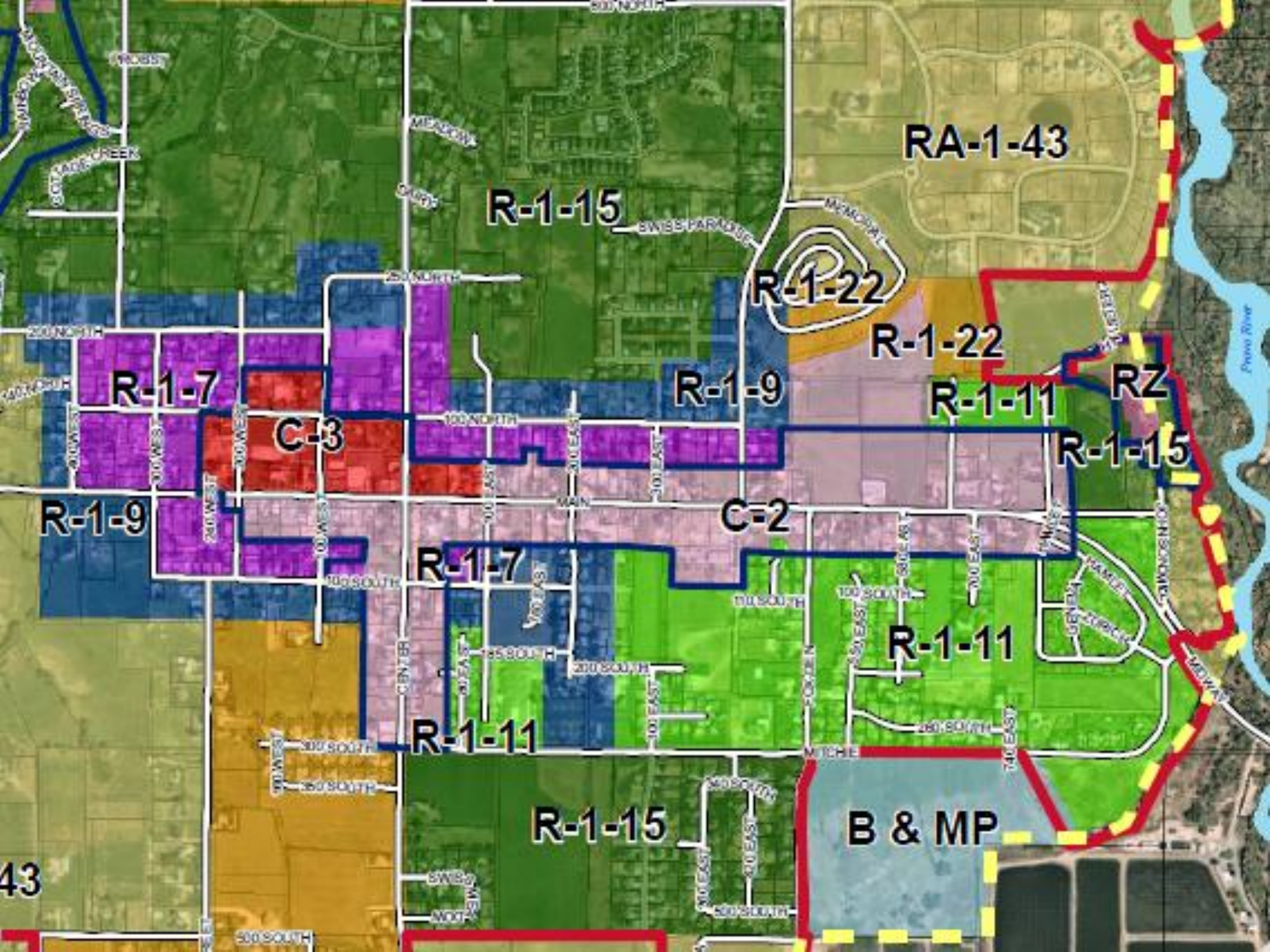
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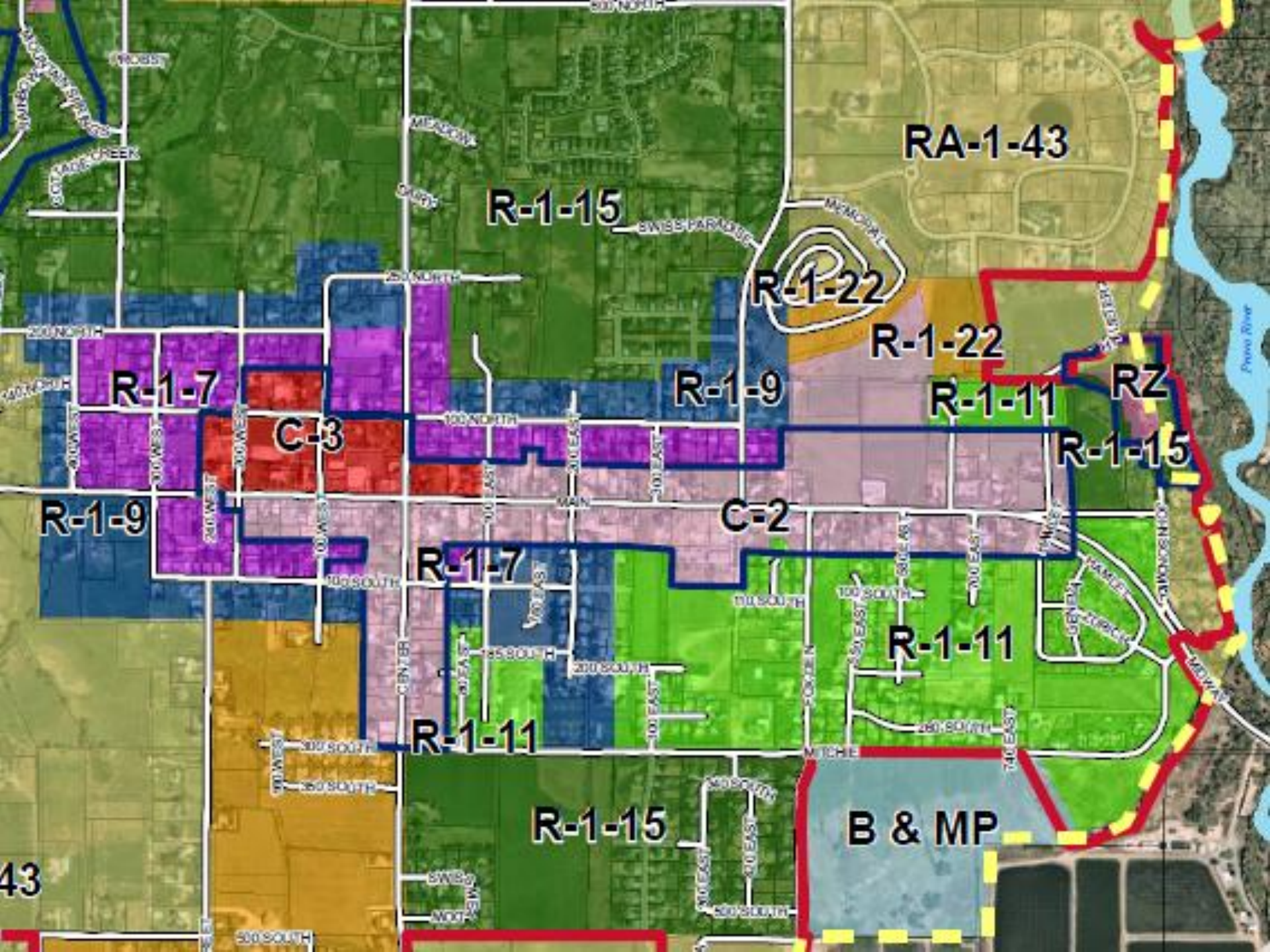
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MAIN STREET GOALS & GUIDELINES

- Consider Main Street as two distinctly designed areas.
- As older homes transition into businesses along Main Street, preserve the green areas around these buildings by not overbuilding parking.
- Midway must work with UDOT to assure that Main Street becomes more walkable by lowering speeds and creating more crosswalks, including raised crosswalks that will increase pedestrian safety. This is especially important in the area around the Town Square, specifically on Main Street on the south side of Town Square and on 200 West on the west side of Town Square. This area should be developed for walkability and safety so the town core can develop as a community gathering area that will act as a community plaza.



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PARKING

1. Modify parking requirements by possibly decreasing the number of stalls required in conjunction with the creation of public parking lots.
2. Encourage businesses to develop shared parking partnerships that combine parking and reduce overall land consumption
3. Explore creating community parking lots in strategic locations, preferably in the middle of the blocks, that can be funded through user fees, grants and funds from commercial development that pay for parking stalls in public lots instead of building their own off-street parking.
4. Develop good pedestrian access to Main Street from other parts of Midway to help reduce the number of vehicles that require parking stalls.

OPEN SPACE

- The strategic location of open spaces along the corridor draws pedestrians to the area and encourages them to stay longer. These can be parks, patios, plazas, playgrounds and natural open space. It is important to support the preservation of the traditional pastures that have been used for grazing livestock along Main Street. Preserving some of the open space parcels along Main Street will help maintain the small town and village feel of Midway.

DESIGN

- Using proper design standards such as staggered setbacks, staggered rooflines, storefronts size, building volume, fenestration, and placement will improve the overall appearance and walkability. Authentic designs and materials should be required. Please see Midway City design and architectural guidelines for more information.

TRANSITION

- As the community grows and demand for commercial property increases, properties along Main Street will continue to change. Many residential structures and other historic properties will transition to other uses. Guiding this transition in harmony with historic preservation, economic growth and community character is very important to the City. Every effort should be made to preserve historic structures to help maintain the uniqueness of Midway. Several residences have transitioned to commercial use and this trend will continue. Once a residence transitions to commercial, the City should consider and develop design criteria to help promote the goals of the General Plan.

POINTS OF DISCUSSION

- Divide Main Street into a walkable area and a “rural” area
 - Walkable areas would allow more hard surface and smaller setbacks (add landscaping requirement to code)
 - Rural would require more landscaping and greater setbacks
- Limit impervious area on commercial property
- Limit building volume
- Require staggering for walls and/or fenestration (the arrangement, proportioning, and design of windows and doors in a building)

POINTS OF DISCUSSION

- Allow historic structures to have perpendicular parking on side streets that is partially in the City's right-of-way
- Consider the permitted, conditional, and uses that are not allowed
- Consider allowed densities
- Consider allowing historic dwellings, that have transitioned to commercial businesses, to return to dwellings