

# BUILDING AREA PLAN AND DESIGN ELEMENTS

PHASE 2: AMEYALLI WELLBEING CENTER LEVEL 00



## PROGRAM | LEGEND

- 1 TRASH ENCLOSURE
- 2 DELIVERIES



VIEW OF SPA ENTRY



VIEW OF LOWER LEVEL SPA

# BUILDING AREA PLAN AND DESIGN ELEMENTS

PHASE 2: AMEYALLI WELLBEING CENTER - 3D VIEWS - CURRENT



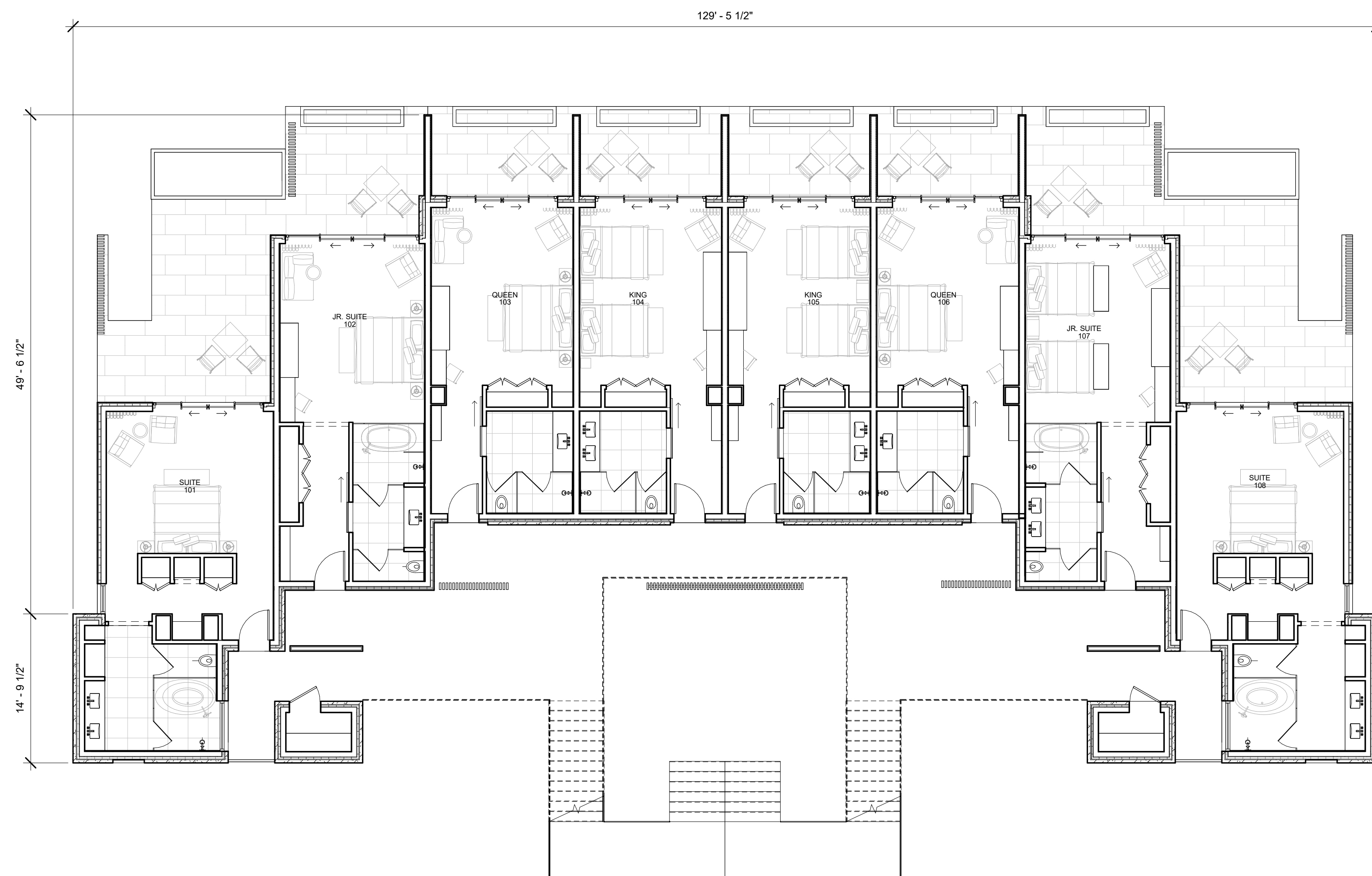
# BUILDING AREA PLAN AND DESIGN ELEMENTS

PHASE 2: AMEYALLI WELLBEING CENTER - 3D VIEWS - CURRENT



# BUILDING AREA PLAN AND DESIGN ELEMENTS

## PHASE 2: TYPICAL GUESTROOMS



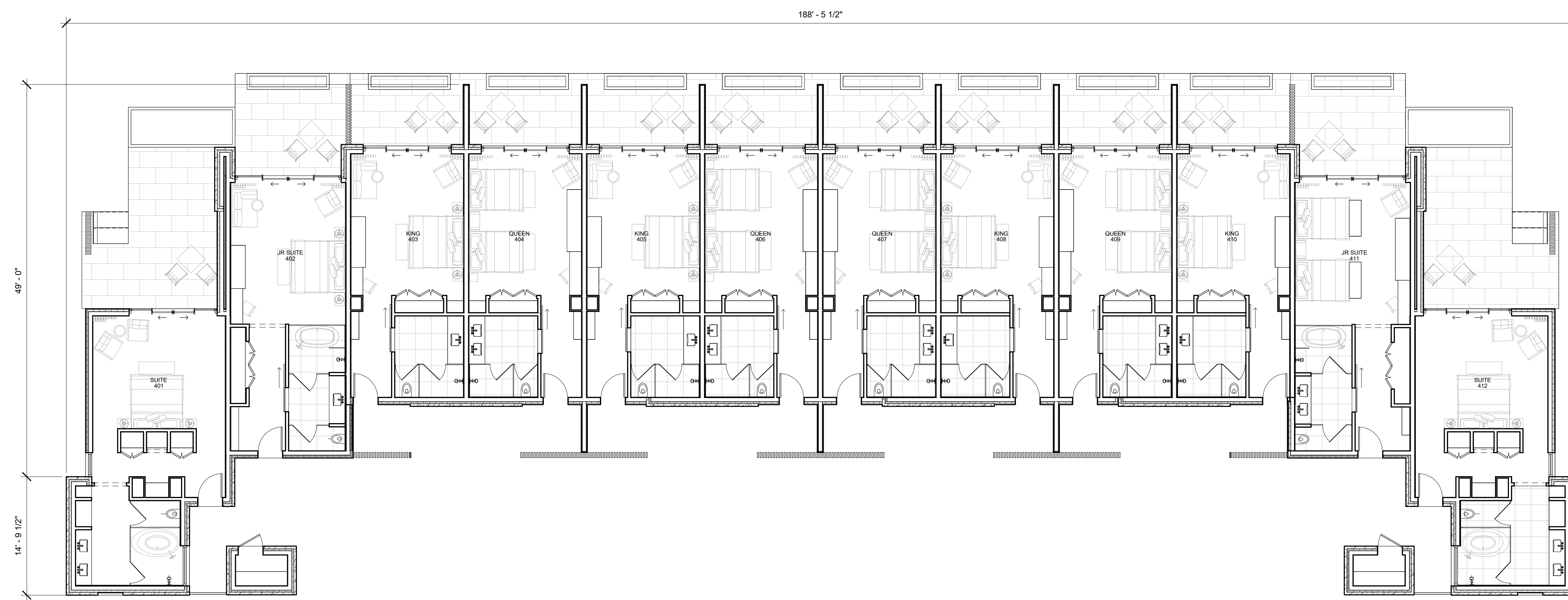
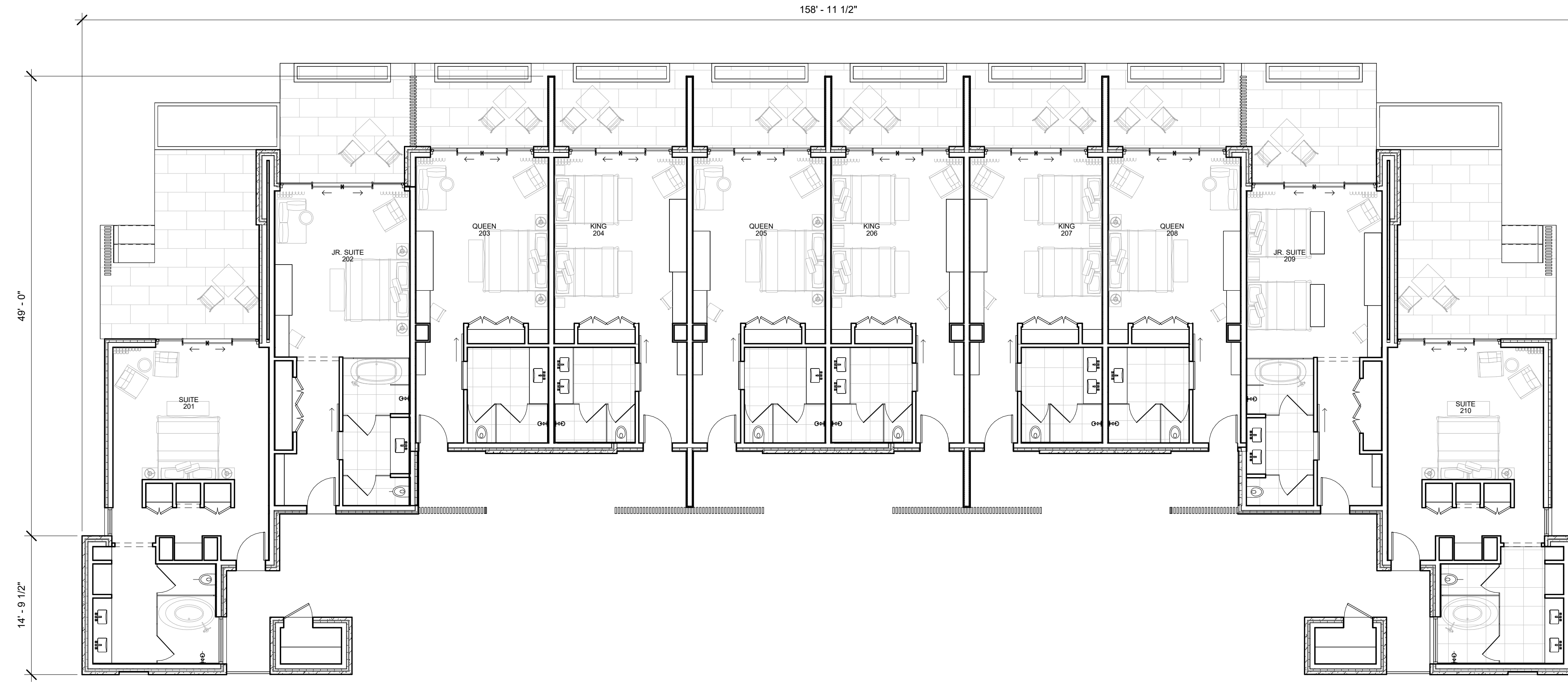
VIEW BETWEEN GUESTROOMS - TOWARDS HOT POTS



VIEW OF TYPICAL GUESTROOM BLOCK

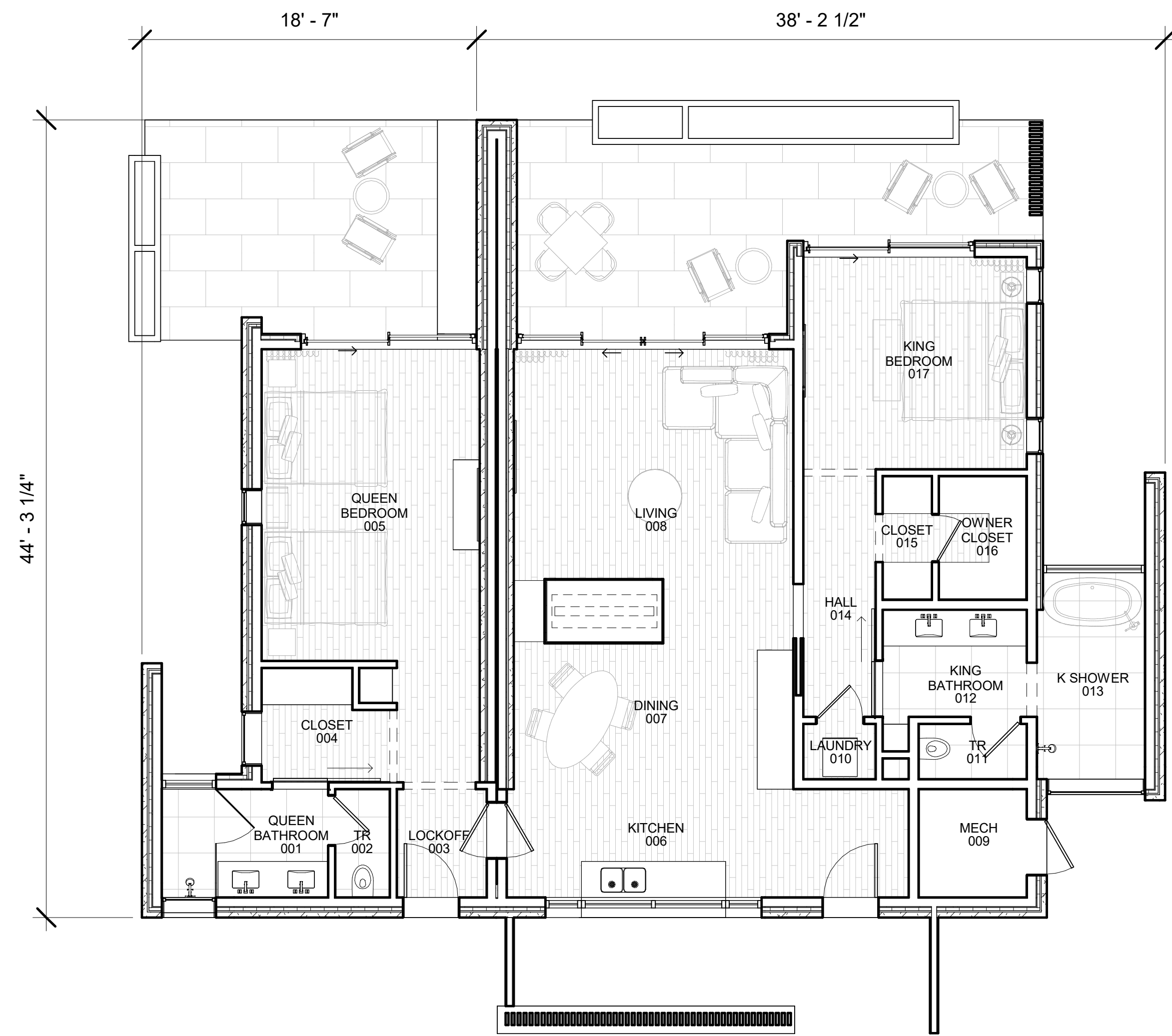
# BUILDING AREA PLAN AND DESIGN ELEMENTS

## PHASE 2: GUESTROOMS



# BUILDING AREA PLAN AND DESIGN ELEMENTS

## PHASE 2: COTTAGES



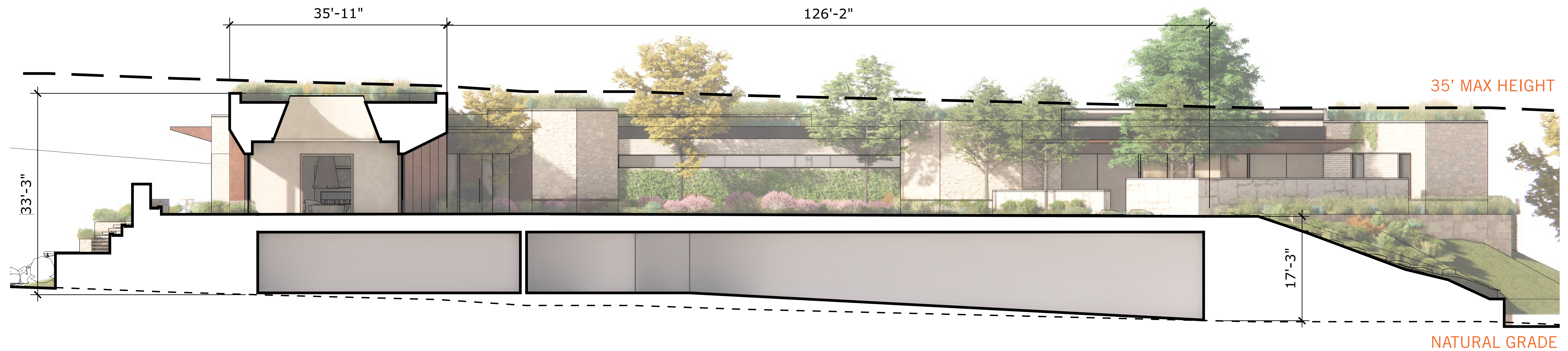
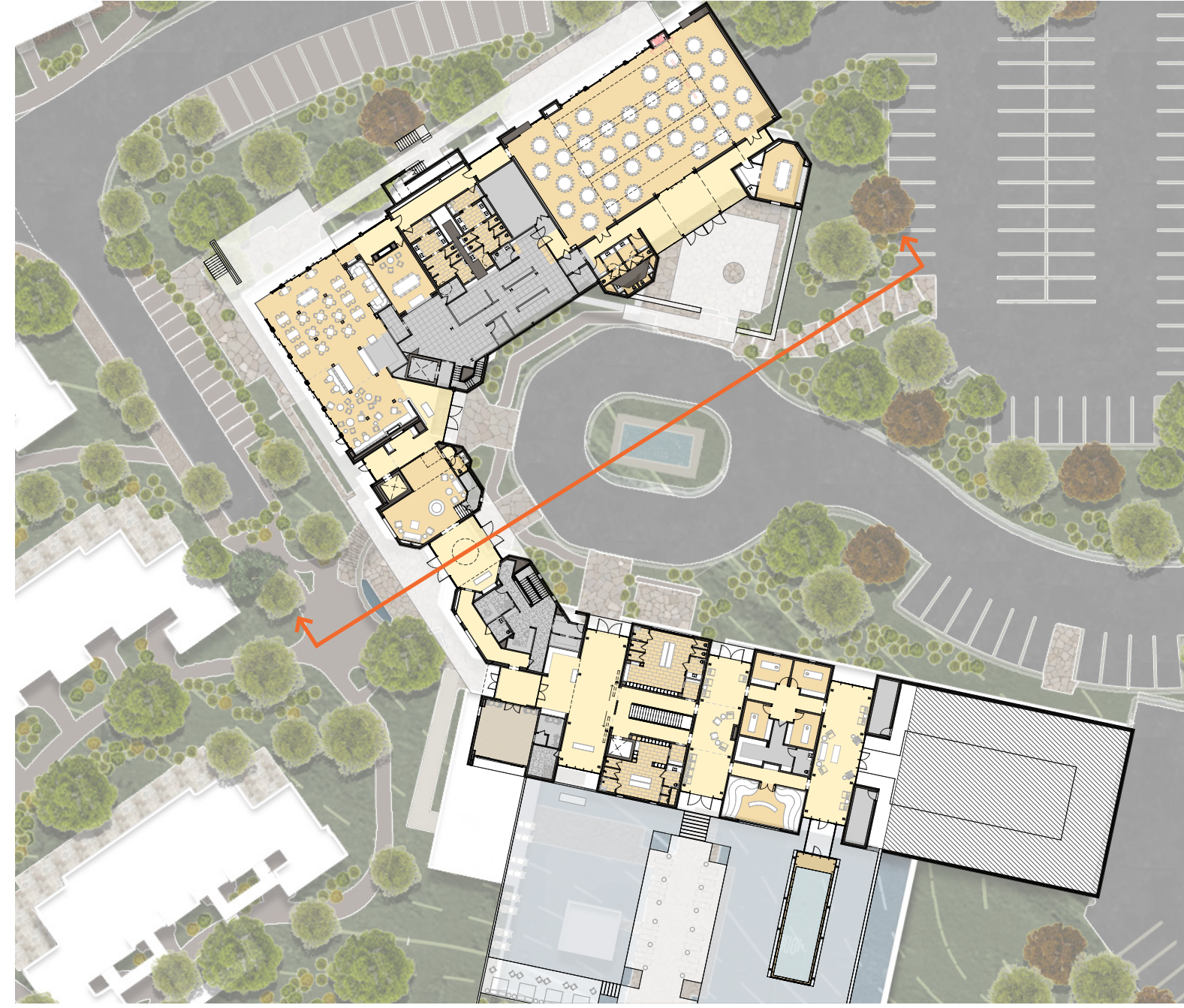
ENTRY VIEW OF TYPICAL COTTAGE



PATIO VIEW OF TYPICAL COTTAGE

# HIGHEST ELEVATION POINT

## SITE SECTION



# 3D VIEW - ILLUSTRATION

VIEW 1 - VIEW FROM RESIDENCES - CURRENT





# 3D VIEW - ILLUSTRATION

VIEW 2 - VIEW TOWARD EVENT CENTER - CURRENT



# 3D VIEW - ILLUSTRATION

VIEW 3 - VIEW FROM ENTRY APPROACH - CURRENT



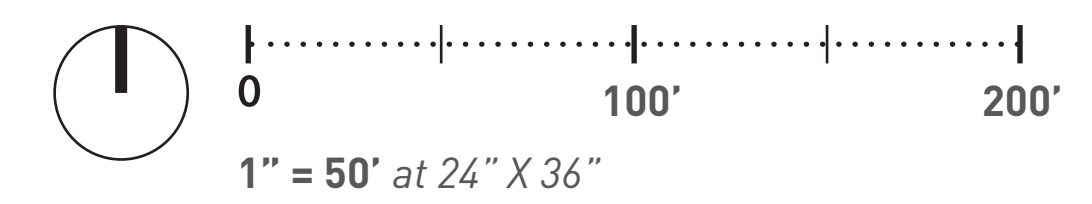
# PHASED SITE PLAN

## PHASE 2: GUESTROOMS



### PROGRAM | LEGEND

- 1 CHOPRA HOUSE of ENLIGHTENMENT
- 2 COTTAGE, TYP.
- 3 8-PACK, 2-STORY GUESTROOMS
- 4 10-PACK GUESTROOMS
- 5 10-PACK, 2-STORY GUESTROOMS
- 6 12-PACK GUESTROOMS



# HIGHEST ELEVATION POINT

## SITE PLAN



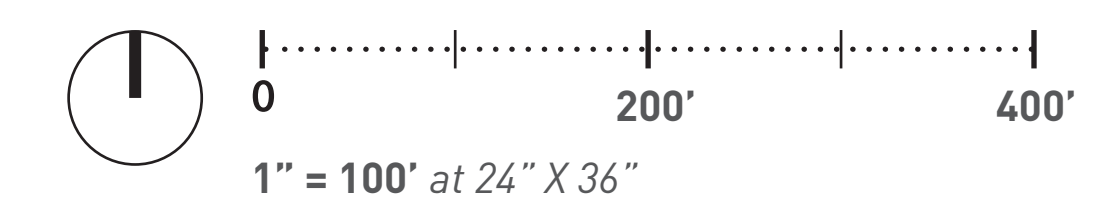
### SECTION 16.15.040 RESORT MASTER PLAN

**G. Design Guidelines - 11.b** - Architectural elements defined in “maximum height provisions for all building” found in this title shall have a height limit of 15’ above the 35’ height limit or above any city council approved height. The City Council may, at its discretion, allow greater height in resort developments of a maximum of 55’ subject to the following considerations; setbacks, elevation, view corridor, topography, etc...

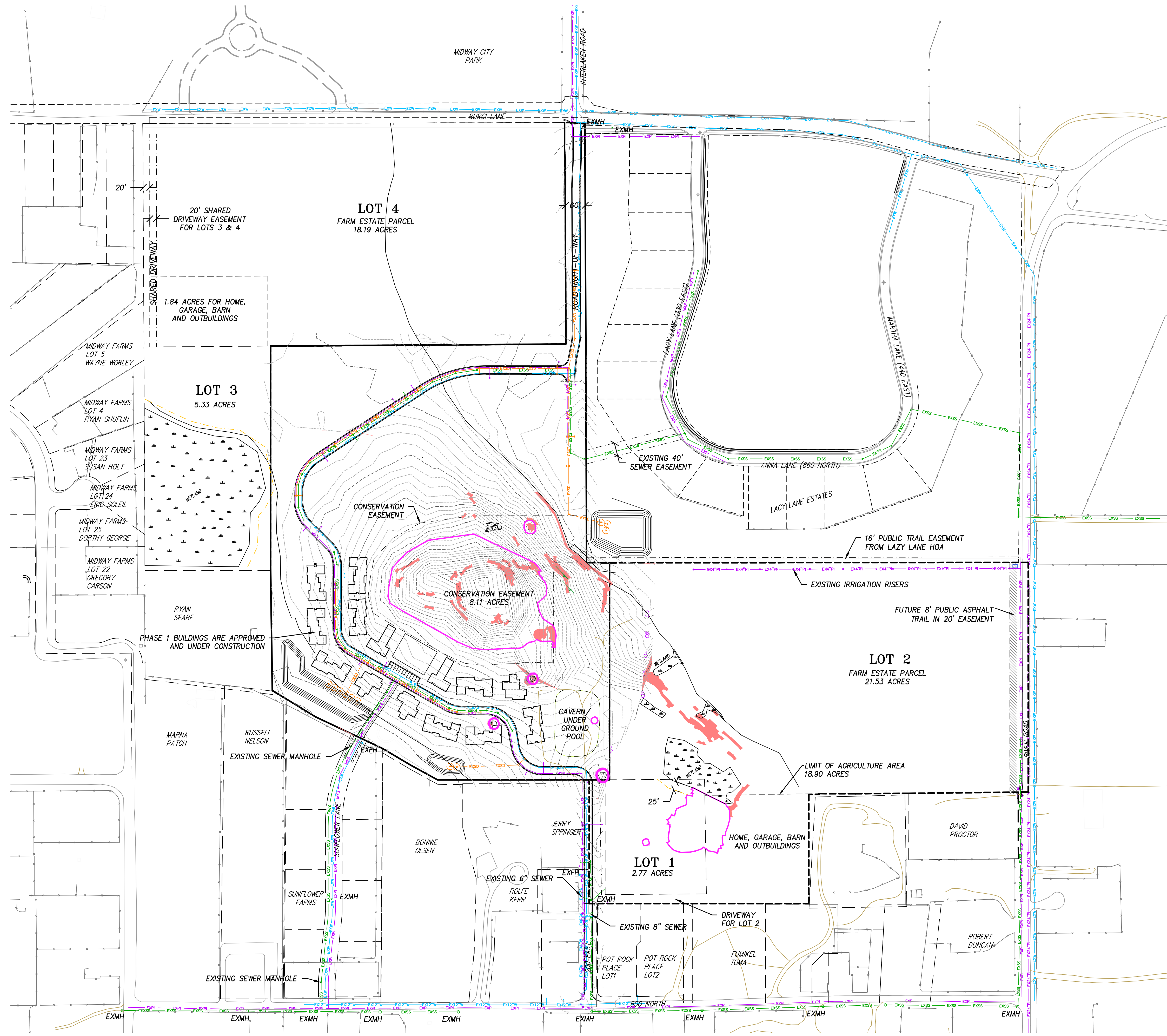
**Previous Resort Masterplan approval confirmed a maximum height of 35’ above existing grade to comply with the above Midway City Title 16 Land Use code.** As onsite testing has occurred to test the thickness of the pot-rock/tufa and the level of ground water, recommendations have been made based on findings to lift the entire building up out of the pot-rock/tufa so as to not disturb the site, to sit lightly on the land (topography is sloping towards the hot pots), and to preserve the overall quality of the geological features on site.

**In keeping with the intent of Section 16.15.040 - G - 11b, there are only three instances where the building exceeds the 35’ requirement. Each instance is a condition where an architectural element, mechanical component, or flue breaks the plane. Each instance still complies with the maximum height resort development of 55’.**

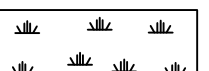






The adjacent site plan and the following pages with illustrations depict the intended condition and highlight that while portions currently exceeds the 35’ plane, view corridors are not affected, maximum 55’ height is not exceeded and the perception of the overall building height is still minimized.



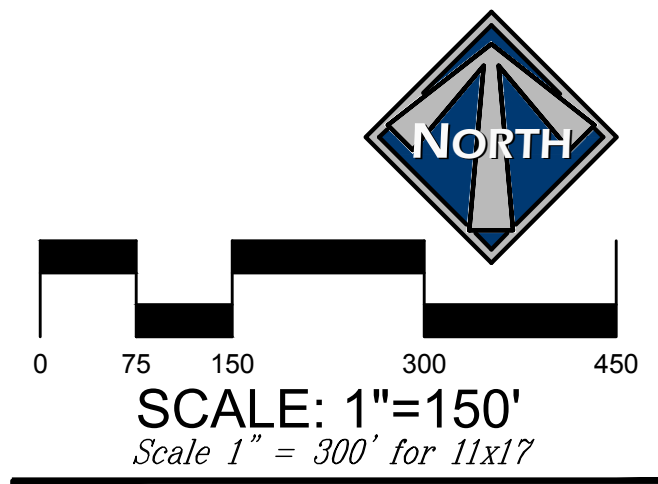




**LEGEND**

-  WETLANDS (3.75 ACRES)
-  SLOPES > 25% (0.33 ACRES OUTSIDE OF HOT POT/CRATER)
-  HOT POT/CRATER SENSITIVE LANDS (3.52 ACRES)
-  EXISTING PRESSURIZED IRRIGATION
-  EXISTING WATER
-  EXISTING SEWER
-  EXISTING STORM DRAIN

BLUE STAKE NOTE:  
 LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.



CHUCK HEATH  
 AMEYALLI - PHASE 2

**EXISTING CONDITIONS**



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 PAUL D. BERG P.E.  
 SERIAL NO. 295595  
 DATE: 8 MAY 2024

DESIGN BY: PDB	DATE: 8 MAY 2024	SHEET 1
DRAWN BY: DA	REV:	

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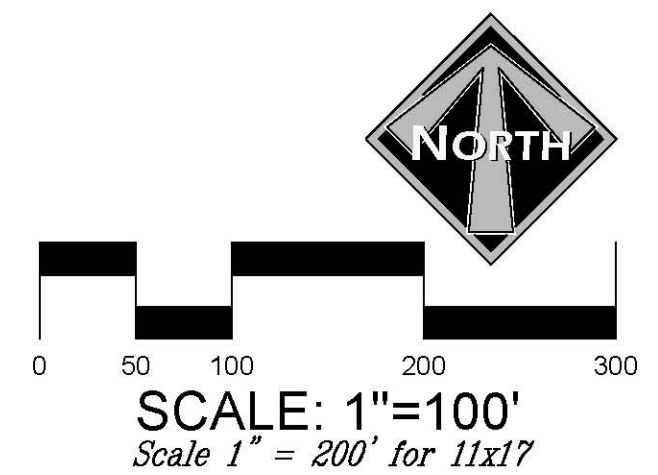
**LEGEND**

- WETLANDS (3.75 ACRES)
- SLOPES > 25% (0.33 ACRES OUTSIDE OF HOT POT/CRATER)
- HOT POT/CRATER SENSITIVE LANDS (3.52 ACRES)
- 8' PUBLIC TRAIL (ASPHALT)
- 6' PUBLIC TRAIL (SOFT SURFACE)
- PRIVATE TRAILS (CONCRETE OR ASPHALT)
- PRIVATE TRAILS (SOFT SURFACE)
- LANDSCAPING - GRASS LAWNS
- LANDSCAPING - PLANTING BEDS

**LAND USE CALCULATIONS**

TOTAL AREA	11.49 ACRES
BUILDINGS	2.64 ACRES
ROADS	0.76 ACRES
PARKING	0.94 ACRES
AMENITIES	0.14 ACRES
PATIOS	0.55 ACRES
SIDEWALKS	0.80 ACRES
LANDSCAPED AREAS	4.41 ACRES
NATURAL AREAS (NON-IRRIGATED)	1.25 ACRES

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 Plot Name: 02\_PHASE 2 MASTER PLAN.dwg | Plot Date: May 08, 2024



CHUCK HEATH  
AMEYALLI - PHASE 2

MASTER PLAN

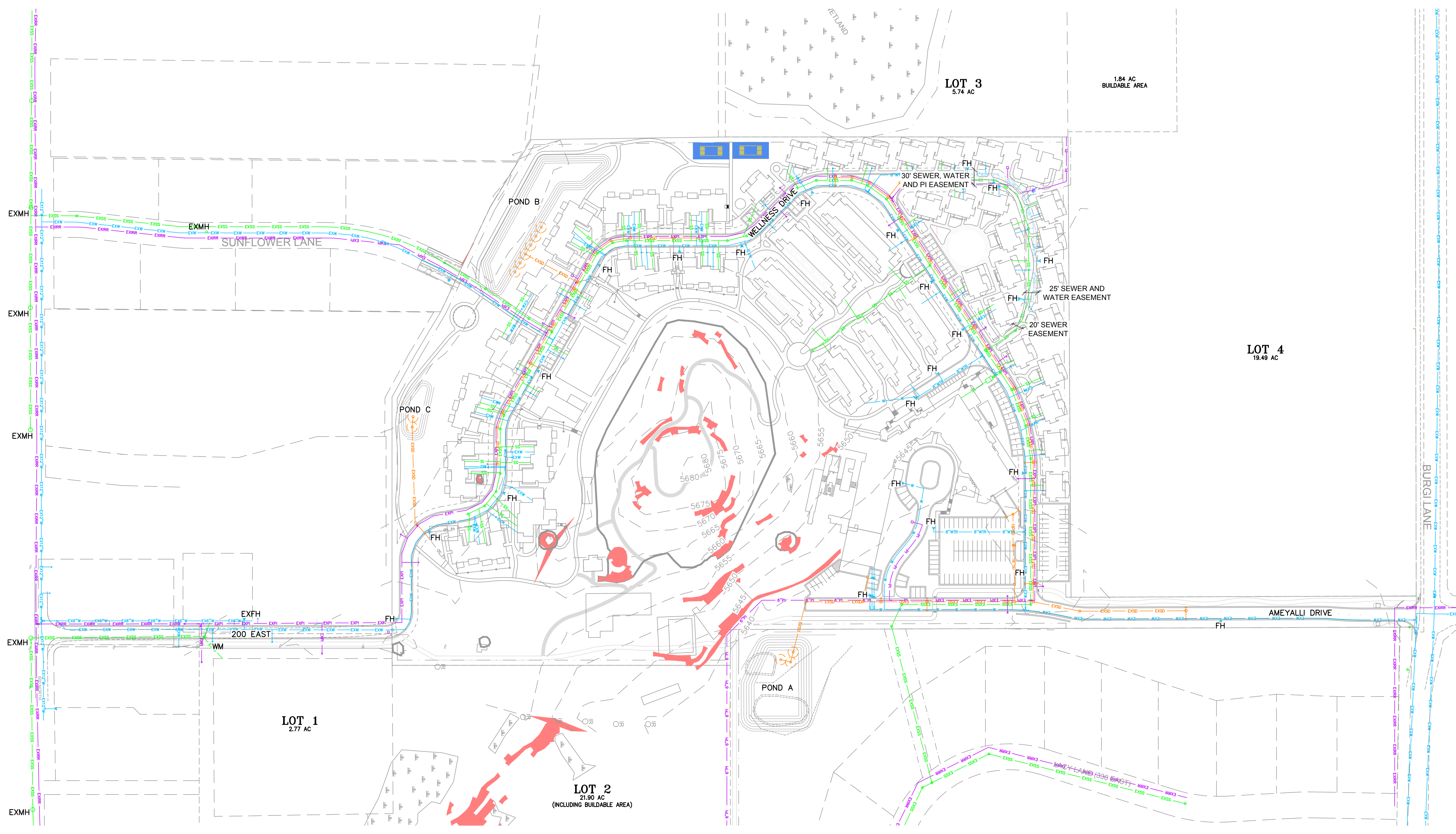


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 SERIAL NO. 295595  
 DATE: 8 MAY 2024

DESIGN BY: PDB DATE: 8 MAY 2024 SHEET 2  
 DRAWN BY: DA REV:

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- LEGEND**
- WETLANDS (3.75 ACRES)
  - SLOPES > 25% (0.33 ACRES OUTSIDE OF HOT POT/CRATER)
  - HOT POT/CRATER SENSITIVE LANDS (3.52 ACRES)
  - EXISTING SEWER
  - PROPOSED SEWER
  - EXISTING WATER
  - PROPOSED WATER
  - EXISTING PRESSURIZED IRRIGATION
  - PROPOSED PRESSURIZED IRRIGATION
  - EXISTING STORM DRAIN
  - PROPOSED 18" STORM DRAIN
  - PROPOSED 12" LANDSCAPE DRAIN
  - FH FIRE HYDRANT

**BLUE STAKE NOTE:**

- LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.

**SEWER NOTES:**

- ALL SEWER IMPROVEMENTS SHALL MEET MIDWAY SANITATION DISTRICT STANDARDS & SPECIFICATIONS

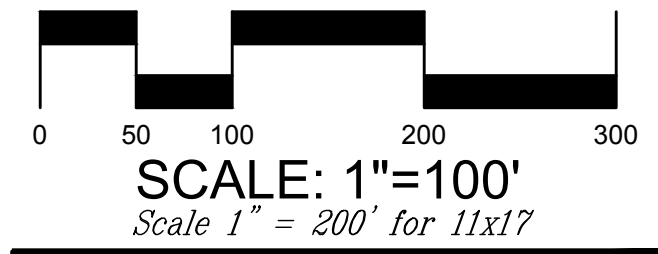
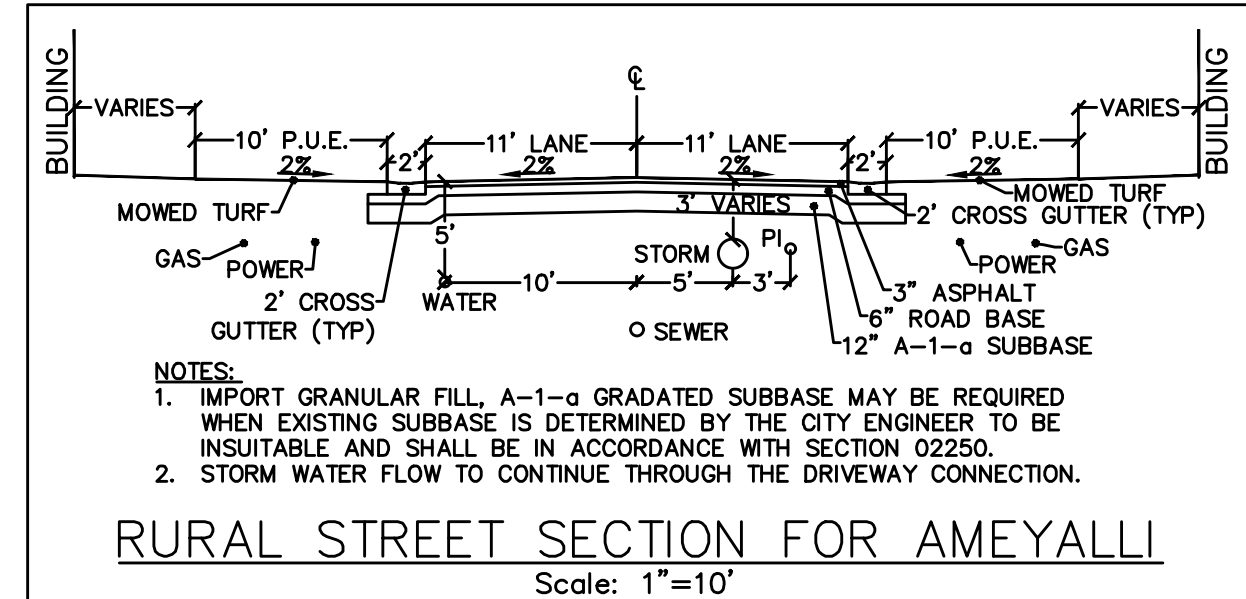
**WATER NOTES:**

- ALL WATER IMPROVEMENTS SHALL MEET MIDWAY CITY STANDARDS AND SPECIFICATIONS.
- ALL COTTAGES/DUPLEXES WILL HAVE A 1" WATER SERVICE.
- WATER SERVICES TO FUTURE HOTEL BUILDINGS SHALL BE 2".

**PRESSURIZED IRRIGATION NOTES:**

- ALL PRESSURIZED IRRIGATION IMPROVEMENTS SHALL MEET MIDWAY IRRIGATION COMPANY STANDARDS & SPECIFICATIONS.
- ALL PRESSURIZED IRRIGATION MAIN SHALL BE C-900 DR-18 PURPLE PIPE.

ALL SEWER LATERALS AND WATER SERVICES TO FUTURE BUILDINGS TO BE STUBBED 10' BEYOND THE BACK OF CURB



CHUCK HEATH  
AMEYALLI - PHASE 2  
OVERALL UTILITY PLAN



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PAUL D. BERG P.E.  
SERIAL NO. 295595  
DATE: 8 MAY 2024

DESIGN BY: PDB  
DRAWN BY: DA

DATE: 8 MAY 2024  
REV:

SHEET  
3



**Mountain Spa Resort  
Storm Drain Runoff Calculations**

January 26, 2023  
Revised per proposed agreement with Lacy Lane and final road design

Most of the runoff from the site will be collected and retained in open space near the south property line. The northern part of the resort will be retained in a basin on Lacy Lane HOA property per an agreement with the HOA.

Portions of some buildings will have roof top gardens. The runoff coefficient has been reduced to 0.90 which is likely higher than the expected runoff.

A percolation rate of 2.0 inches per hour assumed for pot rock.  
A 8' sump has a total volume of 855 cf.  
A 8' sump has a percolation rate of 0.024 cfs with a soils percolation rate of 2.0 inches / hour.

**Table 1 - Runoff Coefficient for Mountain Spa Resort**

Drainage Area	Total Collected Area (acres)	Buildings and Parking (acres)	Landscaped or Natural Areas (acres)	Composite Runoff Coefficient
A	11.78	4.24	7.54	0.45
B	12.92	3.71	9.21	0.40
C	1.28	0.37	0.91	0.40

**Table 2 - 100 Year Storm Peak Runoff and Volume for Basin A**

Time Period (min)	Rainfall Intensity (in/hr)	Area (acres)	Developed Runoff Coefficient	Peak Runoff Rate (cfs)	Total Runoff Volume (cf)
15	4.08	11.78	0.45	21.72	19,550
30	2.76	11.78	0.45	14.69	26,450
60	1.71	11.78	0.45	9.10	32,775
120	0.96	11.78	0.45	5.11	36,759
180	0.65	11.78	0.45	3.48	37,374
360	0.35	11.78	0.45	1.86	40,249
720	0.21	11.78	0.45	1.12	49,299
1440	0.13	11.78	0.45	0.69	59,799

**Table 3 - Retention Pond Design for Basin A**

Time Period (min)	Total Runoff Volume (cf)	Soil Percolation Rate (in/hr)	9'-8" Sump Volume (cf)	Percolation from Sump (cf)	Storage Needed in Pond (cf)
15	19,550	2.0	7,695	194	11,660
30	26,450	2.0	7,695	389	18,366
60	32,775	2.0	7,695	778	24,302
120	36,759	2.0	7,695	1,555	27,549
180	37,374	2.0	7,695	2,333	27,347
360	40,249	2.0	7,695	4,666	27,899
720	46,299	2.0	7,695	9,331	31,273
1440	59,799	2.0	7,695	18,662	33,442

**Table 4 - Retention Pond Storage Volume for Basin A at Lacy Lane**

Elevation	Pond Depth (ft)	Pond Area (sq-ft)	Pond Volume (cf)	Pond Volume (acre-ft)
5635	0.00	14,299	0	0.00
5636	1.00	16,708	15,504	0.36
5637	2.00	19,274	33,442	0.77
5638	3.00	21,995	54,130	1.24

contains the 100 year storm  
1' of freeboard

**Table 5 - 100 Year Storm Peak Runoff and Volume for Basin B**

Time Period (min)	Rainfall Intensity (in/hr)	Area (acres)	Developed Runoff Coefficient	Peak Runoff Rate (cfs)	Total Runoff Volume (cf)
15	4.08	12.92	0.40	21.14	19,025
30	2.76	12.92	0.40	14.30	25,739
60	1.71	12.92	0.40	8.86	31,894
120	0.96	12.92	0.40	4.97	35,811
180	0.65	12.92	0.40	3.37	36,371
360	0.35	12.92	0.40	1.81	39,168
720	0.21	12.92	0.40	1.09	47,002
1440	0.13	12.92	0.40	0.67	58,193

**Table 6 - Retention Pond Design for Basin B at SW Corner**

Time Period (min)	Total Runoff Volume (cf)	Soil Percolation Rate (in/hr)	12'-8" Sump Volume (cf)	Percolation from Sump (cf)	Storage Needed in Pond (cf)
15	19,025	2.0	10,260	259	8,505
30	25,739	2.0	10,260	518	14,961
60	31,894	2.0	10,260	1,037	20,597
120	35,811	2.0	10,260	2,074	23,477
180	36,371	2.0	10,260	3,110	23,000
360	39,168	2.0	10,260	6,221	22,688
720	47,002	2.0	10,260	12,442	24,330
1440	58,193	2.0	10,260	24,883	23,050

**Table 7 - Retention Pond Storage Volume for Basin B**

Elevation	Pond Depth (ft)	Pond Area (sq-ft)	Pond Volume (cf)	Pond Volume (acre-ft)
5641	0.00	144	0	0.00
5642	1.00	9,368	4,756	0.11
5643	2.00	11,598	15,223	0.35
5644	3.00	13,868	27,939	0.64
5645	4.00	16,266	43,005	0.99

contains the 100 year storm  
1' of freeboard

**Table 8 - 100 Year Storm Peak Runoff and Volume for Basin C**

Time Period (min)	Rainfall Intensity (in/hr)	Area (acres)	Developed Runoff Coefficient	Peak Runoff Rate (cfs)	Total Runoff Volume (cf)
15	4.08	1.28	0.40	2.10	1,891
30	2.76	1.28	0.40	1.42	2,559
60	1.71	1.28	0.40	0.88	3,170
120	0.96	1.28	0.40	0.49	3,560
180	0.65	1.28	0.40	0.33	3,615
360	0.35	1.28	0.40	0.18	3,893
720	0.21	1.28	0.40	0.11	4,672
1440	0.13	1.28	0.40	0.07	5,784

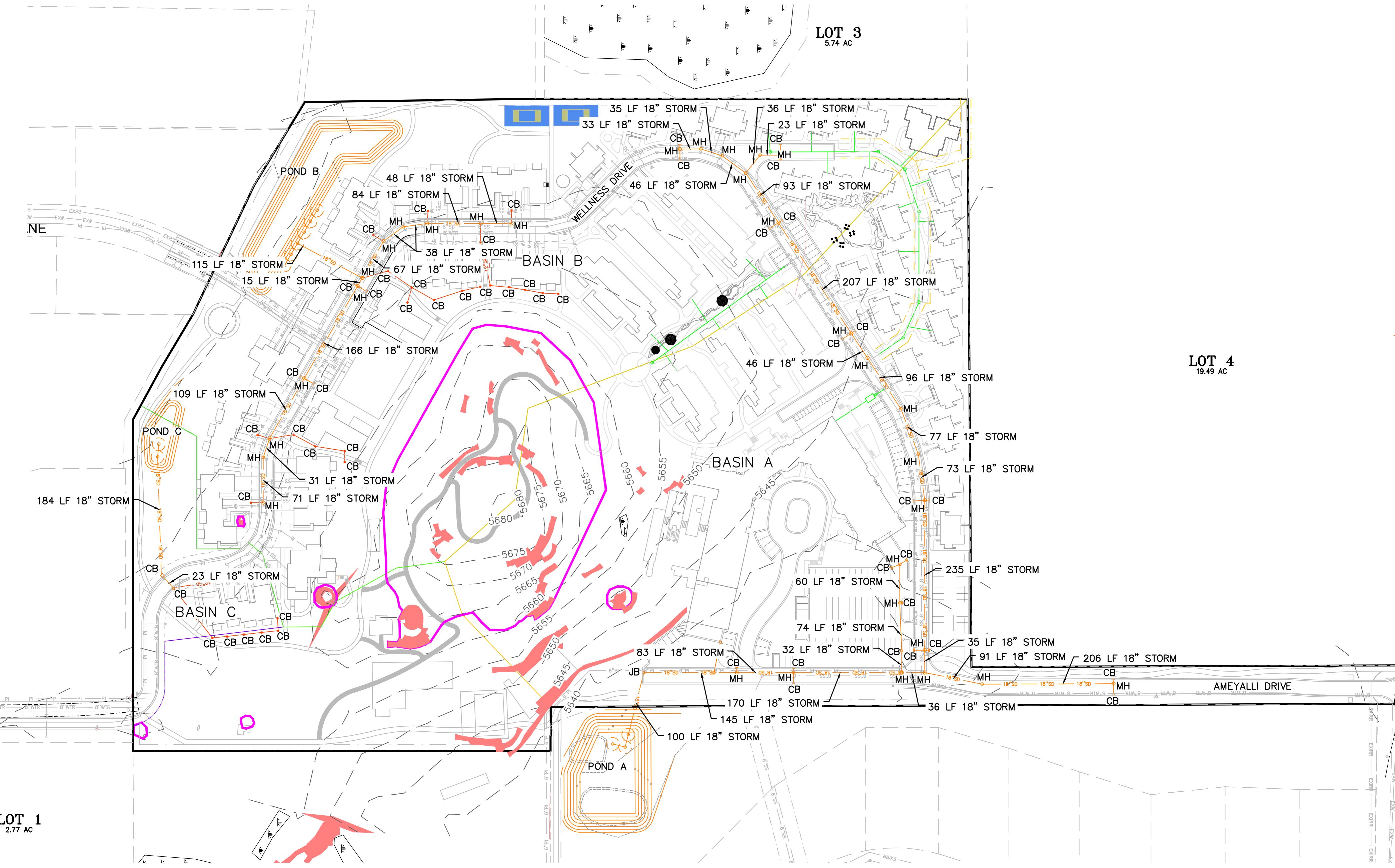
**Table 9 - Retention Pond Design for Basin C near South Property Line**

Time Period (min)	Total Runoff Volume (cf)	Soil Percolation Rate (in/hr)	1'-8" Sump Volume (cf)	Percolation from Sump (cf)	Storage Needed in Pond (cf)
15	1,891	2.0	855	22	1,014
30	2,559	2.0	855	43	1,660
60	3,170	2.0	855	86	2,229
120	3,560	2.0	855	173	2,532
180	3,615	2.0	855	259	2,501
360	3,893	2.0	855	518	2,520
720	4,672	2.0	855	1,037	2,789
1440	5,784	2.0	855	2,074	2,856

**Table 10 - Retention Pond Storage Volume for Basin C**

Elevation	Pond Depth (ft)	Pond Area (sq-ft)	Pond Volume (cf)	Pond Volume (acre-ft)
5642	0.00	12	0	0.00
5643	1.00	2,382	1,197	0.03
5644	2.00	3,319	4,048	0.09
5645	3.00	4,357	7,896	0.18

contains the 100 year storm  
1' of freeboard

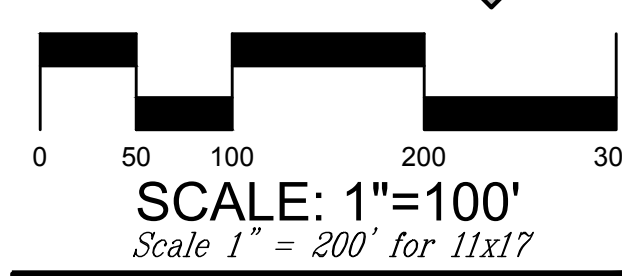
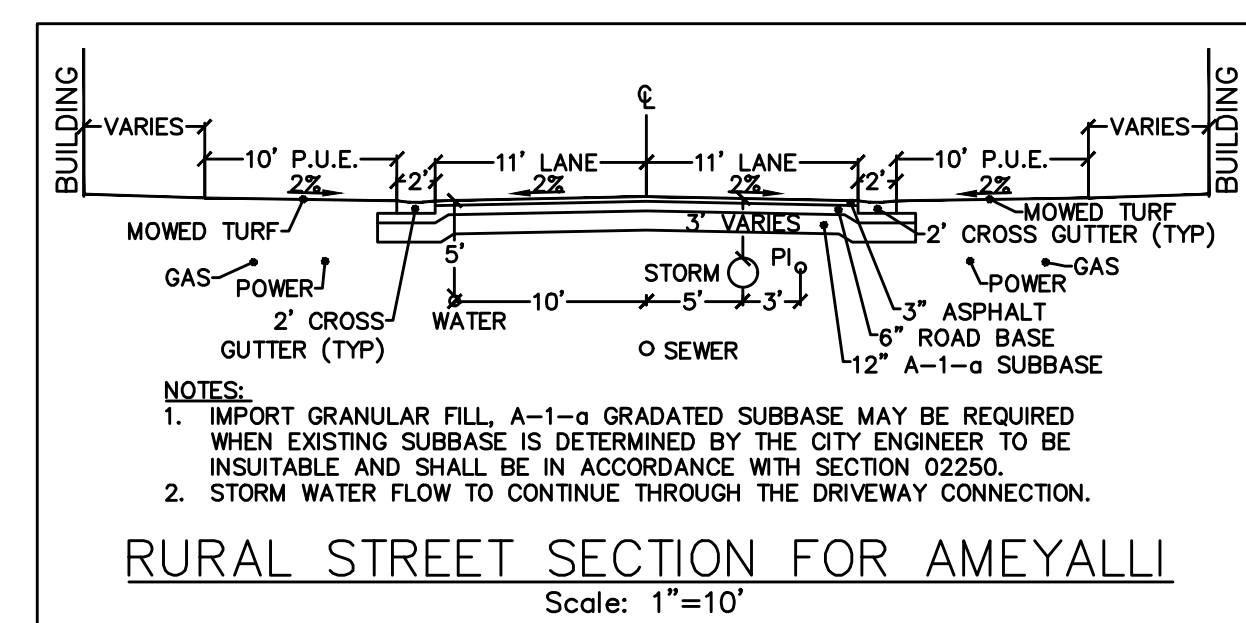
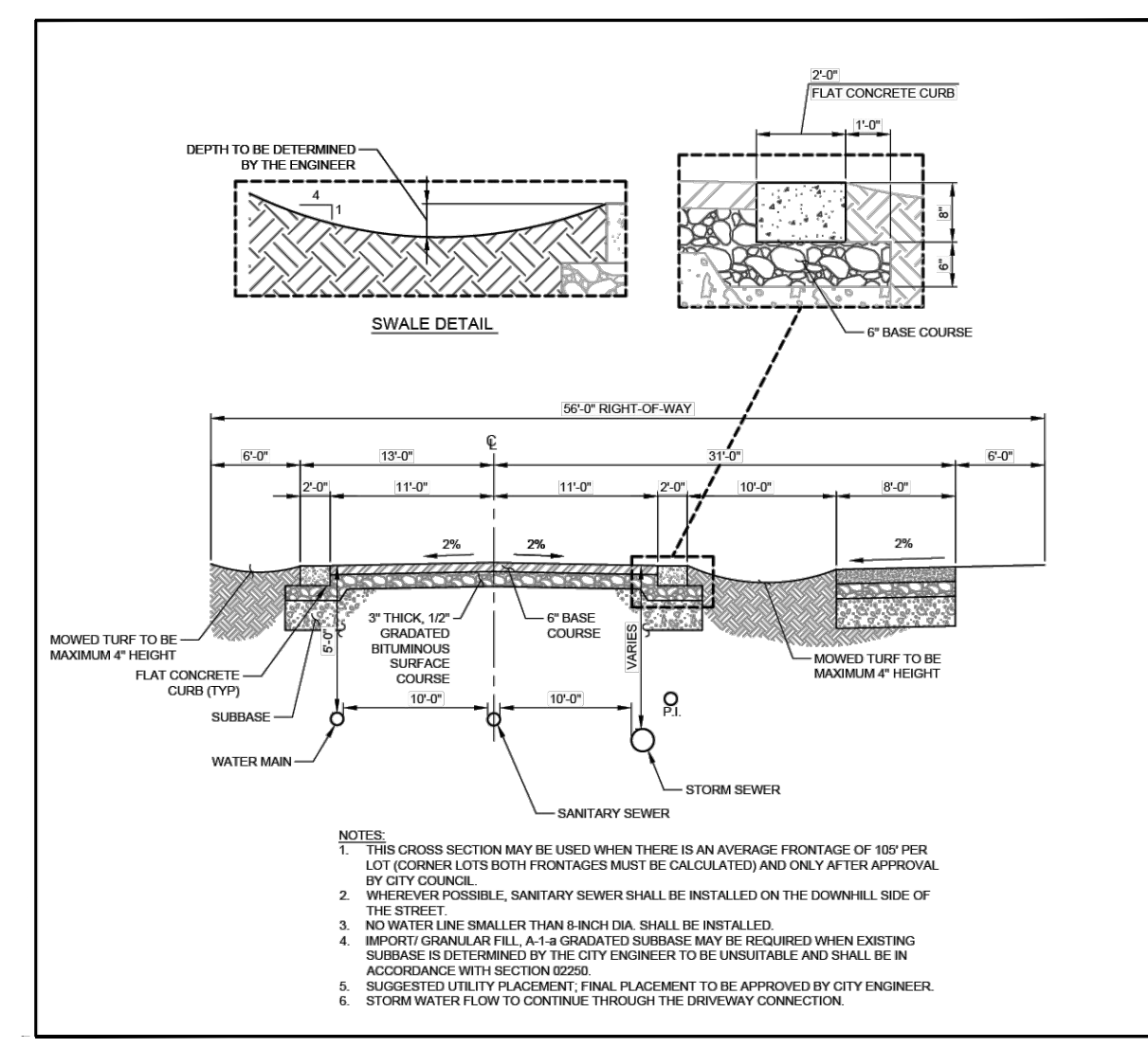


**LEGEND**

- WETLANDS (3.75 ACRES)
- SLOPES > 25% (0.33 ACRES OUTSIDE OF HOT POT/CRATER)
- HOT POT/CRATER SENSITIVE LANDS (3.52 ACRES)
- EXISTING SEWER
- PROPOSED SEWER
- EXISTING WATER
- PROPOSED WATER
- EXISTING PRESSURIZED IRRIGATION
- PROPOSED PRESSURIZED IRRIGATION
- PROPOSED STORM DRAIN
- PROPOSED LANDSCAPE DRAIN
- STORM DRAIN BASIN A
- STORM DRAIN BASIN B
- STORM DRAIN BASIN C

- BLUE STAKE NOTE:**
- LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.
- STORM DRAIN NOTES:**
- ALL STORM DRAIN CONSTRUCTION TO MEET MIDWAY CITY STANDARDS & SPECIFICATIONS
- CHECK GROUNDWATER DEPTH:**
- CONTRACTOR SHALL VERIFY GROUND WATER CONDITIONS IN RETENTION POND LOCATIONS BEFORE CONSTRUCTION BEGINS

Date: 8 May 2024  
 Project: Mountain Spa Resort Storm Drain Master Plan  
 Sheet: 4 of 17



CHUCK HEATH  
AMEYALLI - PHASE 2

**STORM DRAIN MASTER PLAN**

**BERG ENGINEERING**  
380 E Main St. Suite 204  
Midway, UT 84049  
ph 435.657.9749

DESIGN BY: PDB  
DRAWN BY: DA

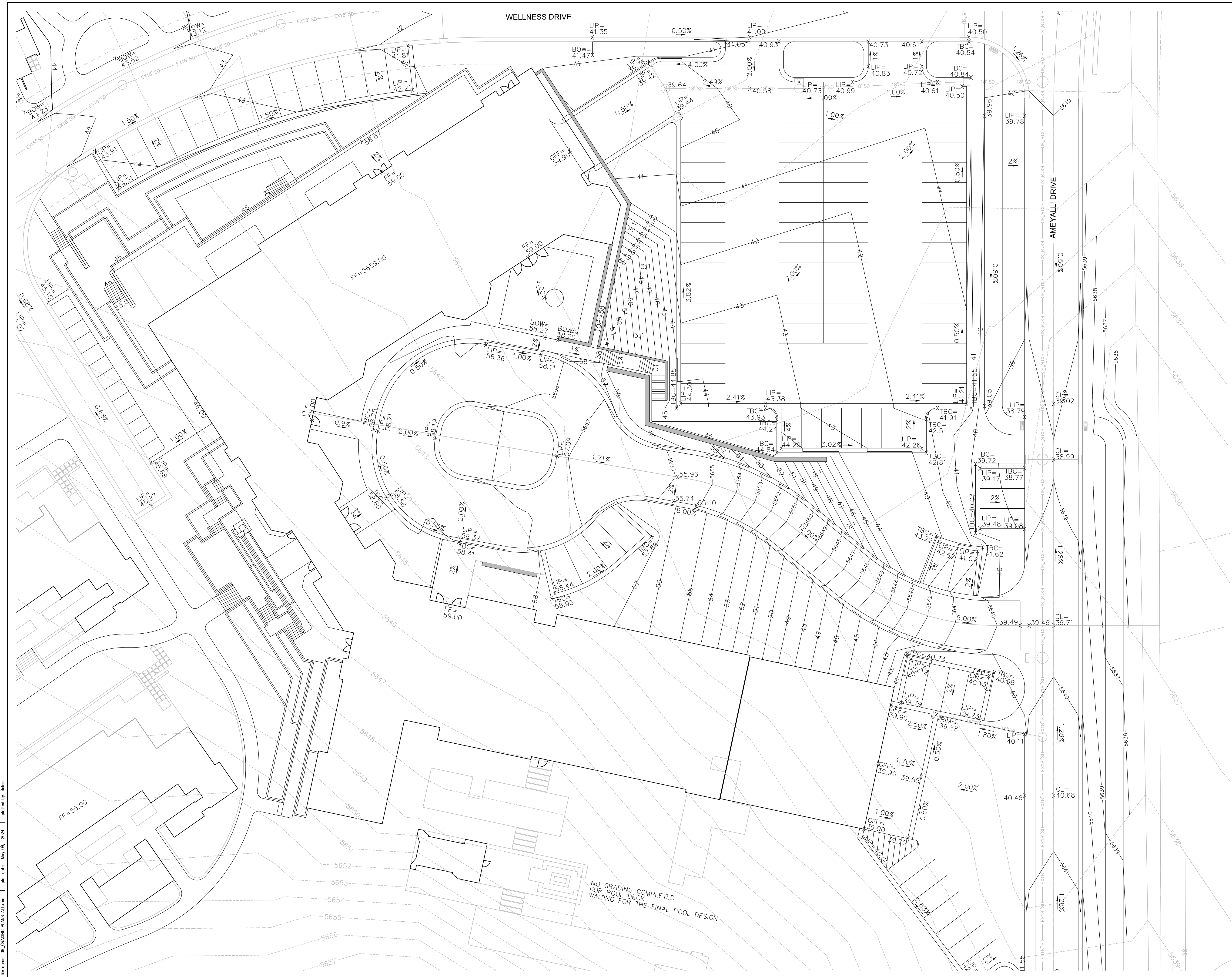
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PAUL D. BERG P.E.  
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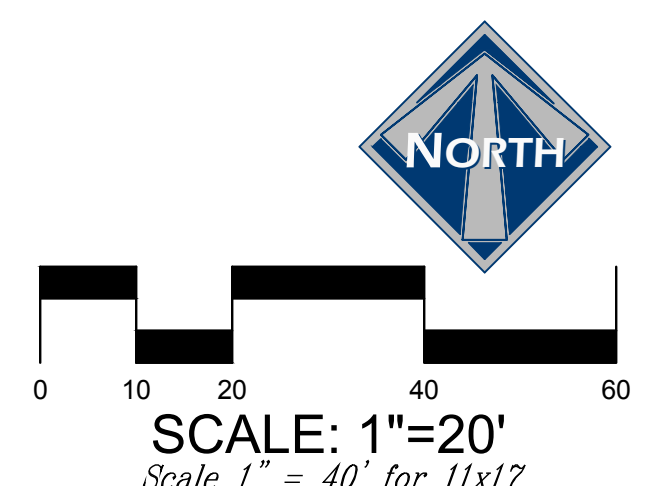




- LEGEND**
- SLOPES > 25%
  - HOT POT/CRATER SENSITIVE LANDS (3.52)
  - EXISTING STORM DRAIN
  - STORM DRAIN
  - RETAINING WALL

**NOTE:**  
ALL GRADING, BACKFILL AND COMPACTION SHALL COMPLY WITH MIDWAY CITY STANDARDS AND SPECIFICATIONS AND THE GEOTECHNICAL REPORT.

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 Reference: 08-2020-01-PLANS ALLIANCE | Job No: May 28, 2024



CHUCK HEATH AMEYALLI - PHASE 2	
GRADING PLAN CORE BUILDING	
<small>380 E Main St. Suite 204 Midway, UT 84049 ph 435.657.9749</small>	
DESIGN BY: PDB	DATE: 8 MAY 2024
DRAWN BY: DA	REV: 6

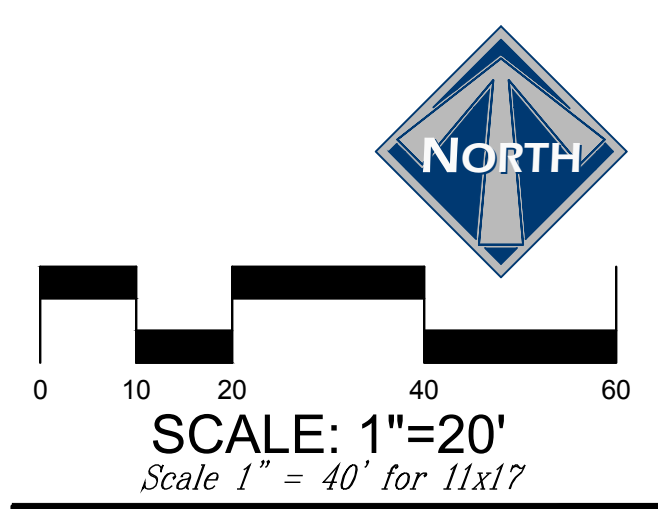
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 PAUL D. BERG P.E.  
 SERIAL NO. 295595  
 DATE: 8 MAY 2024





- LEGEND**
- SLOPES > 25%
  - HOT POT/CRATER SENSITIVE LANDS (3.52)
  - EX18"SD - EXISTING STORM DRAIN
  - 18"SD - STORM DRAIN
  - RETAINING WALL

**NOTE:**  
ALL GRADING, BACKFILL AND COMPACTION SHALL COMPLY WITH MIDWAY CITY STANDARDS AND SPECIFICATIONS AND THE GEOTECHNICAL REPORT.



CHUCK HEATH AMEYALLI - PHASE 2		
GRADING PLAN EAST COTTAGES		
 <b>BERG ENGINEERING</b> 380 E Main St. Suite 204 Midway, Ut 84049 ph 435.657.9749		
DESIGN BY: PDB	DATE: 8 MAY 2024	SHEET <b>9</b>

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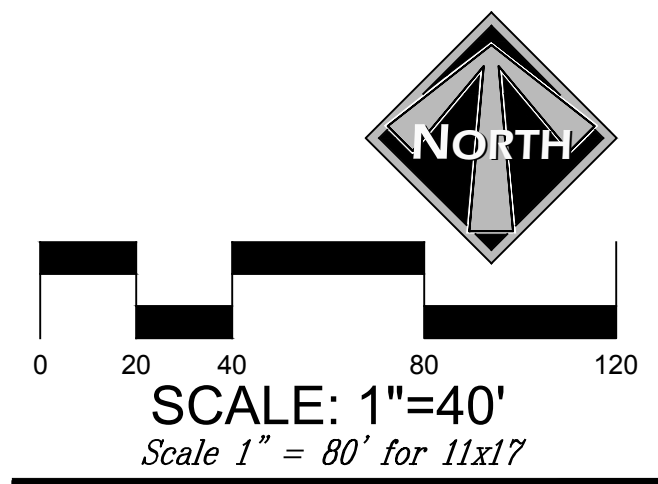
PAUL D. BERG P.E.  
SERIAL NO. 295595  
DATE: 8 MAY 2024

File: \\Midway\Projects\380 E Main St\AMEYALLI\Phase 2\Grading\Grading Plan\Grading Plan.dwg | Plot Date: May 28, 2024 | Plotted by: ddb



- LEGEND**
- WETLANDS (3.75 ACRES)
  - SLOPES > 25% (0.33 ACRES OUTSIDE OF HOT POT/CRATER)
  - HOT POT/CRATER SENSITIVE LANDS (3.52 ACRES)
  - PHASE LINE
  - EXPI EXISTING PRESSURIZED IRRIGATION
  - EXW EXISTING WATER
  - EXSS EXISTING SEWER
  - EXSD EXISTING STORM DRAIN
  - PI PROPOSED PRESSURIZED IRRIGATION
  - W PROPOSED WATER
  - SS PROPOSED SEWER
  - SD PROPOSED STORM DRAIN
  - GRASS PAVERS FOR 20' EMERGENCY LANE/UTILITY ACCESS

- BLUE STAKE NOTE:**
- LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.
- SEWER NOTES:**
- ALL SEWER IMPROVEMENTS SHALL MEET MIDWAY SANITATION DISTRICT STANDARDS & SPECIFICATIONS.
- WATER NOTES:**
- ALL WATER IMPROVEMENTS SHALL MEET MIDWAY CITY STANDARDS AND SPECIFICATIONS.
  - ALL COTTAGES/DUPLEXES WILL HAVE A 1" WATER SERVICE.
  - WATER SERVICES TO HOTEL BUILDINGS SHALL BE 2".
- PRESSURIZED IRRIGATION NOTES:**
- ALL PRESSURIZED IRRIGATION IMPROVEMENTS SHALL MEET MIDWAY IRRIGATION COMPANY STANDARDS & SPECIFICATIONS.
  - ALL PRESSURIZED IRRIGATION MAIN SHALL BE C-900 DR-18 PURPLE PIPE.
- STORM DRAIN NOTES:**
- ALL STORM DRAIN CONSTRUCTION TO MEET MIDWAY CITY STANDARDS.



CHUCK HEATH  
AMEYALLI - PHASE 2  
PHASE 2 UTILITY PLAN

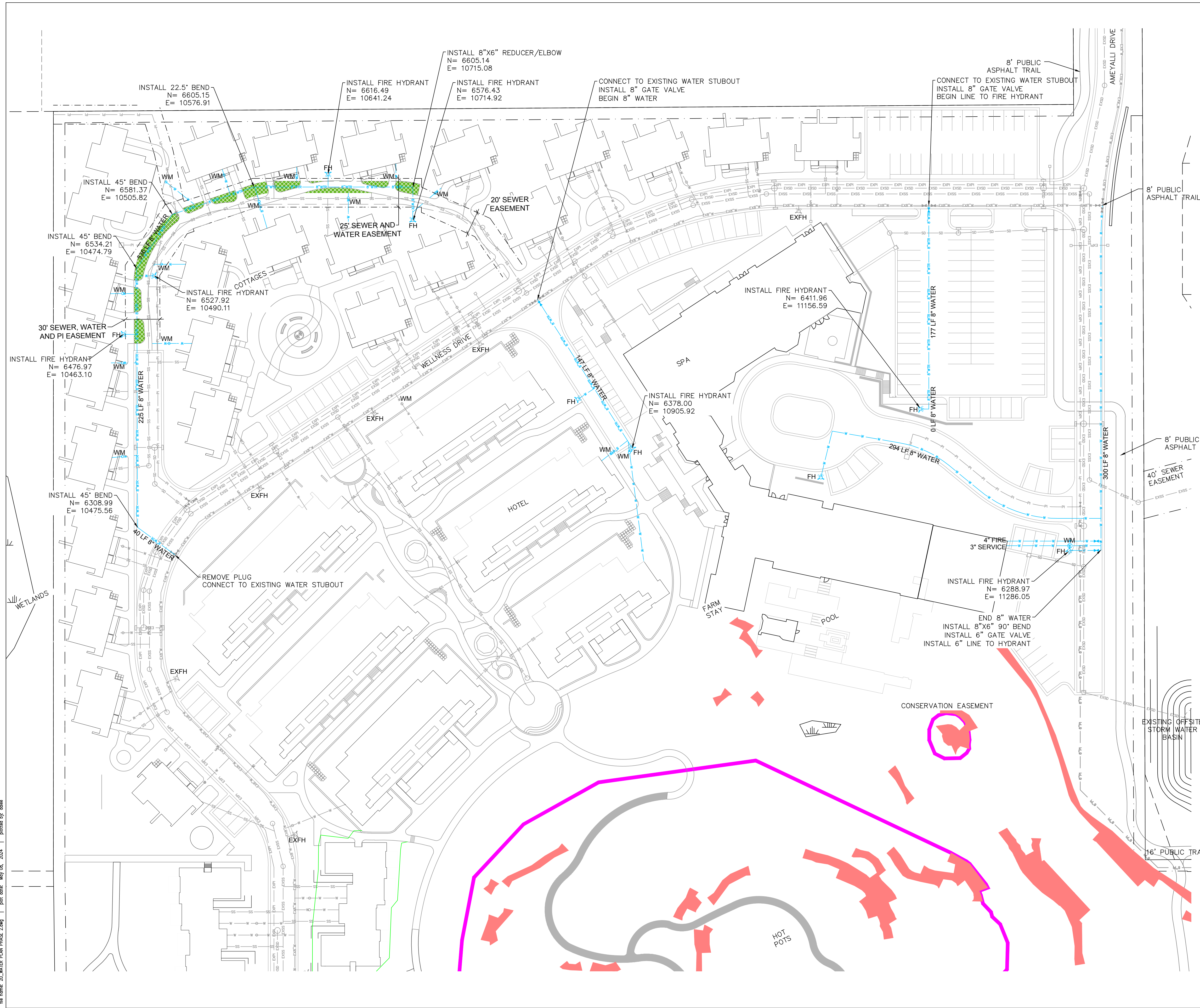
**BERG ENGINEERING**  
380 E Main St. Suite 204  
Midway, UT 84049  
ph 435.657.9749

DESIGN BY: PDB DATE: 8 MAY 2024  
DRAWN BY: DA REV: 13

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PAUL D. BERG P.E.  
SERIAL NO. 295595  
DATE: 8 MAY 2024

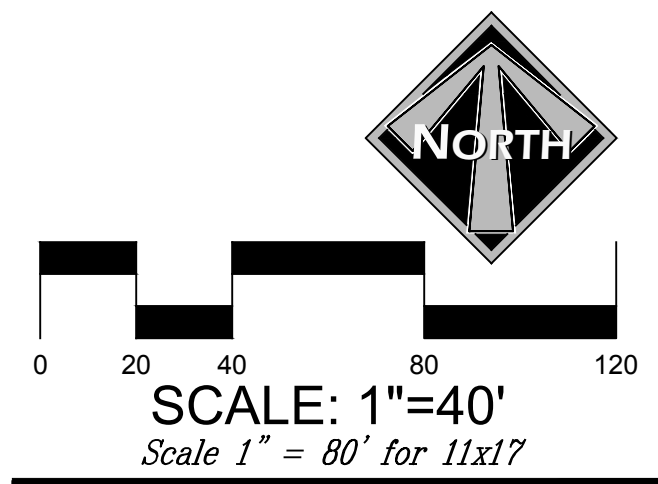
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**LEGEND**

- WETLANDS (3.75 ACRES)
- SLOPES > 25% (0.33 ACRES OUTSIDE OF HOT POT/CRATER)
- HOT POT/CRATER SENSITIVE LANDS (3.52 ACRES)
- EXISTING PRESSURIZED IRRIGATION
- EXISTING WATER
- EXISTING SEWER
- EXISTING STORM DRAIN
- PROPOSED PRESSURIZED IRRIGATION
- PROPOSED WATER
- PROPOSED SEWER
- PROPOSED STORM DRAIN
- GRASS PAVERS FOR 20' EMERGENCY LANE/UTILITY ACCESS

- BLUE STAKE NOTE:**
- LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.
- WATER NOTES:**
- ALL WATER IMPROVEMENTS SHALL MEET MIDWAY CITY STANDARDS AND SPECIFICATIONS.
  - ALL COTTAGES/DUPLEXES WILL HAVE A 1" WATER SERVICE.
  - WATER SERVICES TO HOTEL BUILDINGS SHALL BE 2".



CHUCK HEATH  
AMEYALLI - PHASE 2

PHASE 2 WATER PLAN

380 E Main St. Suite 204  
Midway, Ut 84049  
ph 435.657.9749

DESIGN BY: PDB DATE: 8 MAY 2024  
DRAWN BY: DA REV: 20

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SERIAL NO. 295595  
DATE: 8 MAY 2024

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 Plot Date: 05/08/2024 10:48:11 AM  
 Plot Scale: 1"=40'  
 Plotter: HP DesignJet T1100e





- LEGEND**
- WETLANDS (3.75 ACRES)
  - SLOPES > 25% (0.33 ACRES OUTSIDE OF HOT POT/CRATER)
  - HOT POT/CRATER SENSITIVE LANDS (3.52 ACRES)
  - EXISTING PRESSURIZED IRRIGATION SERVICE
  - EXISTING PRESSURIZED IRRIGATION
  - EXISTING WATER
  - EXISTING SEWER
  - EXISTING STORM DRAIN
  - PROPOSED PRESSURIZED IRRIGATION
  - PROPOSED WATER
  - PROPOSED SEWER
  - PROPOSED STORM DRAIN
  - GRASS PAVERS FOR 20' EMERGENCY LANE/UTILITY ACCESS

- BLUE STAKE NOTE:**
- LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.
- PRESSURIZED IRRIGATION NOTES:**
- ALL PRESSURIZED IRRIGATION IMPROVEMENTS SHALL MEET MIDWAY IRRIGATION COMPANY STANDARDS & SPECIFICATIONS.
  - ALL PRESSURIZED IRRIGATION MAIN SHALL BE C-900 DR-18 PURPLE PIPE.

INSTALL 6" P.I. TO PROPERTY LINE  
SEE RURAL PRESERVATION SUBDIVISION PLANS FOR P.I. SERVICES.

CONTRACTOR TO VERIFY THAT 1" P.I. SERVICES  
THAT WERE TO BE INSTALLED WITH PHASE 1 OR  
THE RURAL PRESERVATION SUBDIVISION HAVE  
BEEN INSTALLED

INSTALL 6" GATE VALVE  
INSTALL 1" P.I. SERVICE  
N= 6554.70  
E= 10463.47

30' SEWER, WATER  
AND PI EASEMENT

25' SEWER AND  
WATER EASEMENT

20' SEWER  
EASEMENT

REMOVE PLUG AND THRUST BLOCK  
CONNECT TO 6" PI INSTALLED WITH PHASE 1  
BEGIN PHASE 2 P.I.

INSTALL 1" P.I. SERVICE  
N= 6372.46  
E= 11145.25

CONNECT TO 6" P.I. STUBOUT  
BEGIN 6" P.I. FOR PHASE 2

WETLANDS

HOTEL

SPA

POOL

CONSERVATION EASEMENT

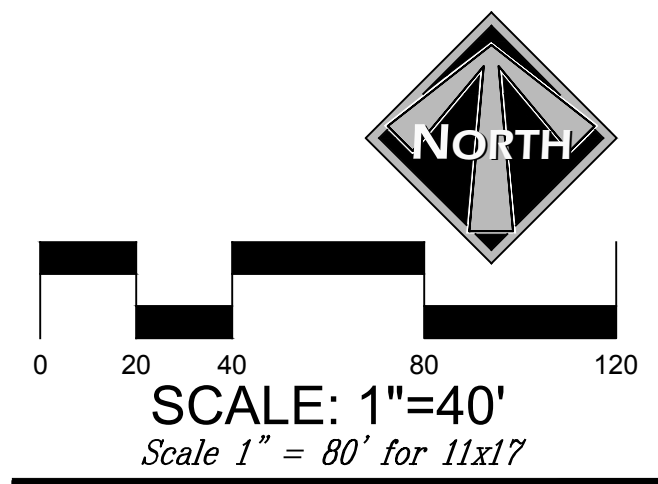
EXISTING OFFSITE  
STORM WATER  
BASIN

HOT POTS

16' PUBLIC TRAIL EASEMENT

8' PUBLIC  
ASPHALT TRAIL

100' STONE  
WALL/SIGN  
SCREENING



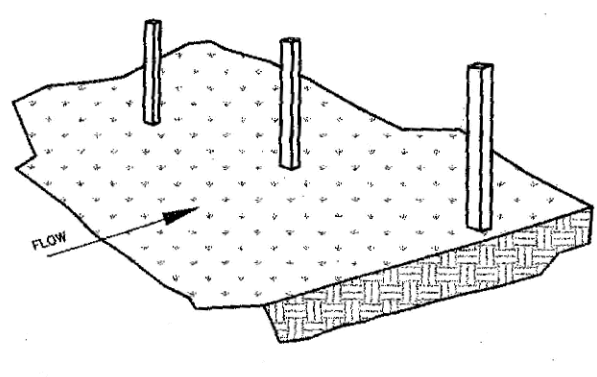
CHUCK HEATH AMEYALLI - PHASE 2	
PHASE 2 PRESSURIZED IRRIGATION PLAN	
<b>BERG ENGINEERING</b> 380 E Main St. Suite 204 Midway, Ut 84049 ph 435.657.9749	
DESIGN BY: PDB	DATE: 8 MAY 2024
DRAWN BY: DA	REV: 21

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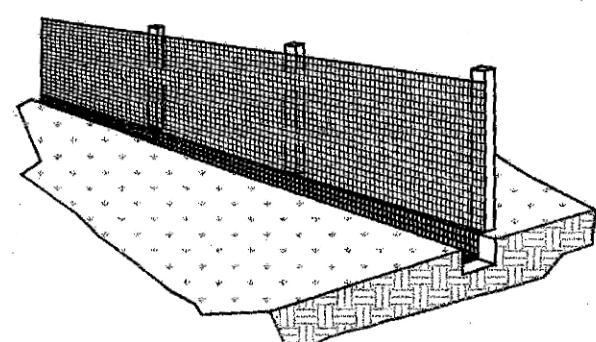
PAUL D. BERG P.E.  
SERIAL NO. 295595  
DATE: 8 MAY 2024

file: V:\Midway\AMEYALLI - Phase 2\Drawings\PHASE 2\PHASE 2\_PIP.dwg | plot date: May 08, 2024 | plotted by: dave

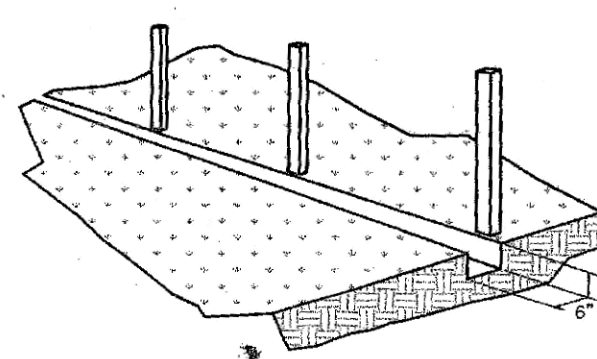
**STEP 1. SET THE STAKES.**



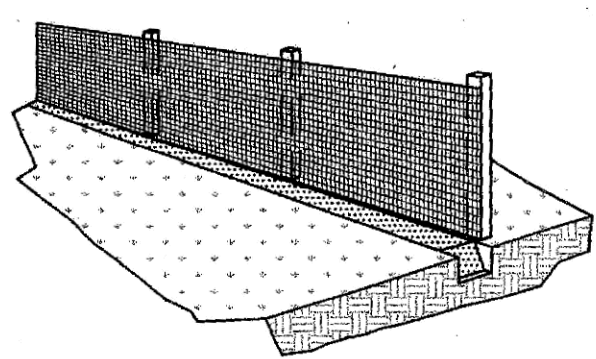
**STEP 3. STAPLE FILTER MATERIAL TO STAKES AND EXTEND IT INTO THE TRENCH.**



**STEP 2. EXCAVATE A 6" X 6" TRENCH ALONG THE LINE OF STAKES.**



**STEP 4. BACKFILL AND COMPACT THE EXCAVATED SOIL.**



**CONSTRUCTION SPECIFICATIONS FOR SILT BARRIER FENCE MATERIALS**

1. SYNTHETIC FILTER FABRIC SHALL BE A PERVIOUS SHEET OF PROPYLENE, NYLON, POLYESTER OR ETHYLENE YARN AND SHALL BE CERTIFIED BY THE MANUFACTURER OR SUPPLIER AS CONFORMING TO THE FOLLOWING REQUIREMENTS (PER ASTM METHODS):

PHYSICAL PROPERTY	REQUIREMENTS
FILTERING EFFICIENCY	75% (MIN.)
TENSILE STRENGTH AT 20% MAXIMUM ELONGATION	EXT. STRENGTH = 50 LBS./IN. (MIN.) STD. STRENGTH = 30 LBS./IN. (MIN.)
FLOW RATE	30 GAL./SQ. FT./MINUTE (MIN.)

2. SYNTHETIC FILTER FABRIC SHALL CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS TO PROVIDE A MINIMUM OF 6 MONTHS OF EXPECTED USABLE CONSTRUCTION LIFE AT A TEMPERATURE RANGE OF 0° TO 120°.

**INSTALLATION**

- THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 15" AND A MAXIMUM OF 18" ABOVE FINAL GRADE.
- STANDARD STRENGTH SYNTHETIC FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL AND CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS (AND THIS IMPROVES THE BARRIER'S STRENGTH AND EFFICIENCY).
- STAKES FOR THE SILT FENCE SHALL BE 2" X 2" WOOD WITH A MINIMUM LENGTH OF 3 FEET.
- THE STAKES SHALL BE SPACED A MAXIMUM OF 5 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (18" MIN.).
- A TRENCH SHALL BE EXCAVATED APPROX 6" WIDE AND 6" DEEP ALONG THE LINE OF STAKES AND UPSLOPE FROM THE BARRIER.

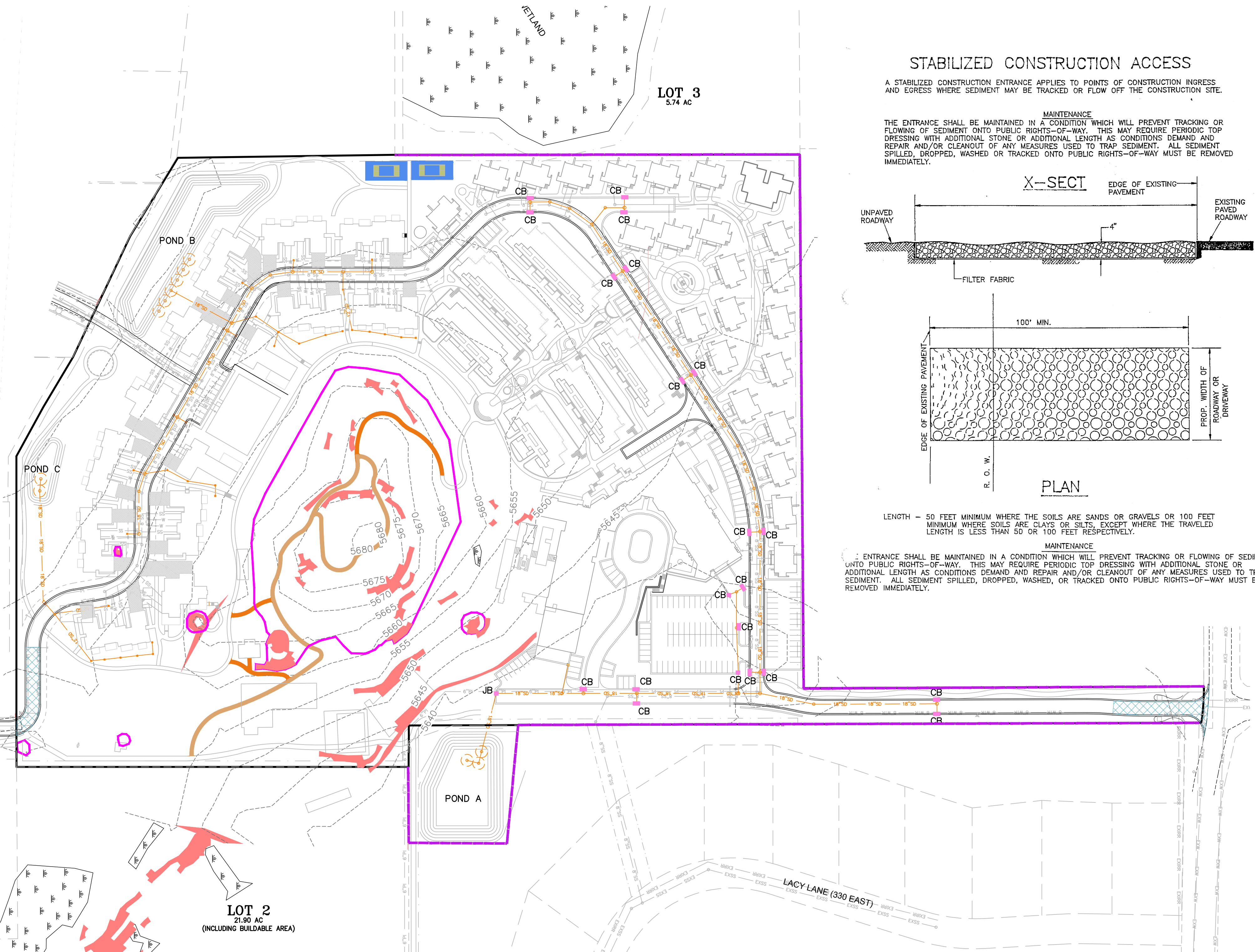
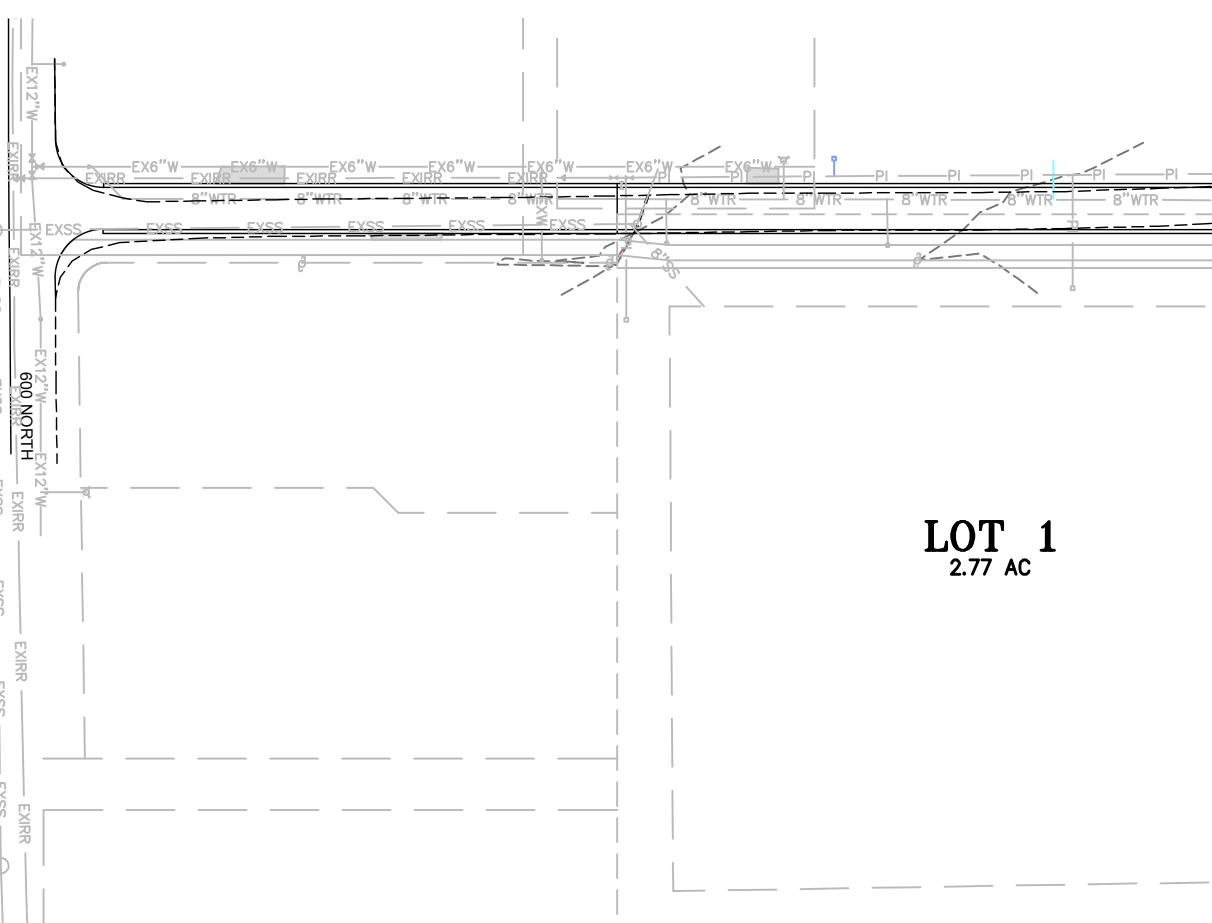
- THE SILT FENCE SHALL BE STAPLED TO THE STAKES WITH 8" (MIN.) OF FABRIC EXTENDED INTO THE TRENCH. HEAVY DUTY WIRE STAPLES (1/2" LONG MIN) SHALL BE USED. THE FENCE SHALL NOT BE STAPLED TO EXISTING TREES.
- THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FENCE MATERIAL.
- IF A SILT FENCE IS TO BE CONSTRUCTED ACROSS A DITCH LINE OR SMALL THE BARRIER SHALL BE OF SUFFICIENT LENGTH TO ELIMINATE END FLOW. THE PLAN CONFIGURATION SHALL RESEMBLE AN ARC OR HORSESHOE WITH THE ENDS ORIENTED UPSLOPE.
- SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

**MAINTENANCE**

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE SILT FENCE IS STILL NECESSARY, IT SHALL BE REPLACED IMMEDIATELY.
- SEDIMENT DEPOSITS SHALL BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY 1/3 THE HEIGHT OF THE FENCE.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.
- THERE SHOULD BE NO GAPS OR SAGS IN THE SILT FENCE.

**CONSTRUCTION OF A FILTER BARRIER**

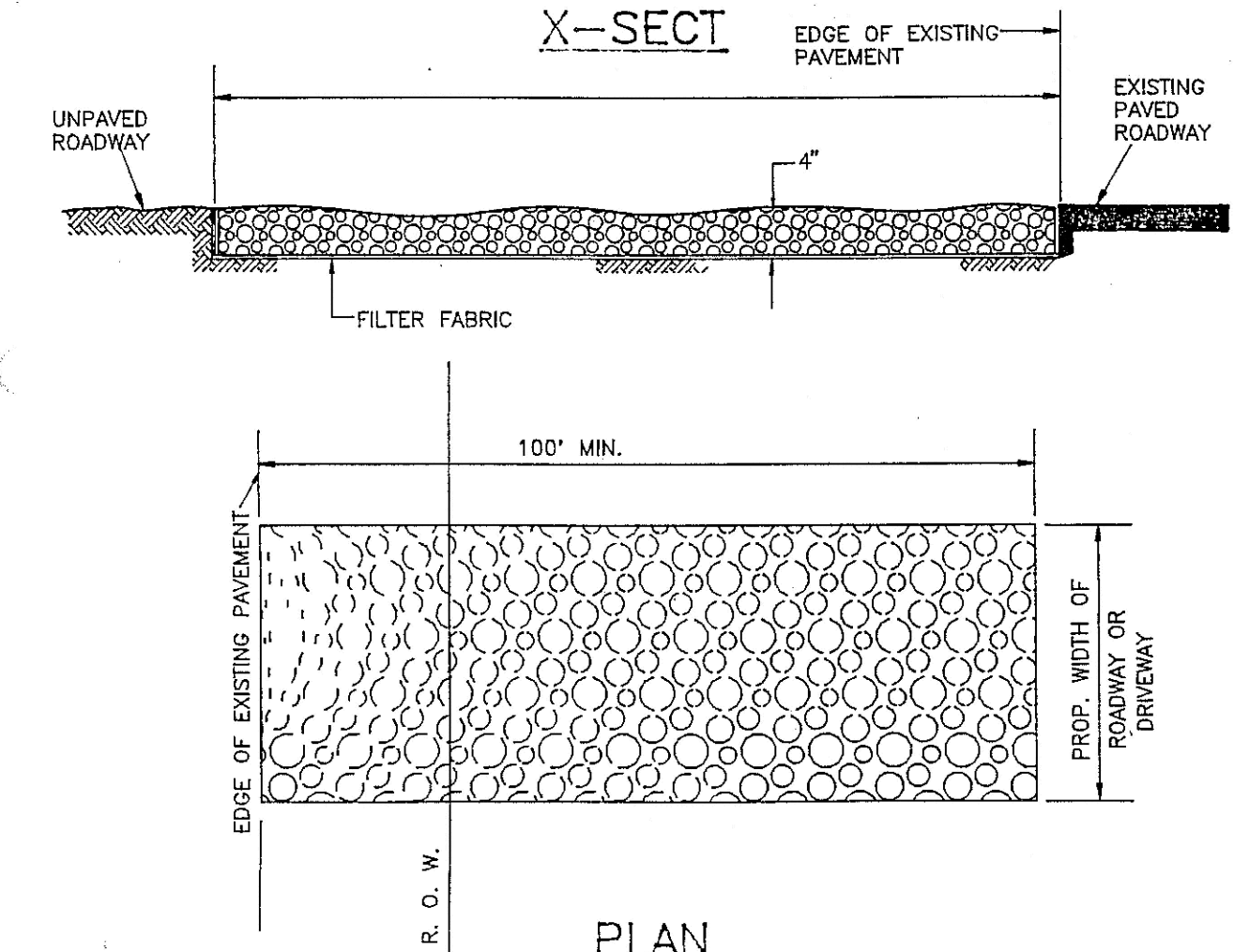
N.T.S.



**STABILIZED CONSTRUCTION ACCESS**

A STABILIZED CONSTRUCTION ENTRANCE APPLIES TO POINTS OF CONSTRUCTION INGRESS AND EGRESS WHERE SEDIMENT MAY BE TRACKED OR FLOW OFF THE CONSTRUCTION SITE.

**MAINTENANCE**  
THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.



**PLAN**  
LENGTH - 50 FEET MINIMUM WHERE THE SOILS ARE SANDS OR GRAVELS OR 100 FEET MINIMUM WHERE SOILS ARE CLAYS OR SILTS, EXCEPT WHERE THE TRAVELED LENGTH IS LESS THAN 50 OR 100 FEET RESPECTIVELY.

**MAINTENANCE**

ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

**LEGEND**

- SILT FENCE
- STABILIZED CONSTRUCTION ACCESS
- INLET PROTECTION

EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE LOCATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR BLUE STAKING OF ALL ONSITE UTILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF DIFFERENCES BETWEEN BLUE STAKED LOCATIONS AND THOSE SHOWN ON THIS PLAN.

**EROSION CONTROL FOR STORM DRAIN SYSTEM**  
CONTRACTOR SHALL INSTALL EROSION CONTROL AT ALL CATCH BASINS DURING CONSTRUCTION. EROSION CONTROL TO INCLUDE FILTER FABRIC AND HAY BALES. CONTRACTOR SHALL PERIODICALLY REMOVE SEDIMENT THAT COLLECTS AROUND THE CATCH BASINS AND SHALL KEEP THE STORM DRAIN SYSTEM FREE OF SEDIMENT AND DEBRIS.

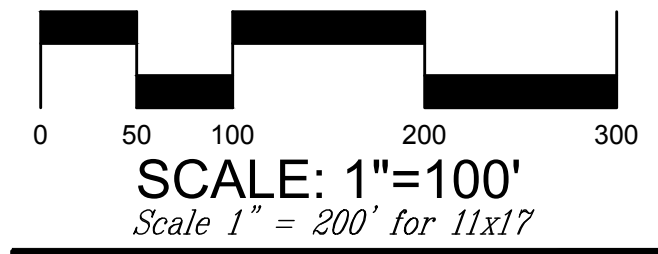
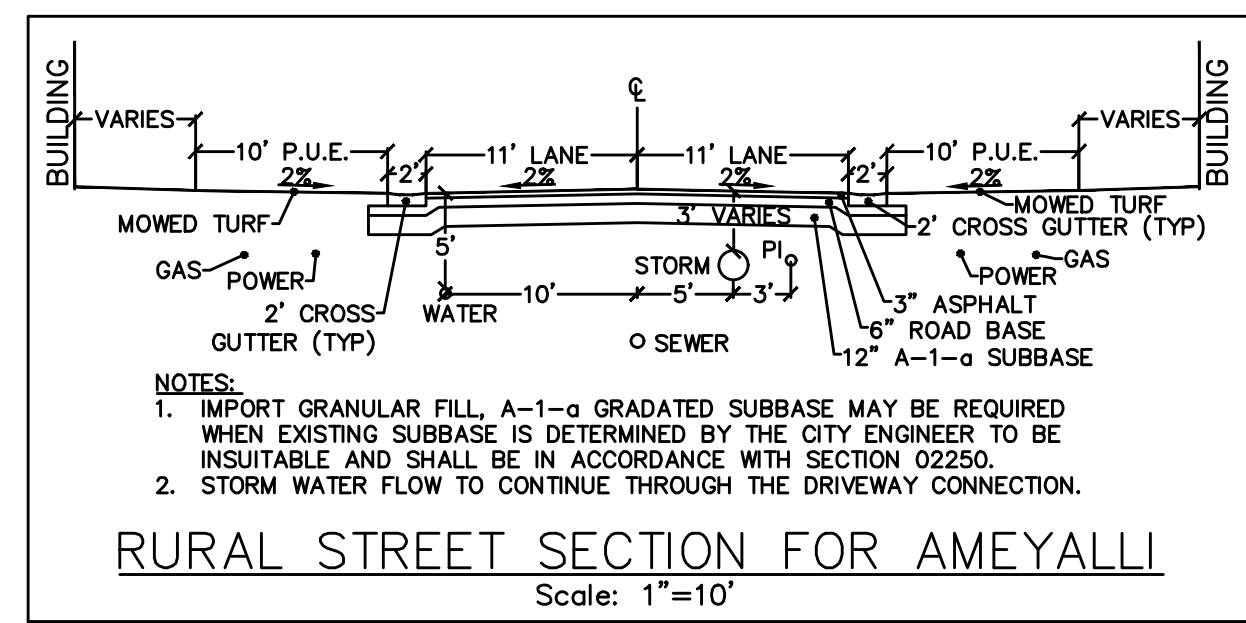
**CONSTRUCTION ENTRANCE**  
A STABILIZED CONSTRUCTION ACCESS IS REQUIRED FOR THIS PROJECT DURING CONSTRUCTION OF THE DEVELOPMENT AND BUILDINGS. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING A STABILIZED CONSTRUCTION ACCESS. SEE DETAIL ON THIS SHEET FOR ADDITIONAL INFORMATION.

**CLEARING AND GRUBBING**  
CONTRACTOR IS RESPONSIBLE TO CLEAR AND GRUB A MINIMUM OF 12" FROM THE ROADWAY AREA FOR THE STREET AND PARKING AREAS. CONTRACTOR IS RESPONSIBLE TO CLEAR AND GRUB A MINIMUM OF 12" FROM THE PROPOSED BUILDING PADS AND DRIVEWAYS. GRUBBINGS SHOULD REMAIN ON SITE FOR USE IN SITE GRADING FOR LANDSCAPED AREAS.

**LOT 1**  
2.77 AC

**LOT 2**  
21.90 AC  
(INCLUDING BUILDABLE AREA)

**LOT 3**  
5.74 AC



CHUCK HEATH  
AMEYALLI - PHASE 2

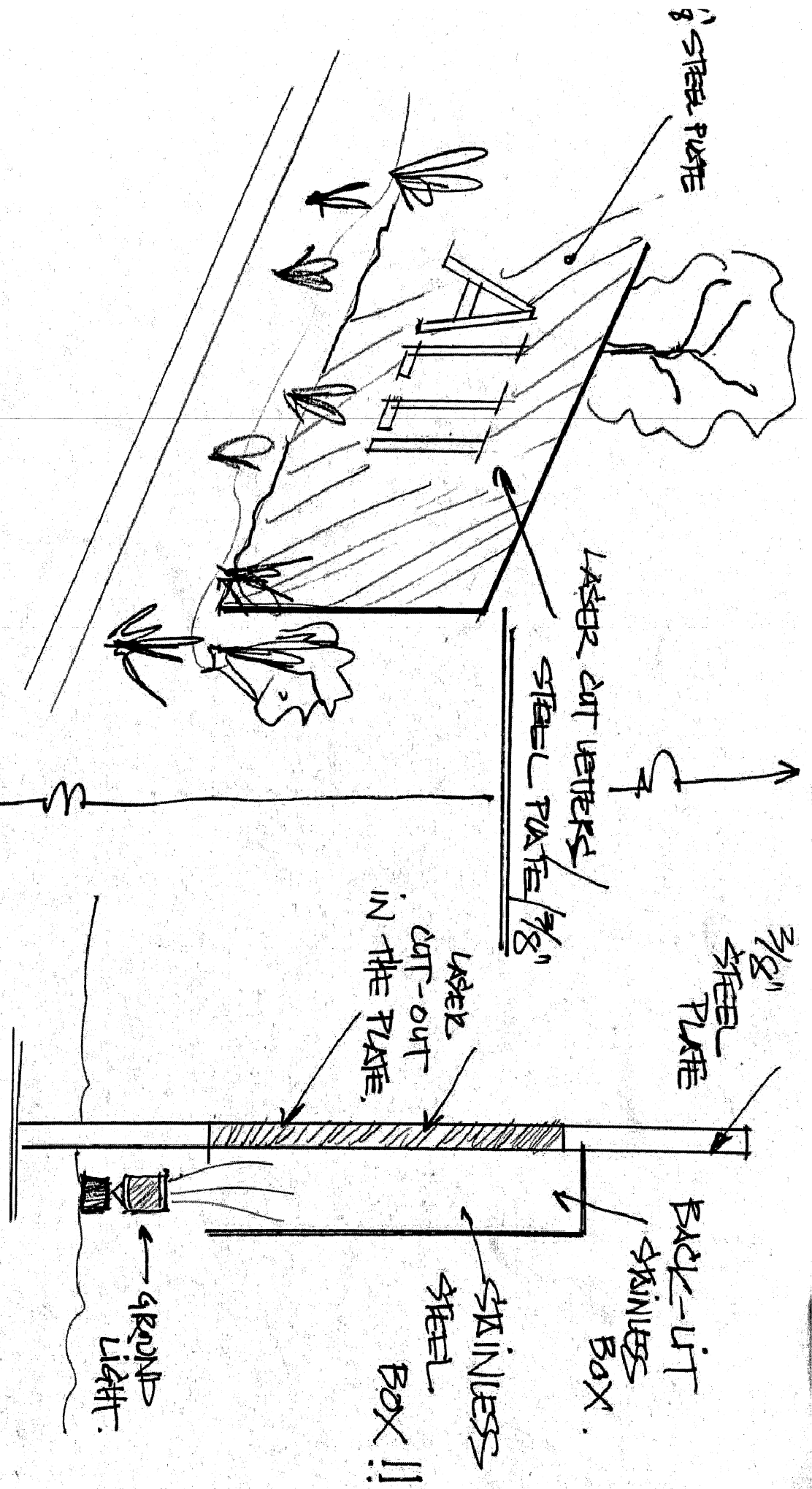
PHASE 2 SWPPP

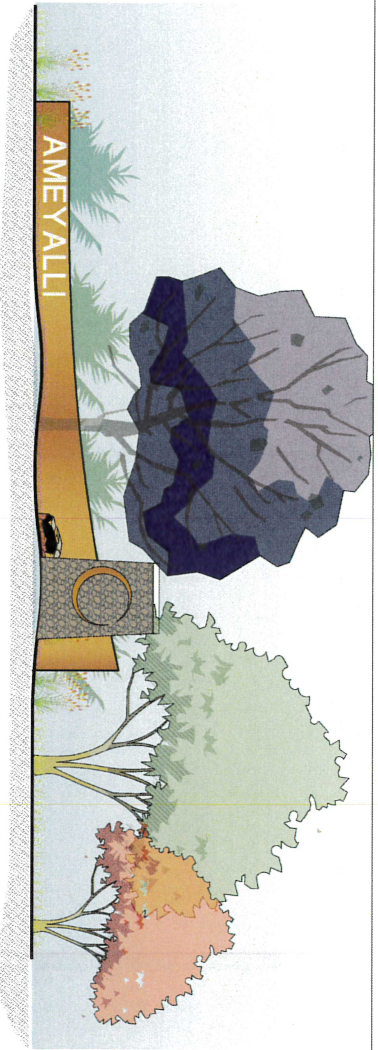
**BERG ENGINEERING**  
380 E Main St. Suite 204  
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ph 435.657.9749

DESIGN BY: PDB  
DRAWN BY: DA  
DATE: 8 MAY 2024  
REV:

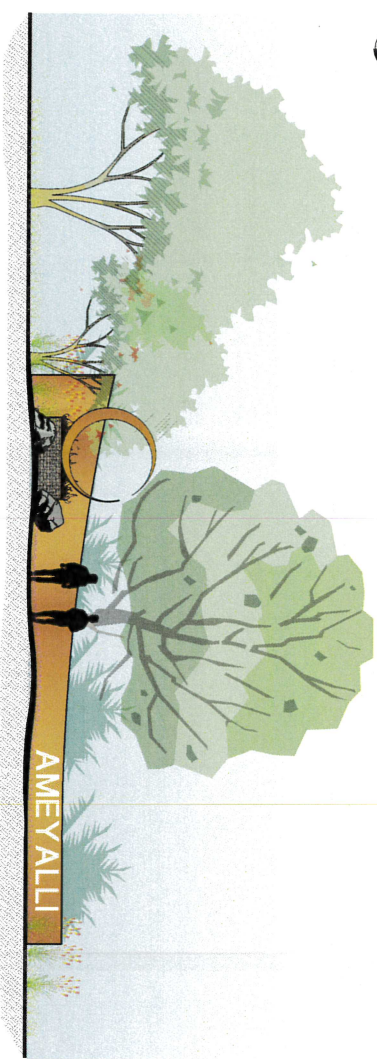
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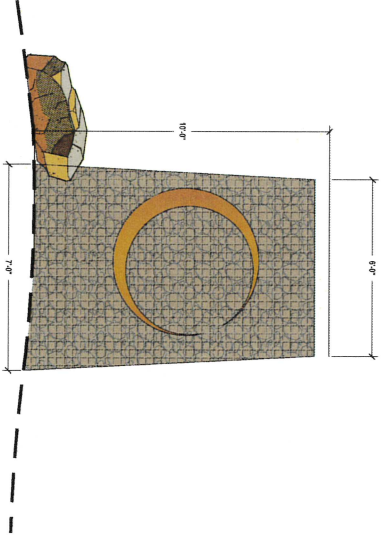
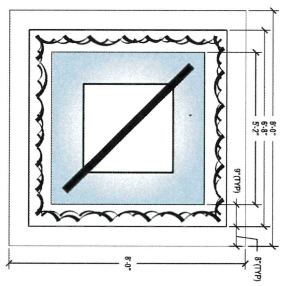
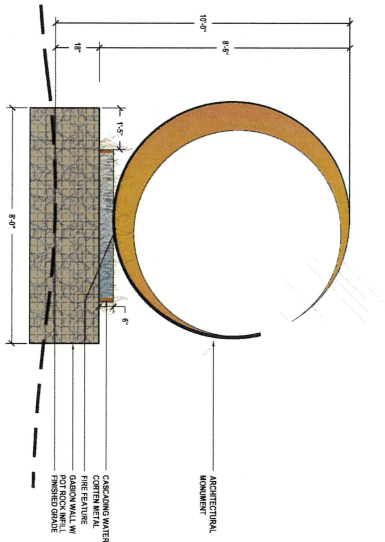
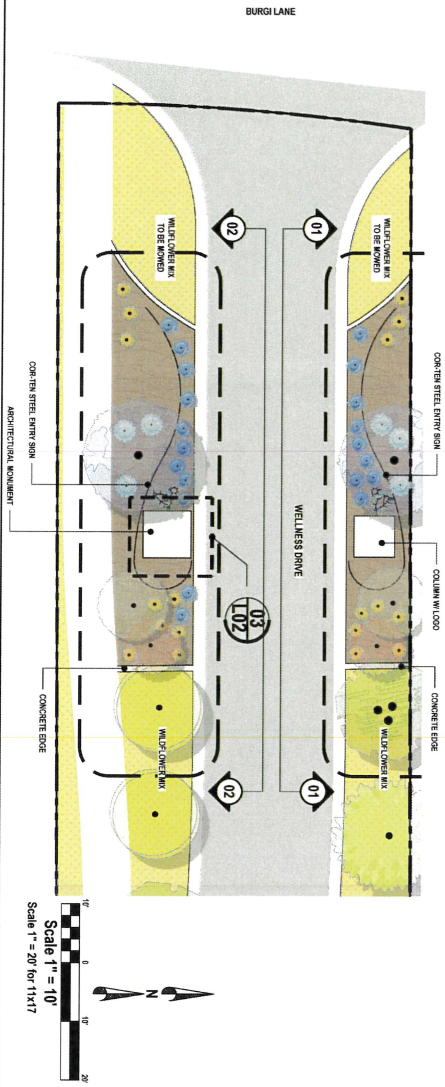




**01** AMEYALLI EAST ENTRY ELEVATION  
NTS

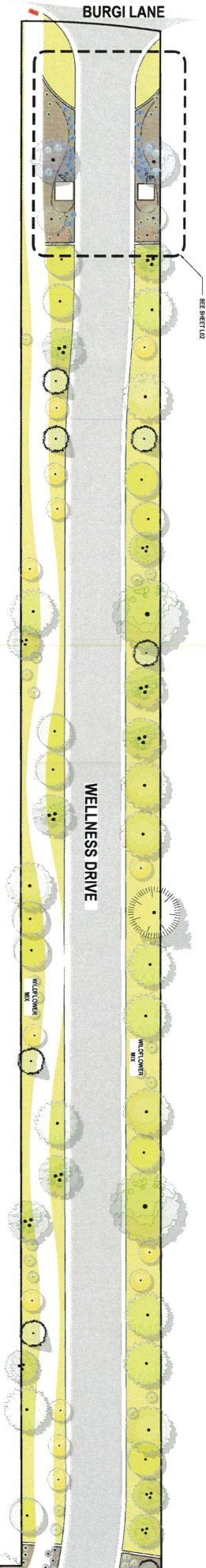


**02** AMEYALLI WEST ENTRY ELEVATION  
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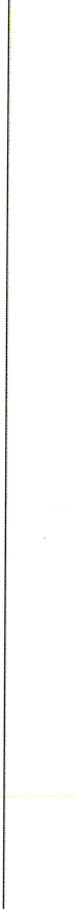
**03** COLUMN & MONUMENT DETAILS  
NTS

<p>THE COMPANY OF DESIGN LANDSCAPE ARCHITECTS 1000 W. 10TH AVENUE SUITE 200 DENVER, CO 80202 TEL: 303.733.2900 WWW.COOFDESIGN.COM</p>	<p>AMEYALLI RESORT ENTRY LANDSCAPE PLAN</p>	<p>DESIGN BY: BMM DATE: 10 APR 2024 SHEET: L02 DRAWN BY: DAA REV: 1</p>
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**PLANT SCHEDULE WELLNESS DRIVE**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	CONT
<b>TREES</b>											
19	1	Acer grandidentatum	Amur Maple (White-trunk)	888	7'	2' CAL	28	2	Cornus alba 'Variegata'	Doan's Variegated Dogwood	5 gal
2	2	Acer glabrum	Flame Amur Maple	888	7'	2' CAL	6	3	Salix purpurea 'Virens'	Doan's Arctic Willow	5 gal
13	1	Betula papyrifera 'Formosa'	Doan's Paper Birch	888	7'	2' CAL	9	3	Salix viminalis	Aspl. Soft Dogwood	5 gal
9	1	Carpinus betulus	European Hornbeam	888	7'	2' CAL	9	3	Syringa vulgaris	Common Purple Snowberry	5 gal
2	2	Quercus occidentalis	Common Hickory	888	7'	2' CAL	14	3	Picea canadensis 'Millers'	Mill's Spruce	5 gal
7	1	Malus 'Spring Snow'	Spring Snow Crab Apple	888	7'	2' CAL	6	3	Picea canadensis 'Blue Star'	Blue Star White Pine	5 gal
11	1	Prunus nigra 'Canada Red'	Canada Red Dogwood	888	7'	2' CAL	6	3	Prunella virginiana	Silvery Yarrow	2 gal
2	2	Prunus nigra 'Canada Red'	Canada Red Dogwood	888	7'	2' CAL	3	3	Artemisia vulgaris	Knapweed	1 gal
2	2	Prunus nigra 'Canada Red'	Canada Red Dogwood	888	7'	2' CAL	10	3	Artemisia vulgaris	White Yarrow	2 gal
2	2	Prunus nigra 'Canada Red'	Canada Red Dogwood	888	7'	2' CAL	20	3	Carduus arvensis	Stow in Sower	1 gal
2	2	Prunus nigra 'Canada Red'	Canada Red Dogwood	888	7'	2' CAL	15	3	Lamium maculatum 'Aureum'	Big Blue Flower Lamium	2 gal
2	2	Prunus nigra 'Canada Red'	Canada Red Dogwood	888	7'	2' CAL	15	3	Picea canadensis 'Emerald Green'	Emerald Green White Pine	1 gal
2	2	Prunus nigra 'Canada Red'	Canada Red Dogwood	888	7'	2' CAL	6	3	Thymus praecox 'Aureus'	Red Creeping Thyme	1 gal
<b>EVERGREEN TREES</b>											
2	2	Abies concolor	White Fir	888	12'	12"	25	3	Chamaenerion sibiricum 'Violet Queen'	Faerie Bell Grass	1 gal
3	3	Juniperus horizontalis	Rocky Mountain Juniper	888	8'	8"	15	3	Panicum virgatum 'Shenandoah'	Burgundy Switch Grass	1 gal
2	2	Pinus strobus	Engelmann Spruce	888	12'	12"	<b>GROUND COVERS</b>				
10	10	Pinus strobus	Engelmann Spruce	888	12'	12"	<b>MILCH</b>				
7	7	Pinus strobus	Engelmann Spruce	888	10-12'	10-12"	3.875' x 4' Wood Mulch				
2	2	Pseudotsuga canadensis 'Blue Bird'	Blue Bird Douglas Fir	8.8.8	17'	17"	4' Wood Mulch				



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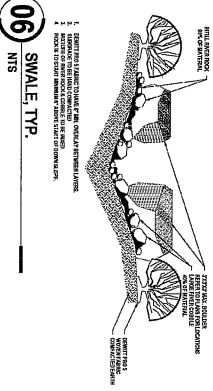
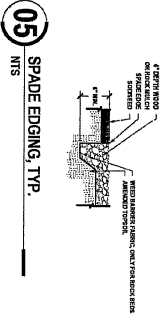
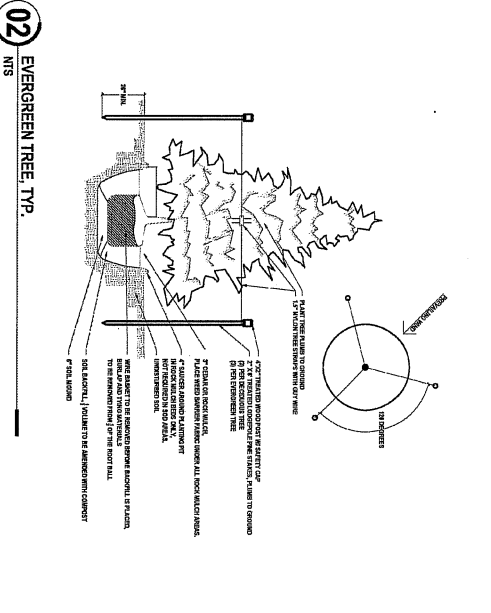
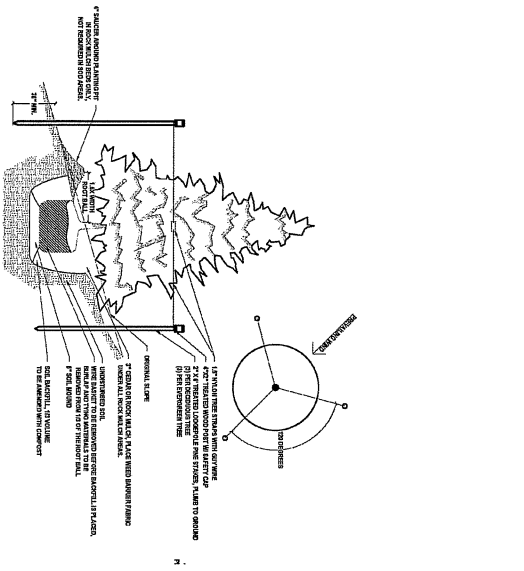
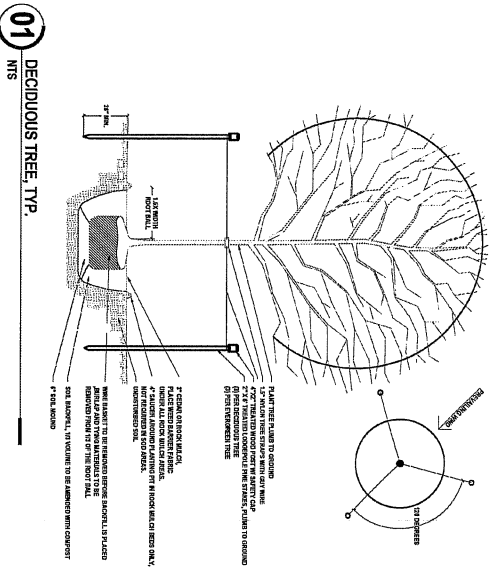
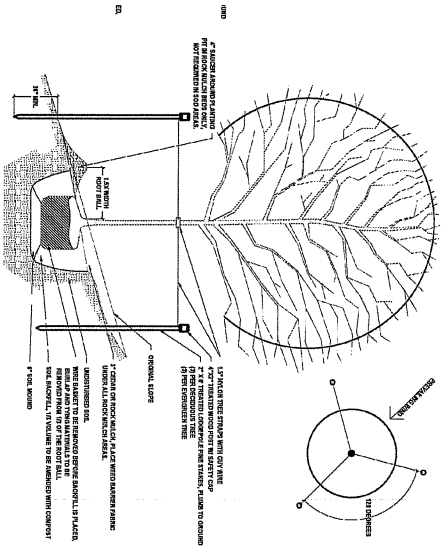
**AMEYALLI RESORT**  
WELLNESS DRIVE  
LANDSCAPE PLAN

3415 E. AMESLAND AVENUE  
DENVER, CO 80231  
TEL: 303.733.2000  
WWW.BERGLANDSCAPE.COM

DESIGN BY: BMM | DATE: 10 APR 2021 | SHEET 103  
DRAWN BY: DVA | REV: 0







**05**  
SPADE EDGING, TYP.  
N.T.S.

**01**  
DECIDUOUS TREE, TYP.  
N.T.S.

**02**  
EVERGREEN TREE, TYP.  
N.T.S.

**03**  
SHRUB, TYP.  
N.T.S.

**04**  
SANDSTONE BOULDER, TYP.  
N.T.S.

**06**  
SWALE, TYP.  
N.T.S.

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