



PLANNING COMMISSION MEETING STAFF REPORT

DATE OF MEETING: June 11, 2024
NAME OF PROJECT: Ameyalli Resort Development
NAME OF APPLICANT: Midway Mountain Spa LLC
AUTHORIZED REPRESENTATIVE: Chuck Heath
CIVIL ENGINEER: Berg Engineering
AGENDA ITEM: Ameyalli Resort Phase 2 Final
LOCATION OF ITEM: Approximately 800 North 200 East
ZONING DESIGNATION: Recreational and Resort Zone (RZ)

ITEM: 2

Chuck Heath, representative for Midway Mtn Spa LLC, has submitted a final application for Phase 2 of the Ameyalli Resort on 28.87-acres. The final plan includes 23 cottage units, 80 hotel units, and the Chopra House of Enlightenment, and the Well-Being Center which includes restaurants, spa, event center, etc. The property is located at approximately 800 North 200 East and is in the Resort Zone (RZ).

BACKGROUND:

Chuck Heath of Midway Mountain Spa LLC is requesting final approval of Phase 2 of the Ameyalli Resort master plan (FKA Mt. Spa) which is on 11.44 acres. Ameyalli was originally approved as a four-phase development, but the City Council approved a master plan amendment March 19, 2023, and reduced the phases from four to two. The master plan includes a resort building, hotel rooms, cottage units, duplex units, family lodges, public and private trails, and other resort related amenities. Phase 2 specifically includes

the Well-Being Center which includes restaurants, spa, event center, etc. along with 23 cottage units, 80 hotel units, and the Chopra House of Enlightenment. As part of Phase 1, the applicant brought utilities into the property and has nearly completed construction of a connector road from Burgi Lane to 600 North. The connector road will access all the uses in Phase 2.

The applicant has stated that the intent is that all units are rentable, including the hotel and cottage units in Phase 2. The Phase 2 plat is divided into three lots. Each lot could be sold to different entities, but all will be part of one property owners' association regulated by Codes, Covenants, and Restrictions (CC&Rs) for the entire development. The applicant has stated that, through Ameyalli's CC&Rs, the units will not be lived in year-round but will be vacation properties that are put into a rental pool when not being used by the owner(s). Because hotel rooms and nightly rentals are a benefit to the community in various ways (resort tax, transient room tax, patrons for restaurants and commercial businesses), the resort zone limits residential units that allow stays of 30 days or longer to 10% of the gross master plan floor area. It is unlikely that anyone would live in any of the units in Phase 2 since there are no kitchen facilities in any of the units.

The Mountain Spa was established in the 1880s and operated as a resort focused on pools, using the geothermal water found on site, and as a gathering area for the community. The resort was active until the 1980s and then shut down. The site had gone into disrepair and the recreational facilities and buildings were dilapidated and have been removed from the site.

There has been interest in developing the property since that time. One of the most recent proposals that received approval from the City was in 2008 when a large resort was proposed on the property. The approved resort included hotels, promenade, bungalows, and the Old Mountain Spa Village. The approval also included a planned unit development (PUD) in the area zoned R-1-22 which was approved for 63 units. Since the approval, the entitlement for the resort has lapsed until in the past few years when a collaboration was formed between Chuck Heath, Summit Land Conservancy, Midway, and Wasatch County. The four entities all worked together and were able place conservation easements on roughly 46 acres (Lot 2 and Lot 4 of the Mountain Spa Rural Preservation Subdivision and an 8.81 parcel in the center of the resort core).

The Mountain Spa property itself is fascinating because of the natural environmental features found on the property. The property has geothermal springs and craters filled with warm water. There is a large area of pot rock around the springs and craters which are considered a major geologic feature area by Midway City and protected as part of the sensitive lands code. There are also wetland areas on the property along with agricultural area that includes about 15 acres of irrigated field and a large pasture located on the north end of the property (now preserved with a conservation easement). Because of these features and because of the Mountain Spa's prominent location on the north end of Midway, the City has planned for trails to cross the property in two locations. There is a large linear park trail that is planned to connect Burgi Hill Park in the north to Watts Remund Farms PUD in the south. This trail will connect the north end of the City down

to Main Street and will create a trail that will generally not parallel roads and will create a safe environment for pedestrians to travel from one area of Midway to another. The City has also planned a trail along River Road and has recently installed a temporary trail in the River Road right-of-way. It is anticipated that with this proposal a new trail will be constructed on the Mountain Spa property along the River Road right-of-way that will be farther from the road and will create a safer pedestrian experience for those using the trail. The City has also secured an easement and built a trail that connects the River Road trail with the planned linear park trail that runs east and west across the southern boundary of Lacy Lane Estates.

The property fronts two of the busiest roads in Midway which includes River Road and Burgi Lane. These two roads act as the entry into Midway and by preserving the properties as open space, Midway has ensured a beautiful and natural entry corridor to the City that benefits residents and tourists alike.

The Mountain Spa resort is an important heritage landmark in Midway. The Mountain Spa can be an important economic driver in Midway for economic activity which has a residual impact on other businesses but also an important tax revenue source for the City which, in turn, helps keep property taxes low which is a benefit to all residents of Midway.

Sensitive land area located on the property will be left undisturbed as required by the land use ordinance. These sensitive lands include 25% and greater slopes, hot pots, and pot rock outcroppings.

LAND USE SUMMARY:

- Resort Zone (RZ)
- Phase 2 approximately 11.44 acres (28.87 acres total in the master plan)
- 3 lots
- 4.08 acres of open space (15.95 acres of open space in the master plan)
- Well-Being Center which includes restaurants, spa, event center, etc.
- 23 cottage units, 80 hotel units, and the Chopra House of Enlightenment
- Public trails from 600 North to Burgi Lane (8' wide paved trail), River Road to resort core (6-8' wide soft surface trail), and crater loop trail (approximately 4' wide soft surface trail)
- Private roads and storm drain system will be maintained by the property owner

- New improvements will connect to the Midway Sanitation District sewer and to the City’s culinary water line
- Sensitive lands on the property include hot pots, rock outcroppings and 25% and greater slopes

ANALYSIS:

Open Space – The code requires 55% open space which is being met with 16.06 acres of which 4.08 acres are in Phase 2. Only areas that are a minimum of 100’ in width qualify as open space, these areas shall not be developed except for uses specifically permitted in the code. The open space areas, that will be noted on the plat, will include the 100’ setback area along the adjoining property boundaries.

Density – The proposed development includes the following types and quantities of density (Items in **bold** are in Phase 2):

• 80 Hotel Rooms –	42,020 SF
• 23 Cottages –	37,444 SF
• Chopra House of Enlightenment -	3,210 SF
• Resort Building/Spa -	44,697 SF
• 24 Duplex Units -	66,393 SF
• Two Family Lodges -	10,542 SF
• Med Spa -	5,500 SF
• Farm Kitchen -	1,300 SF
Total:	213,030 SF
Total Bedrooms:	237 EA

Building Area –The proposed plan includes a gross building floor area of 213,030 square feet (250,000 square feet is the maximum allowed by the Memorandum of Understanding). The resort zone requires 20% of the gross floor area to be designated as commercial (42,489 square feet). Of that 20%, 25% must be uses such as retail, restaurants, clubs/taverns, or art galleries/showrooms (10,652 square feet).

Access – The development has two access points, both of which are built to City standards, one from Burgi Lane, one from 600 North via 200 East. The roads will be private except the existing public road of 200 East which extends about 650’ north of 600 North.

Public Participation Meeting – The developers held a public participation meeting on May 4, 2022, as required by the ordinance for master plan applications. This requirement is to give the developers an opportunity to present the resort to the surrounding residents of the proposed development.

Sensitive Lands – The property does contain some sloped areas and geologic sensitive lands that cannot be disturbed through the development process. The craters are defined as a “major geologic feature” in the sensitive lands ordinance and cannot be developed or disturbed, although the Crater has been developed in several ways over the past century. The developer is limited in use of the area which basically means that the pot rock cannot be modified in any way. There is also an area of the property that contains “minor geologic features” which is an area that is developable except for pot rock outcroppings over three feet in height. A few trails are planned in the craters area which must be constructed within the guidelines of the sensitive land ordinance.

Public Trails – There is an 8’ paved public trail that is planned to connect Burgi Hill Park in the north to the Watts Remund Farms PUD in the south. This trail will connect the north end of the City down to Main Street and will create a trail that will generally not parallel roads and will create a pleasant environment for pedestrians to travel from one area of Midway to another. The City has also planned an 8’ paved public trail along River Road and has recently installed a temporary trail in the River Road right-of-way. It is anticipated that in the future, the City will rebuild the River Road trail in the public trail easement that has been dedicated to the City as part of the Mountain Spa Rural Preservation Subdivision with the funds the developer has already given to the City. The future River Road trail will be constructed in the trail easement along the River Road right-of-way that will be farther from the road and will create a safer pedestrian experience. The City has also secured a public trail easement and built the soft-surface trail from the River Road Trail with the area of the planned linear park trail with funds that were paid by the developer of Ameyalli. A log fence has also been built along the north side of the trail by funds paid to the City by the developer. There is also a soft-surface public trail that will connect from the linear park trail that will circle the hot pot area in the conservation easement that will be built by the developer.

Private Trails – There are many 6’ private trails in the development. These trails will be used by the guests to travel from lodging areas to amenity areas. The plan specifies that the trails will either be concrete or asphalt which will work better than soft-surface trails which would not be as feasible in the varied climate of Midway.

Architecture Theme – Typically, the architectural theming for new structures in the Resort Zone must comply with the Swiss-European guidelines outlined in Section 16.13.37 of the land use code. In Chapter 16.15 (Resort Zone), the building design guideline section (16.15.4 (G) (3)) states that the building design shall reflect “The community’s architectural character choices emphasizing Swiss/European Alpine themes (or other themes as approved by the City Council after a recommendation from the Visual Architectural Committee (VAC) and Planning Commission).” The applicant proposed a theme that some may interpret as a departure from the typical Swiss/European Alpine themes. With the approval of the master plan, the developer’s proposed theming was approved for the resort. Individual buildings will be presented to the VAC for their review before building permits are submitted.

Setbacks – The proposed development is designed with the setbacks from the Resort Zone code. The code requires 100’ setbacks from all boundary lines surrounding the original Mountain Spa property. This includes the areas along the southern boundary, Sunflower Farms, property to the west that fronts Center Street, and along the boundary with Lacy Lane Estates. The four Mountain Spa Rural Preservation lots that were developed by the applicant and were part of the original Mountain Spa Resort property, all have minimal setbacks because those properties are part of the master proposal and are considered part of the resort property as approved in the previous plan (2008 master plan approval). Internal road setbacks are as approved by the City Council.

Height of structures – Structures cannot exceed 35’ in height measured from natural grade as described in the Ameyalli Master Plan Agreement.

Building Area Dimensional Limitations – The code requires that building coverage not exceed 12,000 square feet per acre or greater than 27.5% of an acre. The applicant has submitted a plan that states that the average building coverage 213,030 square feet (4.89 acres) per acre which is about 17% per acre.

Memorandum of Understanding requirements – Summit Land Conservancy and Chuck Heath entered into a Memorandum of Understanding (MOU) regarding development of the Mountain Spa Property. The MOU dictates previously mentioned items such as building footprint area and height. It also requires the following:

- Restore and maintain the historic “Mountain Spa” pole sign.
- Construct the previously mentioned trails.
- Restore natural hot spring water to at least one of the craters in the protected pot rock area.
- Demolish and clean up the old buildings and derelict swimming pools in and around the protected pot rock area, leaving the two-story historic stone building intact.
- Provide for the preservation of wildlife habitat, particularly the wetland areas on the northwest of the property.

Parking – The City Council has approved a parking plan that reduced parking from 680 stalls down to 302 stalls. This was based on resort industry standards that reduce parking stalls because guests of the resort visit the other amenities and businesses in the resort. This allows for a reduction of parking stalls because a guest that is staying in the hotel will park in the hotel stall but will not need a stall at the restaurant or spa when they visit those facilities. The developer has provided a plan that includes 306 stalls which exceeds the 302 required stalls.

Water Rights – Master plans require that water rights be held in escrow with the City before a master plan agreement can be recorded. The required water rights per phase are then dedicated to the City before the recording of each plat. The Water Advisory Board reviewed the project on May 2, 2022, to determine the water required for the

proposal. In that meeting, the Water Board recommended that 119.62 acre feet (106.72 culinary and 12.97 outside irrigation) will be required for the entire project which includes culinary connections and outside irrigation. Since that meeting, plans have been revised and updated so that recommendation was no longer accurate. On October 3, 2022, the Water Board reviewed and made a recommendation that 124.85 acre feet (92.23 culinary and 25.62 outside irrigation) must be held in escrow for the entire master plan. The developer was required to dedicate 36.5 acre feet for Phase 1, this leaves the remainder of the required water rights to be dedicated for Phase 2 which is 88.35 acre feet.

Landscaping Plan – A detailed landscaping plan has been submitted which shows irrigated areas, ground covers, and types and quantities of trees. The code requires 15 trees per acre for non-hard-surface common areas. Based on the plan, 326 trees are required. Phase 2 includes 69 of the required 326 trees. All trees in Phase 2 comply with requirements that evergreens are at least 6’ tall and deciduous trees have a caliper of at least 2”. One area of attention is in the north end of the resort where the private road makes a 90 degree turn next to Lacy Lane Estates. This area is of concern because of the potential light nuisance that is created by vehicles leaving the resort and heading to Burgi Lane. The lights from the vehicle will shine directly into the back of a couple of Lacy Lane homes and will affect several others unless the nuisance is mitigated. The developer, staff, Lacy Lane Estates HOA, and residents of Lacy Lane have held several meetings to work on a landscape plan and stone wall plan that will help mitigate light from trespassing on to neighboring properties.

Off-Site Storm Drain Basin – Part of creating a landscaping plan that helps shield residents of Lacy Lane Estates from light and noise nuisances created by Ameyalli, and part of creating the space necessary for the landscaping required rerouting of the proposed public trail. To create the spacing for both, a solution developed that placed Ameyalli’s storm water basin in the common area of Lacy Lane Estates. This plan has been approved by the HOA and an easement has been deeded from the Lacy Lane Estates HOA to Ameyalli for access and maintenance purposes.

Geotechnical Report – The City has received a geotechnical report for the property that was prepared by Earthtec which has been reviewed by the City’s engineer. The City has also received a report on ground penetrating radar of the site.

Both phases will be one HOA – The two phases of the Ameyalli master plan will be one Homeowners’ Association as required by code. The city attorney will review the proposed documents before they are recorded simultaneously with the plat.

WATER BOARD RECOMMENDATION:

The Water Advisory Board reviewed the project on October 3, 2022, to determine the water required for the proposal. They recommended that 124.85 acre feet (99.23 culinary and 25.62 outside irrigation) will be required for the entire project which includes culinary connections and outside irrigation. The developer was required to dedicate 36.5 acre feet for Phase 1, this leaves the remainder of the required water rights to be dedicated for Phase 2 which is 88.35 acre feet.

POSSIBLE FINDINGS:

- The proposal will benefit the City financially by creating a greater tax base.
- The proposal will help the City better comply with State requirements regarding the ability to collect resort tax.
- The public trail system in the development will benefit the entire community by creating public trails across the property that will connect to Midway's existing trail network.
- Amenities will be created that will be accessible year-round which will invite more tourists to visit the resort in all seasons.

ALTERNATIVE ACTIONS:

1. Recommendation for Approval (conditional). This action can be taken if the Planning Commission finds the proposal complies with code and master plan requirements.
 - a. Accept staff report
 - b. List accepted findings
 - c. Place condition(s) if needed

2. Continuance. This action can be taken if the Planning Commission finds that there are unresolved issues.
 - a. Accept staff report
 - b. List accepted findings
 - c. Reasons for continuance
 - i. Unresolved issues that must be addressed
 - d. Date when the item will be heard again

3. Recommendation for Denial. This action can be taken if the Planning Commission finds that the request does not comply with code and master plan requirements.
 - a. Accept staff report
 - b. List accepted findings
 - c. Reasons for denial

Midway City Corporation

Mayor: Celeste T. Johnson
City Council Members
Lisa Orme • Jeffery Drury
J.C. Simonsen • Steve Dougherty
Kevin Payne



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midwaycityut.org

March 12, 2024

Michael Henke
Midway City Planner
75 North 100 West
Midway, Utah 84049
(Sent by Email)

Subject: Ameyalli – Phase 2 Preliminary Review

Dear Michael:

We recently reviewed Phase 2 of the Ameyalli Resort for Preliminary approval. The proposed resort is located within the recently plated Mountain Spa Rural Preservation development and is located at within the old Mountain Spa. The following issues should be addressed with Preliminary approval.

General Comments

- The majority of the Phase 2 improvements were installed with Phase 1.

Water

- Phase 2 will be served from the Gerber / Mahogany pressure zone.
- Each of the water lines within Phase 2 will connect to the 8" Phase 1 water line.
- The proposed 8" water lines within the development will provide fire flows of approximately 2,000 gpm.

Roads

- Each of the roads within the proposed Phase 2 will connect to roads that were installed with Phase 1. The proposed cross-section is 22' of asphalt with two 2' concrete ribbon curbs, for a total width of 26'.
- The roads within the resort will be private roads with a public easement.
- A traffic study has been submitted, reviewed, and accepted.

Pressure Irrigation

- The resort will be serviced by Midway Irrigation. To date a design for the booster pump has not been provided to the developer.
- Prior to Phase 1 receiving Final approval the design for the irrigation pumping system should be submitted to and accepted by the Developer.

Trails

- An 8' paved public trail running north to south from Burgi Lane through the development and connecting to 600 North was installed as part of Phase 1. This trail will provide connectivity from the existing trails on 600 North to Burgi Lane, then Valais Park. The trail will be a valuable link to the Midway City trails system. The trail will be completed as part of Phase 1.

Our vision for the City of Midway is to be a place where citizens, businesses and civic leaders are partners in building a city that is family-oriented, aesthetically pleasing, safe, walkable and visitor friendly. A community that proudly enhances its small-town Swiss character and natural environment, as well as remaining fiscally responsible.

Storm Drain

- The storm drain system within the resort will be a private. The system will collect and retain all onsite storm water through catch basins and retention basins.

Sewer

- All units within this development will be serviced by Midway Sanitary District.

Please feel free to call our office with any questions.

Sincerely,

A handwritten signature in blue ink, appearing to read "Wesley Johnson", with a long horizontal flourish extending to the right.

Wesley Johnson, P.E.
Midway City Engineer

cc: Berg Engineering (Sent by Email)



Ameyalli Phase II Preliminary Approval

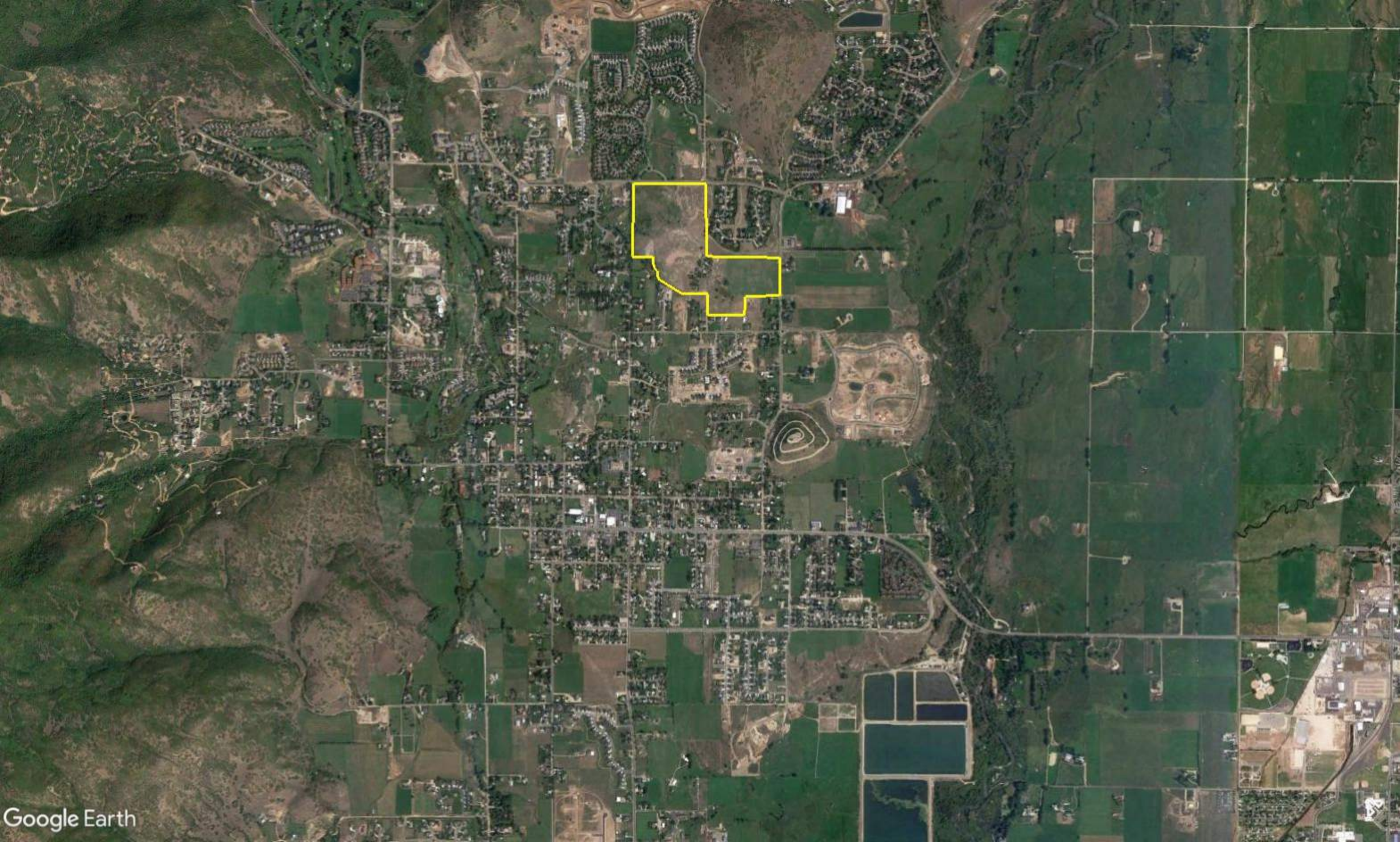
February 4, 2024

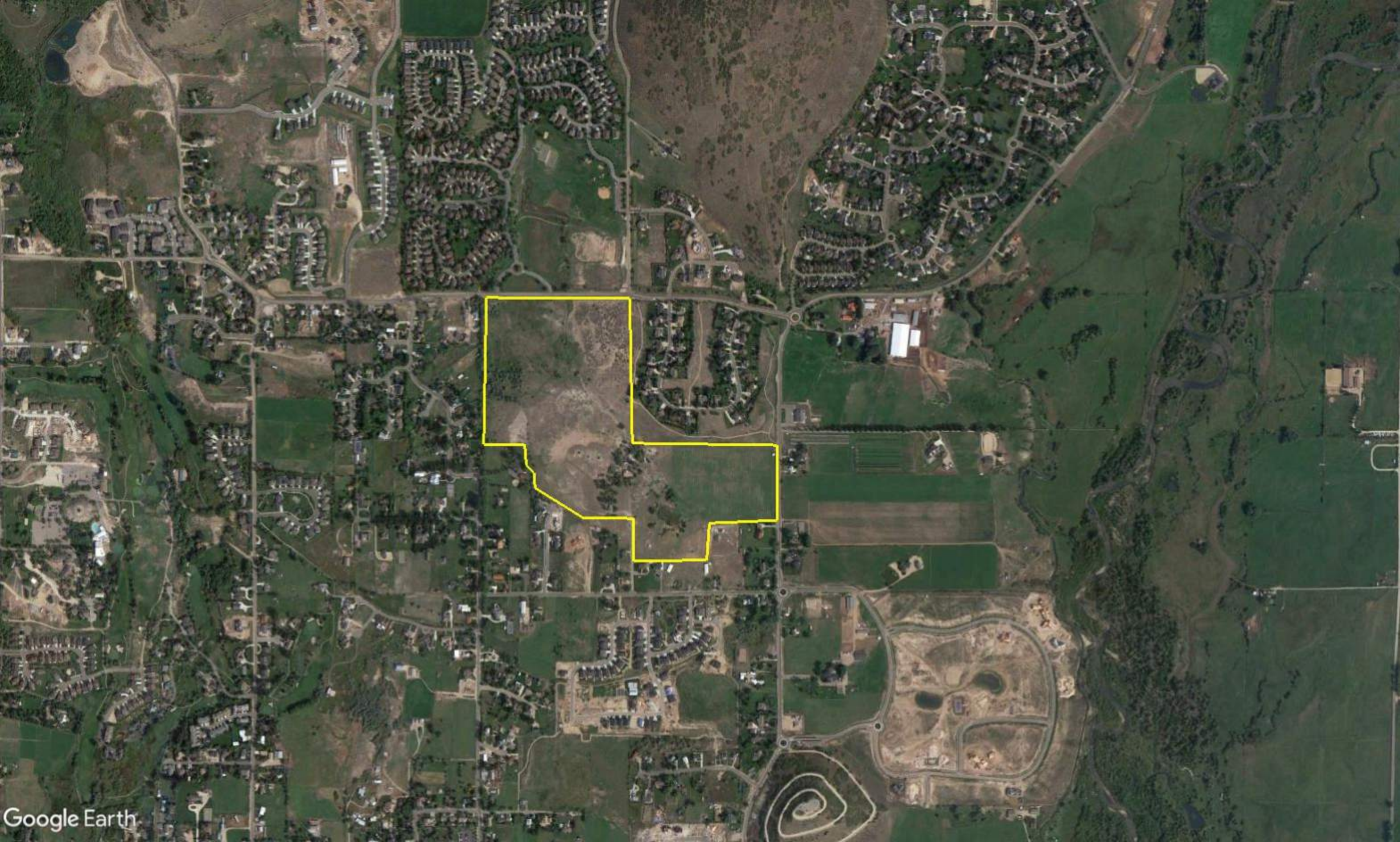
Michael Henke Midway City Planning Director,

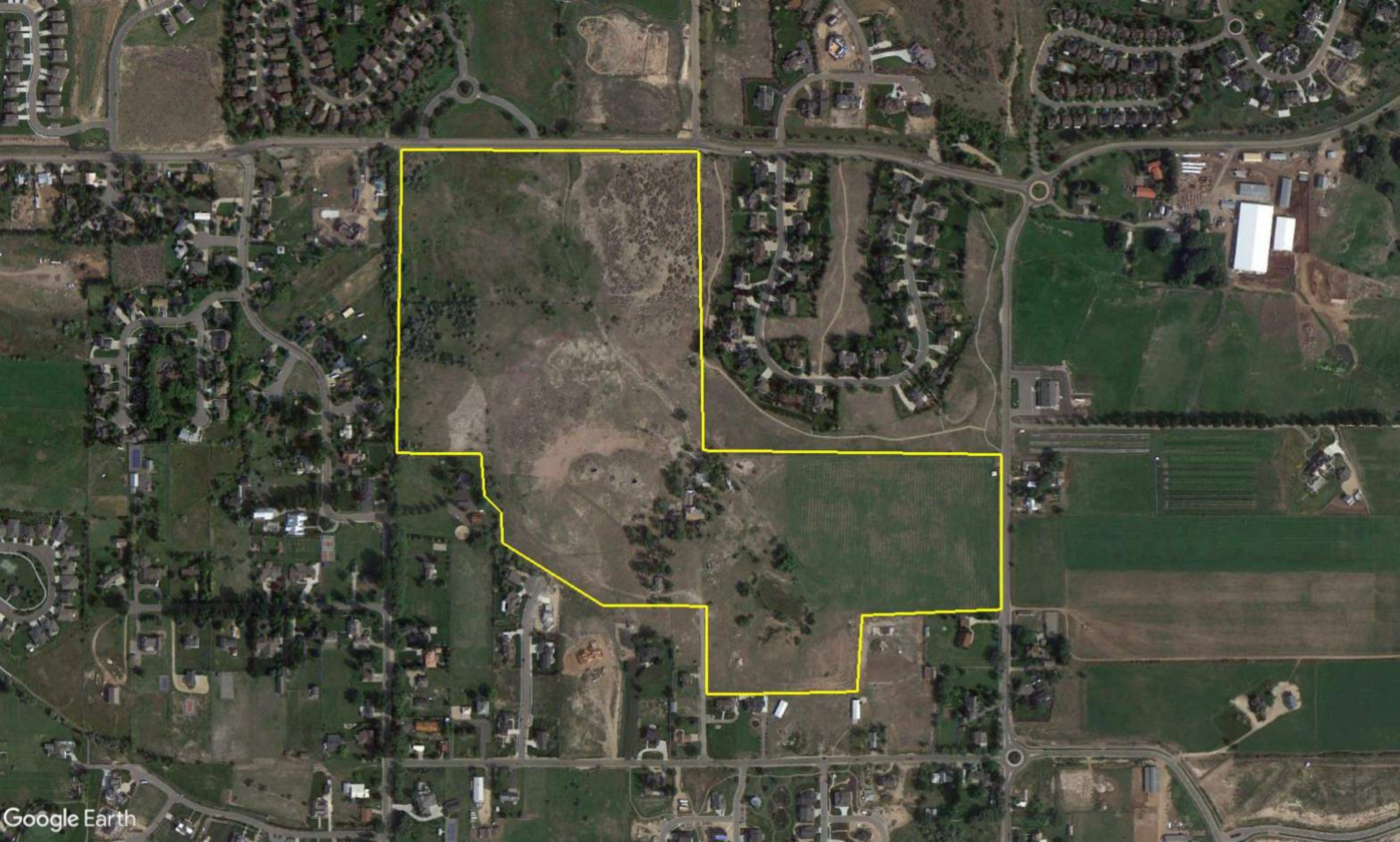
I have reviewed the Ameyalli Phase II Preliminary plans for Ameyalli for compliance with the 2021 International Fire Code (2021 IFC). I have no fire code concerns currently. Once more detailed plans are available, I will review this development for 2021 IFC code compliance verify proper hydrant location & distances from structures, road widths, etc.

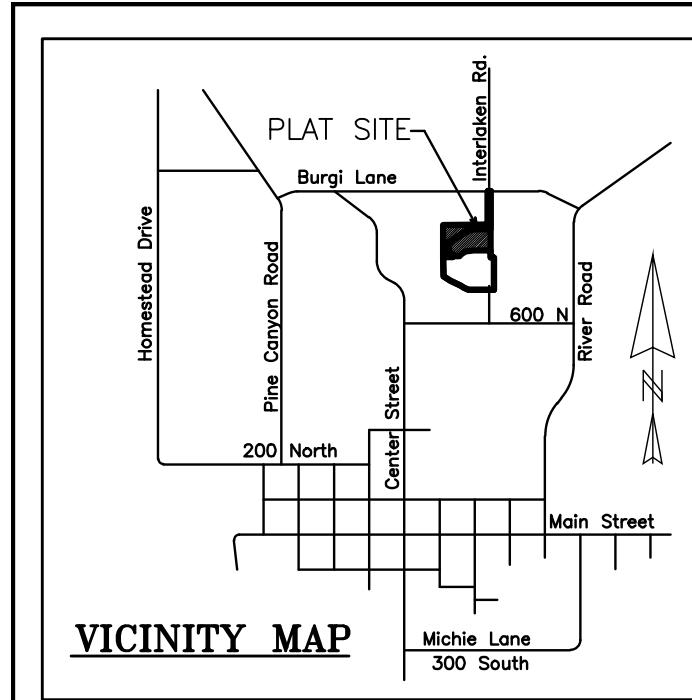
A handwritten signature in black ink, appearing to read "Tex R. Couch".

Tex R. Couch CBO/MCP
Midway City Building Official/Fire Marshal
75 West 100 North
Midway, Utah 84049
tcouch@midwaycityut.org
(435)654-3223 Ext. 107

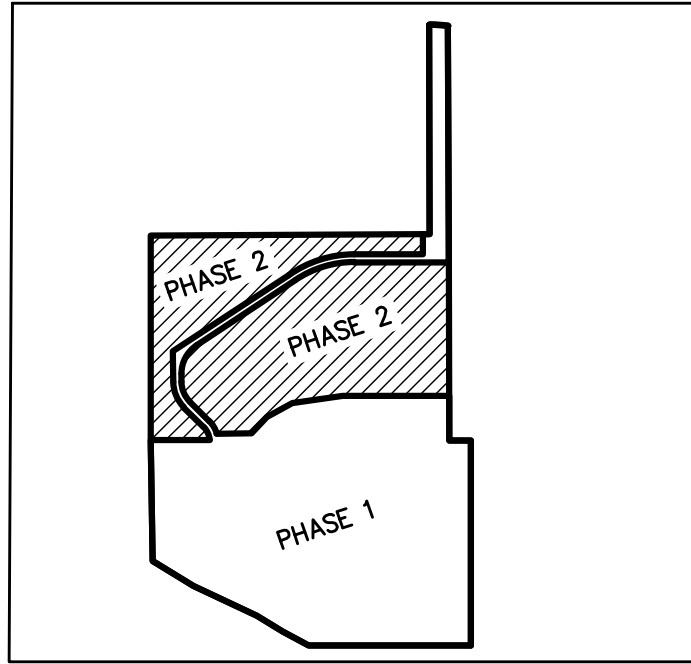








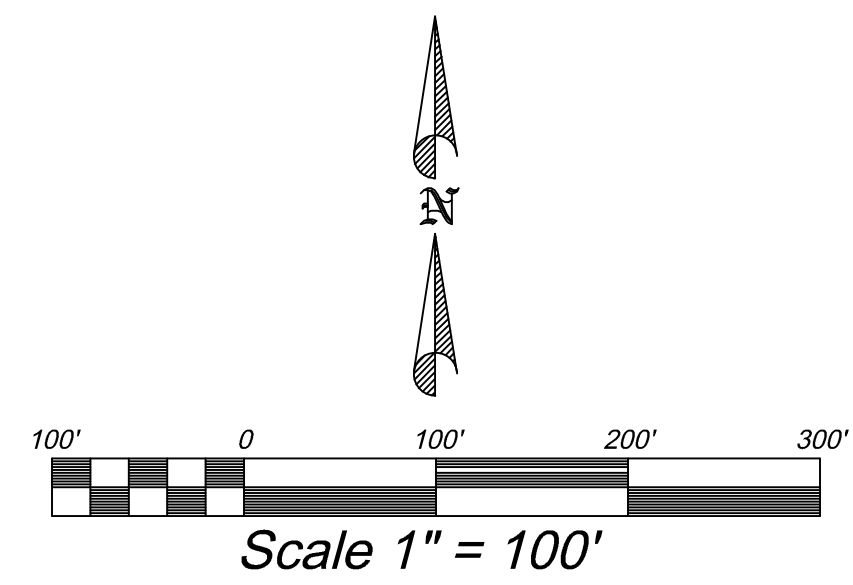
LOCATED IN THE SW QUARTER OF SECTION 26, T3S, R4E, SLB&M



AMEYALLI PHASING

AMEYALLI RESORT-PHASE 2

LOCATED IN THE SW QUARTER OF SECTION 26, T3S, R4E, SLB&M

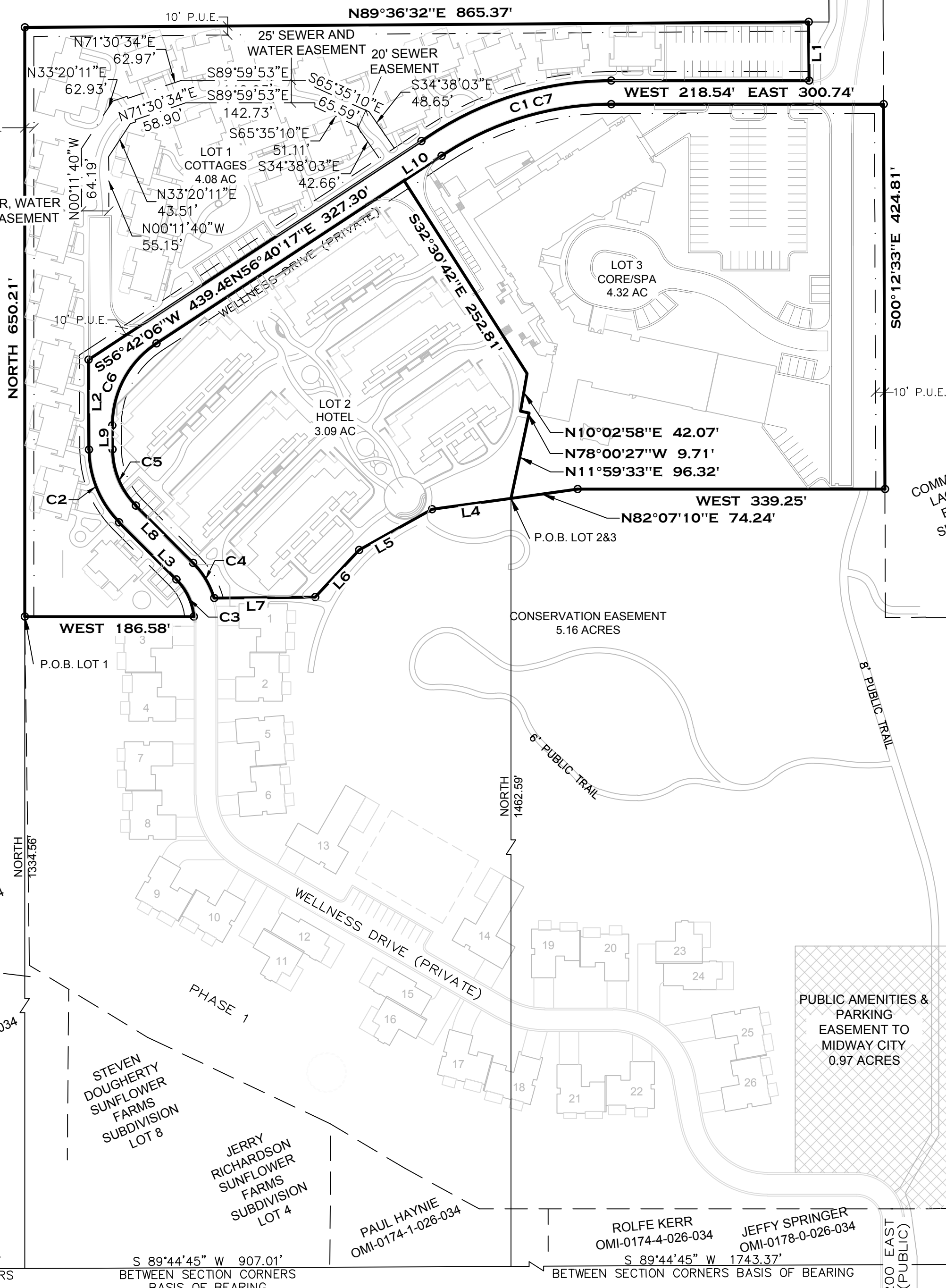


LEGEND

- PUBLIC TRAIL
- FOUND SECTION CORNERS (AS NOTED ON DRAWING)
- SET REBAR WITH CAP MARKED ELEMENT LAND SURVEYING PLS 6854112

PUBLIC UTILITY EASEMENT NOTE:
A TEN FOOT (10') AREA FOR A PUBLIC UTILITY EASEMENT HAS BEEN PROVIDED ALONG ALL STREETS.

- PLAT NOTES:**
- THIS PLAT RELATES TO REAL PROPERTY WHICH IS SUBJECT TO THAT CERTAIN DECLARATION OF COVENANTS, CONDITIONS, EASEMENTS AND RESTRICTIONS FOR AMEYALLI RESIDENCES, RECORDED SIMULTANEOUSLY HERewith, AND SUBSEQUENT AMENDMENTS THERETO (THE "DECLARATION").
 - THE ASSOCIATION IS RESPONSIBLE FOR MAINTAINING THE PROJECT, AND THE ASSOCIATION SHALL HAVE A PERPETUAL NON-EXCLUSIVE EASEMENT OVER THE PROPERTY FOR SUCH MAINTENANCE PURPOSES AS FURTHER DESCRIBED IN THE DECLARATION.
 - THE LIMITED COMMON AREAS AS DEPICTED ON THIS PLAT ARE RESERVED FOR THE USE OF CERTAIN OWNERS TO THE EXCLUSION OF OTHER OWNERS. EACH RESPECTIVE IMPROVEMENT DESIGNATED ON THIS PLAT AS "LIMITED COMMON AREA" IS APPURTENANT TO THE RESPECTIVE LOT TO WHICH SUCH LIMITED COMMON AREA IS ADJACENT AS SHOWN HEREON AND ARE FOR THE USE AND ENJOYMENT OF THE OWNERS OF SUCH RESIDENCE. DECLARANT HAS RESERVED THE RIGHT TO ADD ADDITIONAL LAND/PHASES TO THE DEVELOPMENT. IF AND WHEN ANY ADDITIONAL LAND IS ADDED TO THE PROPERTY, IT MAY BE ADDED TO THE PROJECT IN ACCORDANCE WITH THE PROVISIONS OF THE DECLARATION AND DECLARANT'S SOLE AND EXCLUSIVE DISCRETION. IF ADDITIONAL LAND IS ADDED IT WILL BE PART OF THE SAME RESORT AND SUBJECT TO THE MASTER OWNER'S ASSOCIATION.
 - ALL ROADS DEPICTED ON THIS PLAT ARE PRIVATE AND SHALL BE MAINTAINED BY A MASTER OWNER'S ASSOCIATION THAT APPLIES TO ALL PHASES OF THE PROJECT INCLUDING FUTURE PHASES THAT MAY BE ADDED AS ADDITIONAL LAND.
 - ALL COMMON AREAS AREA HEREBY CONVEYED TO THE OWNERS ASSOCIATION.
 - ALL PRIVATE ROADS SHOWN ON THIS PLAT HAVE AN ACCESS EASEMENT FOR GUESTS, INVITEES, OWNERS, RESORT MANAGEMENT, EMERGENCY SERVICES, UTILITY COMPANIES AND MIDWAY CITY INCLUDING ITS GUESTS AND INVITEES USING THE PUBLIC AMENITIES.



BOUNDARY DESCRIPTION

LOT 1:
BEGINNING NORTH 89°44'45" EAST 370.27 FEET AND NORTH 1334.56 FEET FROM THE SOUTH ONE-QUARTER CORNER OF SECTION 26, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN RUNNING THENCE SOUTH 89°38'25" WEST 60.88 FEET; THENCE NORTH 650.21 FEET; THENCE NORTH 89°36'32"E 865.37 FEET; THENCE SOUTH 00°22'15"E 64.73 FEET; THENCE WEST 218.54 FEET; THENCE ALONG THE ARC OF 362.00 FOOT RADIUS TO THE LEFT 223.51 FEET (CENTRAL ANGLE OF 35°22'34" AND A CHORD BEARING SOUTH 72°18'43" WEST 219.98 FEET); THENCE SOUTH 56°42'06" WEST 439.48 FEET; THENCE SOUTH 00°11'40" EAST 99.06 FEET; THENCE ALONG THE ARC OF 114.00 FOOT RADIUS TO THE RIGHT 89.15 FEET (CENTRAL ANGLE OF 44°45'20" AND A CHORD BEARING SOUTH 22°35'50" EAST 86.89 FEET); SOUTH 45°00'00" EAST 89.42 FEET; THENCE ALONG THE ARC OF 67.00 FOOT RADIUS TO THE RIGHT 46.01 FEET (CENTRAL ANGLE OF 39°20'33" AND A CHORD BEARING SOUTH 25°19'44" EAST 45.11 FEET); TO THE POINT OF BEGINNING.

CONTAINING: 4.08 ACRES

LOT 2:
BEGINNING NORTH 89°44'45" EAST 907.01 FEET AND NORTH 1462.59 FEET FROM THE SOUTH ONE-QUARTER CORNER OF SECTION 26, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN RUNNING THENCE SOUTH 82°07'10" WEST 88.03 FEET; THENCE SOUTH 60°51'35" WEST 92.12 FEET; THENCE SOUTH 42°59'27" WEST 71.37 FEET; THENCE SOUTH 89°33'37" WEST 111.51 FEET; THENCE ALONG THE ARC OF 93.00 FOOT RADIUS TO THE LEFT 45.62 FEET (CENTRAL ANGLE OF 28°06'24" AND A CHORD BEARING NORTH 30°56'48" WEST 45.17 FEET); THENCE NORTH 45°00'00" WEST 89.42 FEET; THENCE ALONG THE ARC OF 88.00 FOOT RADIUS TO THE RIGHT 68.82 FEET (CENTRAL ANGLE OF 44°48'20" AND A CHORD BEARING NORTH 22°35'50" WEST 67.08 FEET); THENCE NORTH 00°11'40" WEST 26.51 FEET; THENCE ALONG THE ARC OF 108.00 FOOT RADIUS TO THE RIGHT 107.19 FEET (CENTRAL ANGLE OF 56°51'58" AND A CHORD BEARING NORTH 28°14'19" EAST 102.84 FEET); THENCE NORTH 56°40'17" EAST 327.30 FEET; THENCE SOUTH 32°30'42" EAST 252.81 FEET; THENCE SOUTH 10°02'58" WEST 42.07 FEET; THENCE SOUTH 78°00'27" EAST 9.71 FEET; THENCE SOUTH 11°59'33" WEST 96.32 FEET TO THE POINT OF BEGINNING.

CONTAINING: 3.09 ACRES

LOT 3:
BEGINNING NORTH 89°44'45" EAST 907.01 FEET AND NORTH 1462.59 FEET FROM THE SOUTH ONE-QUARTER CORNER OF SECTION 26, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN RUNNING THENCE NORTH 11°59'33" EAST 96.32 FEET; THENCE NORTH 78°00'27" WEST 9.71 FEET; THENCE NORTH 10°02'58" EAST 42.07 FEET; THENCE NORTH 32°30'42" WEST 252.81 FEET; THENCE NORTH 56°40'17" EAST 49.43 FEET; THENCE ALONG THE ARC OF 336.16 FOOT RADIUS TO THE RIGHT 198.57 (CENTRAL ANGLE OF 33°50'39" AND A CHORD BEARING NORTH 73°04'26" EAST 195.70 FEET); THENCE EAST 300.74 FEET; THENCE SOUTH 00°12'33" EAST 424.81 FEET; THENCE WEST 339.25 FEET; THENCE SOUTH 82°07'10" WEST 74.24 FEET TO THE POINT OF BEGINNING.

CONTAINING: 4.32 ACRES

TOTAL LOTS CONTAINING: 11.49 ACRES

LINE	LENGTH	DIRECTION
L1	64.73'	S00°22'15"E
L2	99.06'	S00°11'40"E
L3	89.42'	S45°00'00"E
L4	88.03'	S82°07'10"W
L5	92.12'	S60°51'35"W
L6	71.37'	S42°59'27"W
L7	111.51'	S89°33'37"W
L8	89.42'	N45°00'00"W
L9	26.51'	N00°11'40"W
L10	49.43'	N56°40'17"E

CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
C1	362.00'	223.51'	35°22'34"	S72°18'43"W	219.98'
C2	114.00'	89.15'	44°48'20"	S22°35'50"E	86.89'
C3	67.00'	46.01'	39°20'33"	S25°19'44"E	45.11'
C4	93.00'	45.62'	28°06'24"	N30°56'48"W	45.17'
C5	88.00'	68.82'	44°48'20"	S22°35'50"E	67.08'
C6	108.00'	107.19'	56°51'58"	S28°14'19"W	102.84'
C7	336.16'	198.57'	33°50'39"	S73°04'26"W	195.70'

BASIS OF BEARING

BASIS OF BEARING IS SOUTH 89°44'45" WEST 2650.37 FEET BETWEEN THE FOUND WASATCH COUNTY BRASS CAP MONUMENT MARKING THE SOUTH 1/4 CORNER AND THE FOUND WASATCH COUNTY BRASS CAP MONUMENT MARKING THE SOUTHWEST CORNER OF SECTION 26, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN.

RESERVATION OF COMMON AREA

THE OWNER, HAS DESIGNATED HEREIN CERTAIN COMMON AREAS AND LIMITED COMMON AREAS INTENDED FOR THE USE BY THE OWNERS, THEIR GUESTS, AND INVITEES, AND ARE HEREBY RESERVED FOR THEIR COMMON USE AND ENJOYMENT AS PROVIDED IN THE DECLARATION OF COVENANTS AND RESTRICTIONS OF THE AMEYALLI RESORT AND AS ENFORCED BY THE HOME OWNERS ASSOCIATION.

OWNER'S DEDICATION

WE THE UNDERSIGNED OWNERS OF ALL THE REAL PROPERTY DEPICTED ON THIS PLAT AND DESCRIBED IN THE SURVEYOR'S CERTIFICATE ON THIS PLAT, HAVE CAUSED THE LAND DESCRIBED ON THIS PLAT TO BE DIVIDED INTO LOTS AND COMMON AREAS AND FACILITIES AS DESIGNATED ON THIS PLAT, AND NOW DO HEREBY DEDICATE UNDER THE PROVISIONS OF THE UTAH CODE, WITHOUT CONDITION, RESTRICTION, OR RESERVATION, TO MIDWAY CITY, UTAH, ALL PUBLIC UTILITY EASEMENTS, WATER, SEWER, AND RELATED IMPROVEMENTS (EXCLUDING LATERALS FROM MAIN UTILITY LINES), EASEMENTS FOR PUBLIC USE OF TRAILS, ROADS, AND OPEN SPACE WITHIN THE SUBDIVISION, TOGETHER WITH ALL IMPROVEMENTS REQUIRED BY ANY DEVELOPMENT AGREEMENTS BETWEEN THE UNDERSIGNED AND MIDWAY FOR THE BENEFIT OF THE CITY AND THE INHABITANTS THEREOF.

DATED THIS _____ DAY OF _____, A.D. 20__

BY: _____
MIDWAY MTN SPA LLC

ACKNOWLEDGMENT

STATE OF UTAH }
COUNTY OF WASATCH } S.S.
ON THE _____ DAY OF _____, A.D. 20__ PERSONALLY APPEARED BEFORE ME, _____, WHO DULY ACKNOWLEDGED TO ME THAT HE/SHE DID EXECUTE THE SAME IN THE CAPACITY INDICATED.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC

SURVEYOR'S CERTIFICATE

IN ACCORDANCE WITH SECTION 10-9a-603 OF THE UTAH CODE, I, TROY L. TAYLOR, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR HOLDING LICENSE NUMBER 6854112 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS LICENSING ACT.

I FURTHER CERTIFY THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THE PLAT IN ACCORDANCE WITH SECTION 17-23-17 OF THE UTAH CODE, AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT.

SURVEYOR (SEE SEAL BELOW) DATE _____

ACCEPTANCE BY MIDWAY CITY

THE CITY COUNCIL OF MIDWAY CITY, WASATCH COUNTY, STATE OF UTAH, HEREBY APPROVES THIS PLANNED UNIT DEVELOPMENT AND ACCEPTS THE DEDICATION OF EASEMENTS AND PUBLIC RIGHTS-OF-WAY HEREON SHOWN.

THIS _____ DAY OF _____, A.D. 20__
APPROVED _____ ATTEST _____
MAYOR CLERK-RECORDER
(SEE SEAL BELOW)

APPROVED _____ ATTEST _____
CITY ATTORNEY CITY ENGINEER
(SEE SEAL BELOW)

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20__ BY THE
MIDWAY CITY PLANNING COMMISSION
PLANNING DIRECTOR CHAIRMAN, PLANNING COMMISSION

AMEYALLI RESORT PHASE 2

PLANNED UNIT DEVELOPMENT, MIDWAY CITY, WASATCH COUNTY, STATE OF UTAH
SCALE: 1" = 100 FEET

SHEET: 1 OF 1

COUNTY SURVEYOR'S CERTIFICATE

APPROVED AS TO FORM ON THIS DAY OF _____, 20__

ROS# _____
COUNTY SURVEYOR

COUNTY RECORDER

COUNTY RECORDER

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY ENGINEER SEAL	CLERK-RECORDER SEAL

AMEYALLI PHASE 2 PLAT - 8 MAY 2024

SURVEYOR
TROY L. TAYLOR, PLS
ELEMENT LAND SURVEYING
2296 SOUTH 270 EAST
HEBER CITY, UTAH 84032
PHONE (801) 657-8748

FOUND WASATCH COUNTY BRASS CAP MONUMENT MARKING THE SOUTHWEST CORNER OF SECTION 26, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN



27°26'34" S 89°44'45" W 370.27' BETWEEN SECTION CORNERS BASIS OF BEARING

S 89°44'45" W 907.01' BETWEEN SECTION CORNERS BASIS OF BEARING

ROLFE KERR OMI-0174-4-026-034 JEFFY SPRINGER OMI-0178-0-026-034 S 89°44'45" W 1743.37' BETWEEN SECTION CORNERS BASIS OF BEARING

FOUND WASATCH COUNTY BRASS CAP MARKING THE SOUTH 1/4 CORNER OF SECTION 26, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN



26°35' BETWEEN SECTION CORNERS BASIS OF BEARING

AMEYALLI WELLBEING RESORT

800 N 200 E MIDWAY, UTAH 84049



PHASE 2 PLANNING COMMISSION PRELIMINARY APPROVAL PACKAGE | FEBRUARY 2024

OVERLAND

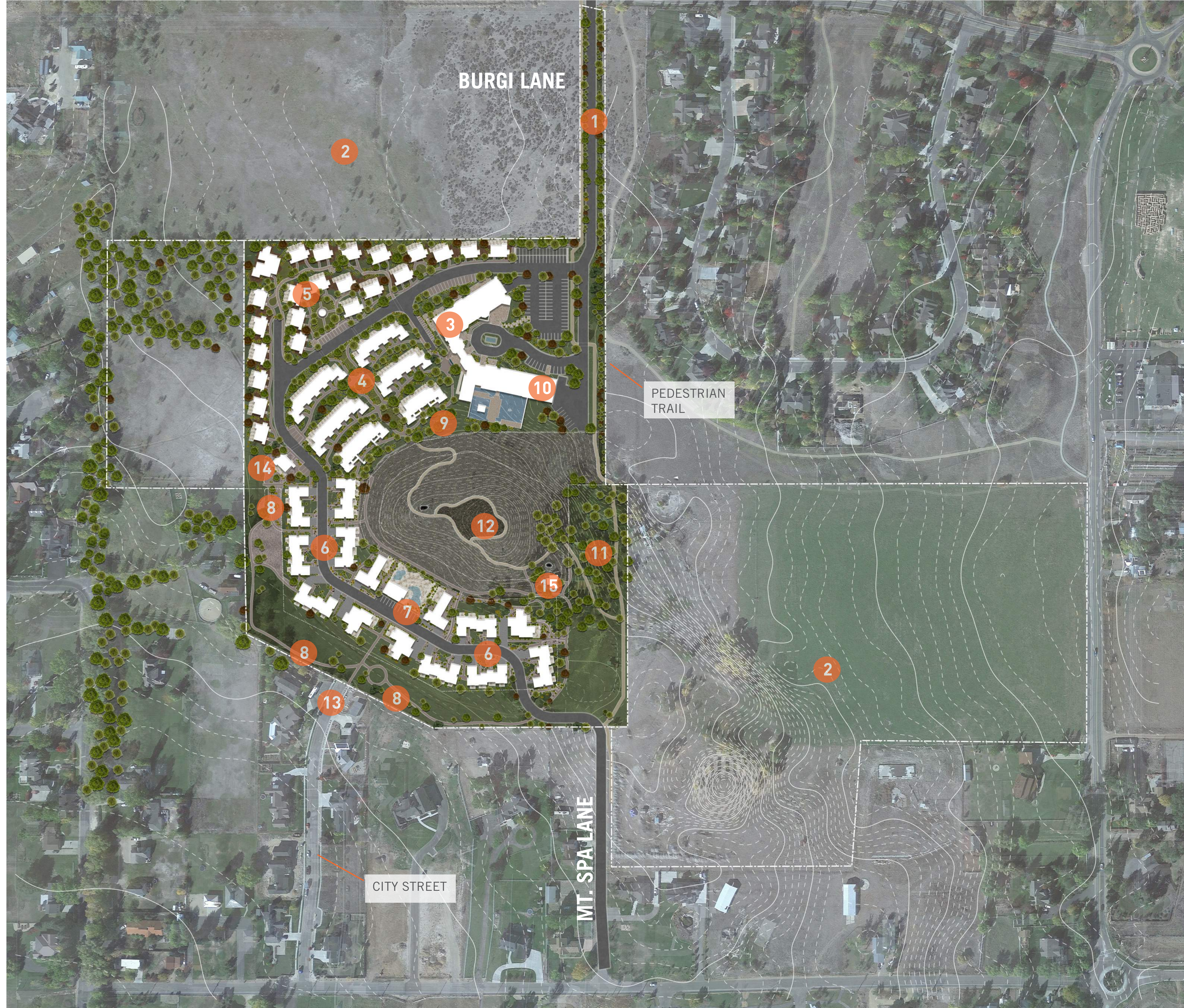


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MASTER SITE PLAN

OVERALL RESORT



PROGRAM | LEGEND

- 1 MAIN ENTRANCE
- 2 AGRICULTURAL PRESERVATION AREA
SEE RECORDED RURAL PRESERVATION SUBDIVISION PLAT.
- 3 WELL-BEING CENTER
- 4 HOTEL GUESTROOMS
- 5 COTTAGES
- 6 RESIDENCES
- 7 FAMILY LODGE + FAMILY POOL AREA
- 8 RECREATION ZONE
- 9 FARM KITCHEN
- 10 MED SPA
- 11 RESTORED EXISTING POT ROCK STRUCTURE
- 12 HOT POTS
- 13 POTENTIAL EMERGENCY ACCESS PATH
- 14 RECREATION COURTS
- 15 RESTORED EXHISTING HISTORIC BUILDING

MASTER SITE PLAN

SITE METRICS



PROGRAM | GROSS SF

80 Guestrooms:	42,020
23 Cottages:	37,444
Chopra House of Enlightenment:	3,210
Well-Being Center:	44,697
24 Residences:	66,393
2 Family Lodges:	10,542

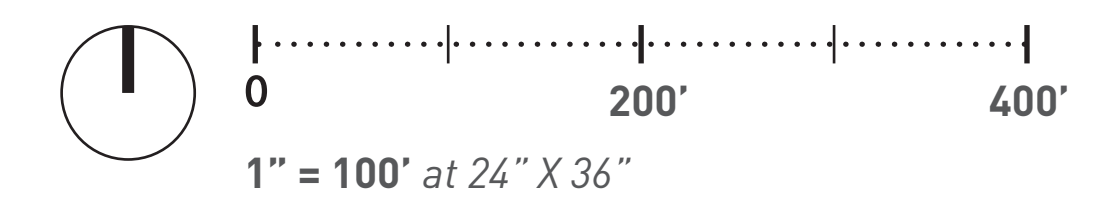
Existing House (Restored): 1,924

Med Spa: 5,500

Farm Kitchen: 1,300

TOTAL: 213,030

TOTAL # of Bedrooms: 237



MASTER SITE PLAN

PHASE METRICS



PROGRAM | GROSS SF

PHASE 1: PREVIOUSLY APPROVED

24 Residences:	66,393
2 Family Lodges:	10,542
	76,935
	108 Bedrooms

PHASE 2:

Well-Being Center:	44,697
Med Spa	5,500
Farm Kitchen:	1,300
	51,497

PHASE 2:

80 Guestrooms:	42,020
	42,020
	80 Bedrooms

PHASE 2:

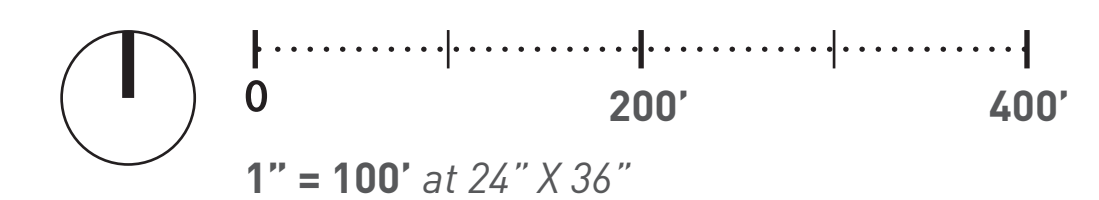
23 Cottages:	37,444
Chopra House of Enlightenment:	3,210
	40,654
	49 Bedrooms

PHASE 2:

Existing House (Restored)	1,924
	1,924

TOTAL: **213,030**

TOTAL # of Bedrooms: **237**



MASTER SITE PLAN

OPEN SPACE PLAN



TOTAL AREA OF RESORT | AC

Building Footprint:	4.89	16.9%
Roads, Parking & Driveways:	4.03	14.0%
Green Space:	19.95	69.1%
Landscaped Areas:	4.03	14.0%
Open Areas:	15.92	55.1%

TOTAL Project Area: **28.87**

OPEN SPACE | AC

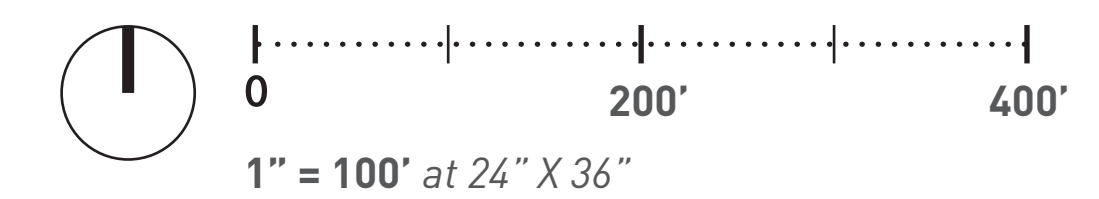
Proposed Open Space: **15.92** 55.1%

PHASE 1:

Built Area:	1.77
Open Space:	11.87
% of Phases:	75.9%
% of Project:	40.9%

PHASE 1+2:

Built Area:	4.89
Open Space:	15.92
% for Phase:	55.1%
% for Project:	55.1%



MASTER SITE PLAN

LIGHT MITIGATION STRATEGIES



ENTRY WALLS AND LANDSCAPING WILL SCREEN NEIGHBORS FROM VEHICLES ENTERING THE PROPERTY



EXTERIOR LIGHTING WILL BE SELECTED TO REDUCE LIGHT POLLUTION AND GLARE

ALL FUTURE SITE LIGHTING WILL COMPLY WITH MIDWAY MUNICIPAL CODE 5.02.080 OUTDOOR LIGHTING AND GLARE

BUILDING AREA PLAN AND DESIGN ELEMENTS

PHASE 2: AMEYALLI WELLBEING CENTER LEVEL 01



VIEW OF RESTAURANT



VIEW FROM RESTAURANT

BUILDING AREA PLAN AND DESIGN ELEMENTS

PHASE 2: AMEYALLI WELLBEING CENTER LEVEL 00



PROGRAM | LEGEND

- 1 TRASH ENCLOSURE
- 2 DELIVERIES



VIEW OF SPA ENTRY



VIEW OF LOWER LEVEL SPA

BUILDING AREA PLAN AND DESIGN ELEMENTS

PHASE 2: AMEYALLI WELLBEING CENTER - 3D VIEWS - CURRENT



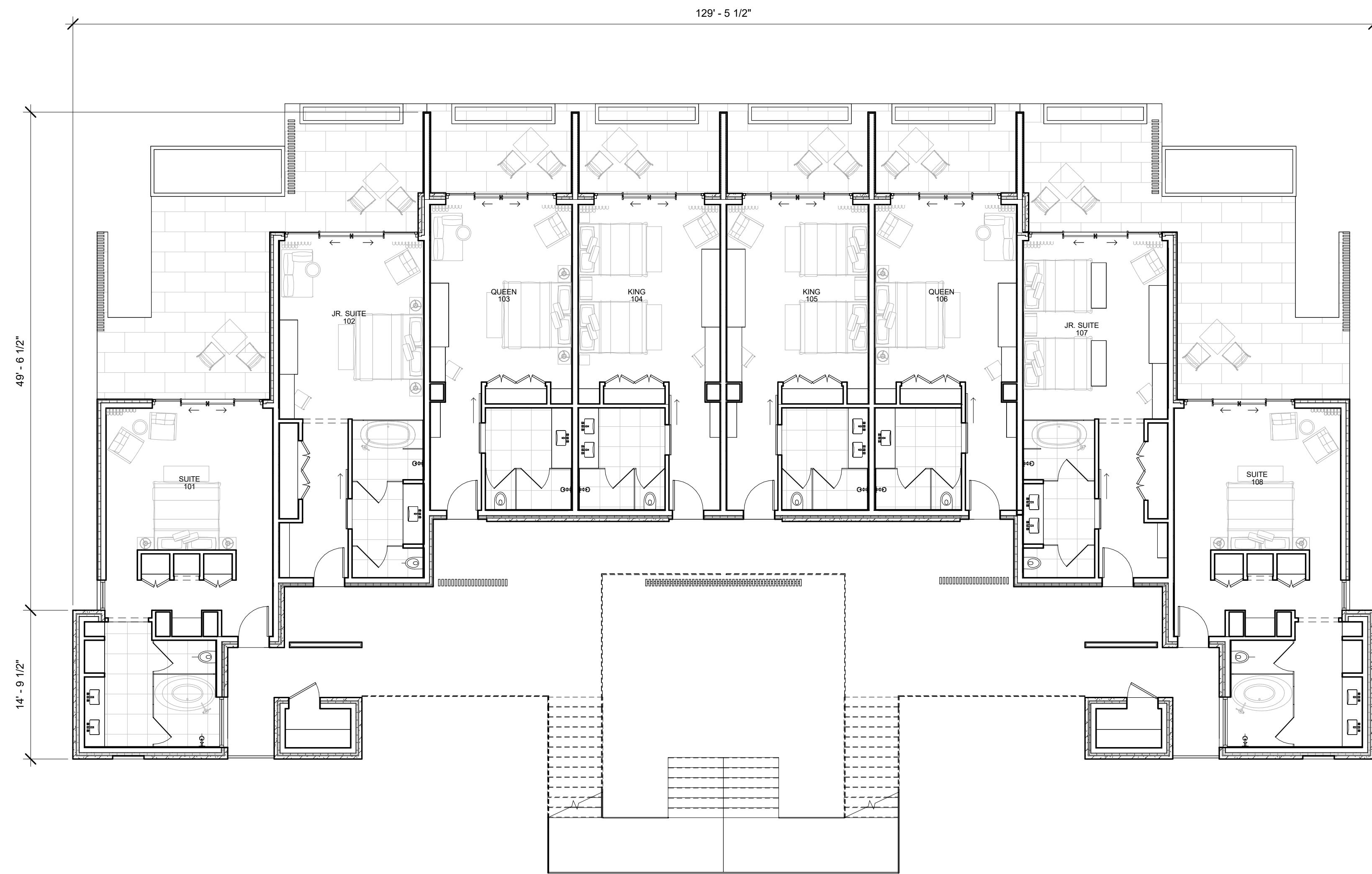
BUILDING AREA PLAN AND DESIGN ELEMENTS

PHASE 2: AMEYALLI WELLBEING CENTER - 3D VIEWS - CURRENT



BUILDING AREA PLAN AND DESIGN ELEMENTS

PHASE 2: TYPICAL GUESTROOMS



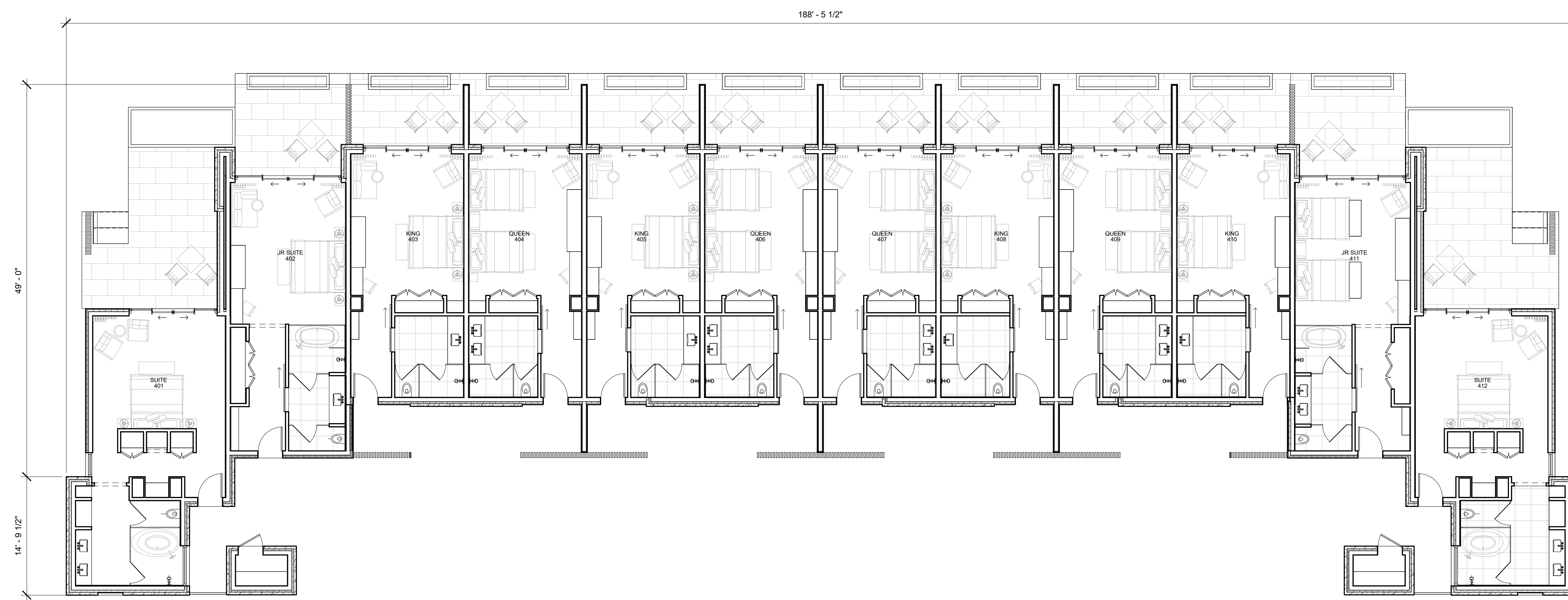
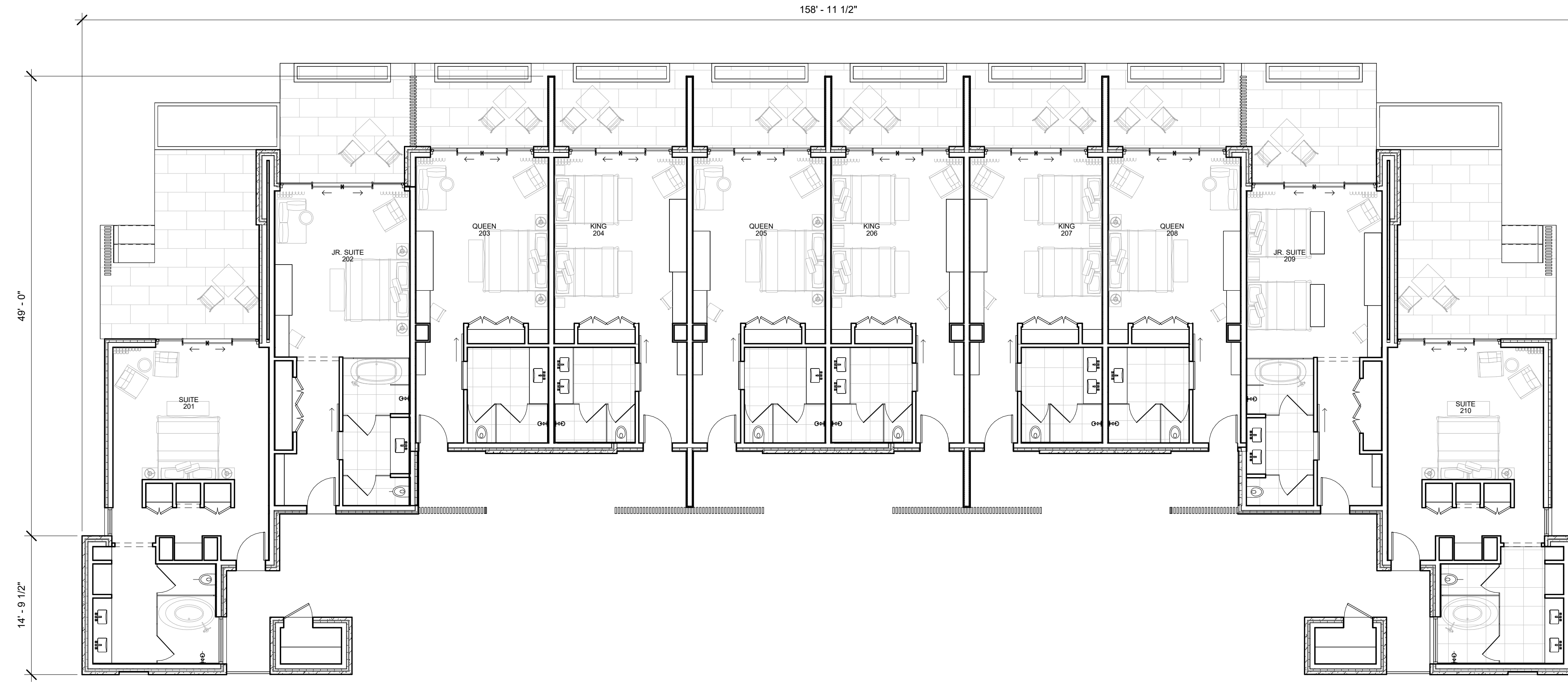
VIEW BETWEEN GUESTROOMS - TOWARDS HOT POTS



VIEW OF TYPICAL GUESTROOM BLOCK

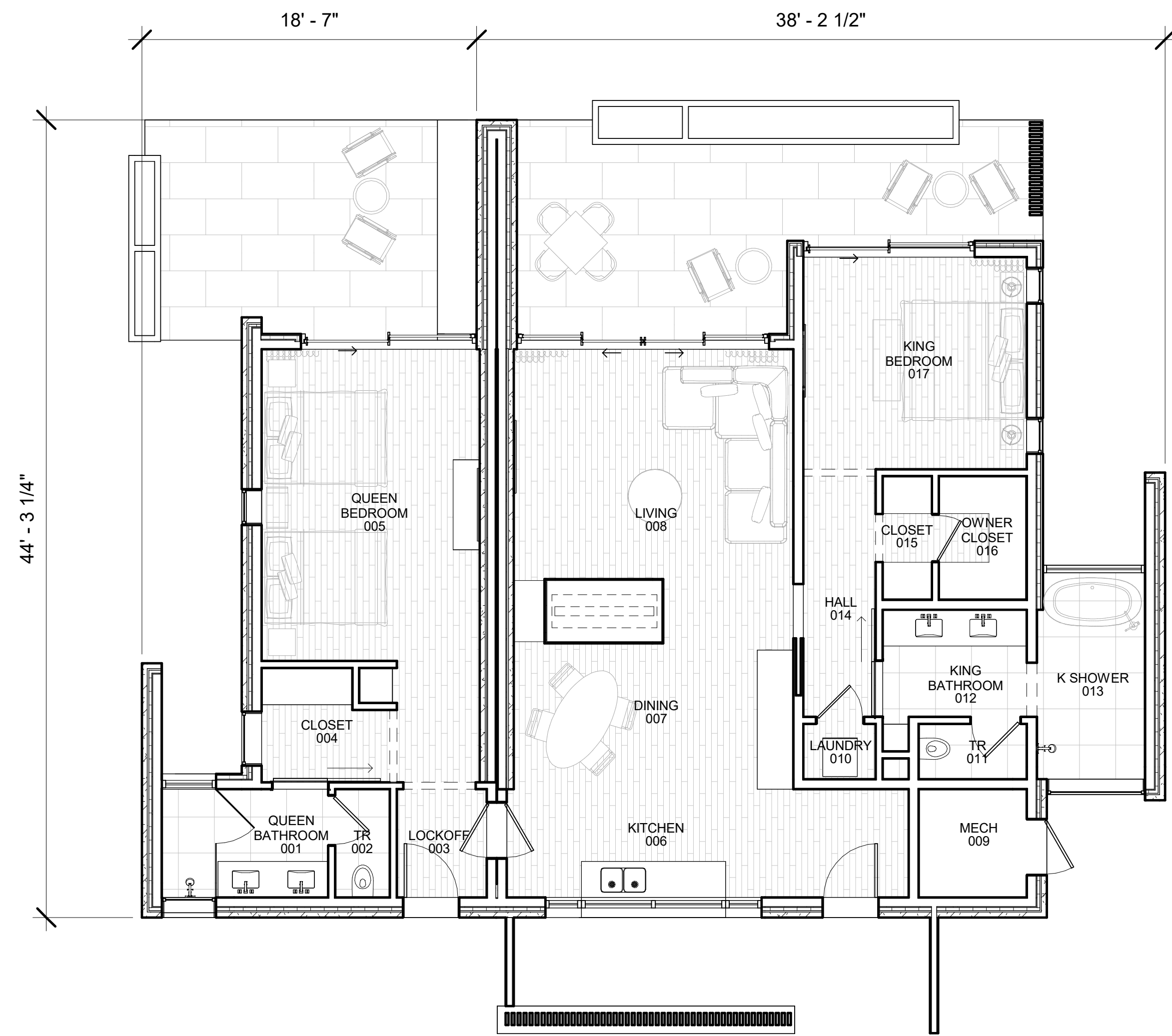
BUILDING AREA PLAN AND DESIGN ELEMENTS

PHASE 2: GUESTROOMS



BUILDING AREA PLAN AND DESIGN ELEMENTS

PHASE 2: COTTAGES



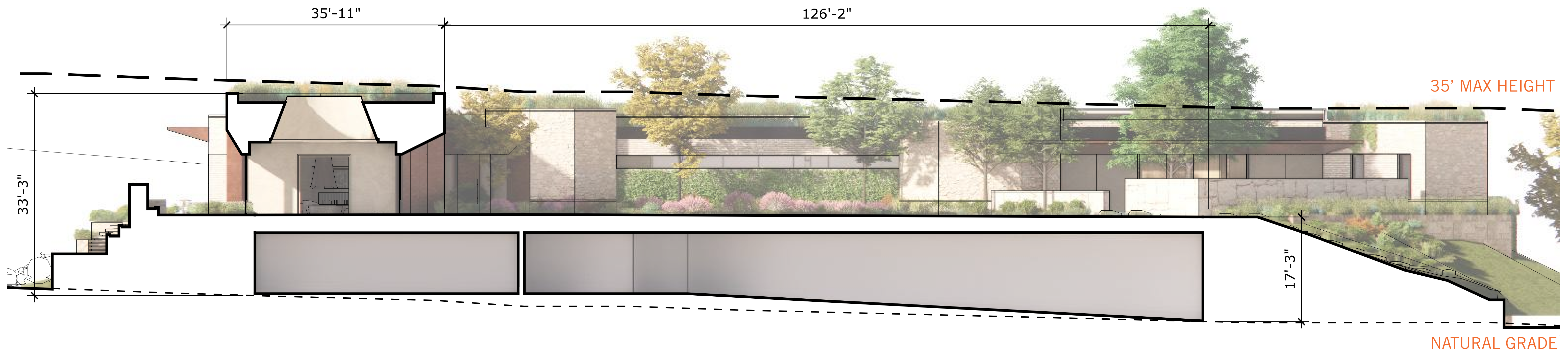
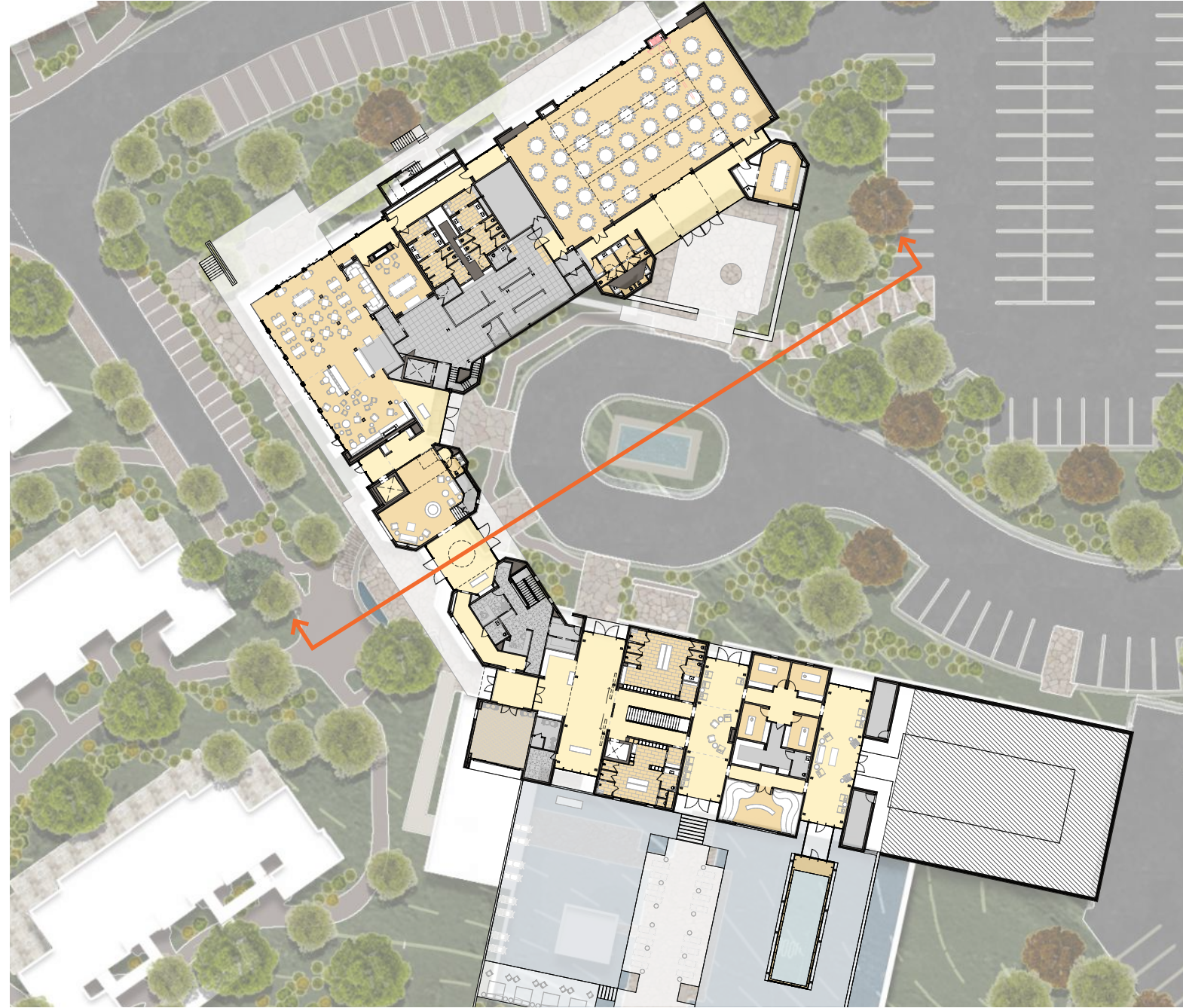
ENTRY VIEW OF TYPICAL COTTAGE



PATIO VIEW OF TYPICAL COTTAGE

HIGHEST ELEVATION POINT

SITE SECTION



3D VIEW - ILLUSTRATION

VIEW 1 - VIEW FROM RESIDENCES - CURRENT



3D VIEW - ILLUSTRATION

VIEW 2 - VIEW TOWARD EVENT CENTER - CURRENT



3D VIEW - ILLUSTRATION

VIEW 3 - VIEW FROM ENTRY APPROACH - CURRENT



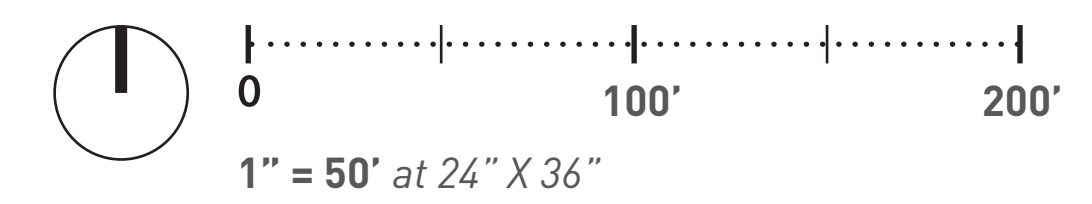
PHASED SITE PLAN

PHASE 2: GUESTROOMS



PROGRAM | LEGEND

- 1 CHOPRA HOUSE of ENLIGHTENMENT
- 2 COTTAGE, TYP.
- 3 8-PACK, 2-STORY GUESTROOMS
- 4 10-PACK GUESTROOMS
- 5 10-PACK, 2-STORY GUESTROOMS
- 6 12-PACK GUESTROOMS



HIGHEST ELEVATION POINT

SITE PLAN



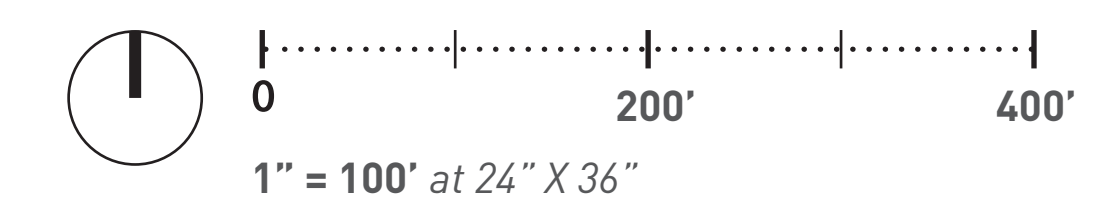
SECTION 16.15.040 RESORT MASTER PLAN

G. Design Guidelines - 11.b - Architectural elements defined in “maximum height provisions for all building” found in this title shall have a height limit of 15’ above the 35’ height limit or above any city council approved height. The City Council may, at its discretion, allow greater height in resort developments of a maximum of 55’ subject to the following considerations; setbacks, elevation, view corridor, topography, etc...

Previous Resort Masterplan approval confirmed a maximum height of 35’ above existing grade to comply with the above Midway City Title 16 Land Use code. As onsite testing has occurred to test the thickness of the pot-rock/tufa and the level of ground water, recommendations have been made based on findings to lift the entire building up out of the pot-rock/tufa so as to not disturb the site, to sit lightly on the land (topography is sloping towards the hot pots), and to preserve the overall quality of the geological features on site.

In keeping with the intent of Section 16.15.040 - G - 11b, there are only three instances where the building exceeds the 35’ requirement. Each instance is a condition where an architectural element, mechanical component, or flue breaks the plane. Each instance still complies with the maximum height resort development of 55’.

The adjacent site plan and the following pages with illustrations depict the intended condition and highlight that while portions currently exceeds the 35’ plane, view corridors are not affected, maximum 55’ height is not exceeded and the perception of the overall building height is still minimized.





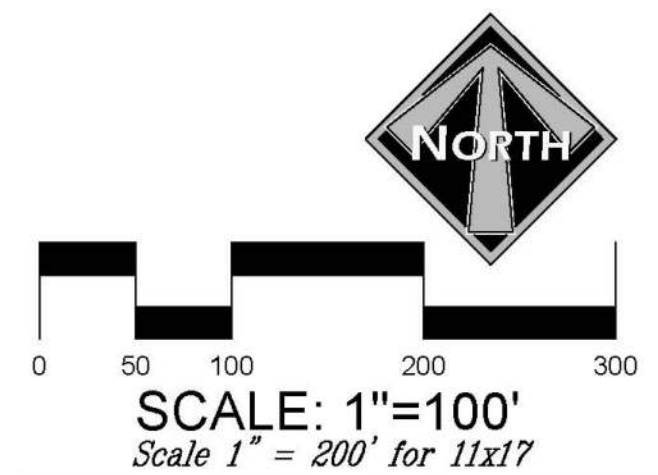
LEGEND

- WETLANDS (3.75 ACRES)
- SLOPES > 25% (0.33 ACRES OUTSIDE OF HOT POT/CRATER)
- HOT POT/CRATER SENSITIVE LANDS (3.52 ACRES)
- 8' PUBLIC TRAIL (ASPHALT)
- 6' PUBLIC TRAIL (SOFT SURFACE)
- PRIVATE TRAILS (CONCRETE OR ASPHALT)
- PRIVATE TRAILS (SOFT SURFACE)
- LANDSCAPING - GRASS LAWN
- LANDSCAPING - PLANTING BEDS

LAND USE CALCULATIONS

TOTAL AREA	11.49 ACRES
BUILDINGS	2.64 ACRES
ROADS	0.76 ACRES
PARKING	0.94 ACRES
AMENITIES	0.14 ACRES
PATIOS	0.55 ACRES
SIDEWALKS	0.80 ACRES
LANDSCAPED AREAS	4.41 ACRES
NATURAL AREAS (NON-IRRIGATED)	1.25 ACRES

File: \\V:\Projects\Ameyalli - Phase 2\Drawings\Master Plan.dwg | Plot Date: May 08, 2024 | Plotted by: adobe
 File Name: 02_PHASE 2 MASTER PLAN.dwg



CHUCK HEATH
AMEYALLI - PHASE 2
MASTER PLAN



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PAUL D. BERG P.E.
SERIAL NO. 295595
DATE: 8 MAY 2024

DESIGN BY: PDB DATE: 8 MAY 2024 SHEET 2
DRAWN BY: DA REV:

File: S:\Midway\Midway_City_Health_Short_Term_Plan_2024_1.dwg | plotted by: daniel
 Date: 05/08/2024 10:58:59 AM



- LEGEND**
- WETLANDS (3.75 ACRES)
 - SLOPES > 25% (0.33 ACRES OUTSIDE OF HOT POT/CRATER)
 - HOT POT/CRATER SENSITIVE LANDS (3.52 ACRES)
 - EXISTING SEWER
 - PROPOSED SEWER
 - EXISTING WATER
 - PROPOSED WATER
 - EXISTING PRESSURIZED IRRIGATION
 - PROPOSED PRESSURIZED IRRIGATION
 - EXISTING STORM DRAIN
 - PROPOSED 18" STORM DRAIN
 - PROPOSED 12" LANDSCAPE DRAIN
 - FH FIRE HYDRANT

BLUE STAKE NOTE:

- LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.

SEWER NOTES:

- ALL SEWER IMPROVEMENTS SHALL MEET MIDWAY SANITATION DISTRICT STANDARDS & SPECIFICATIONS

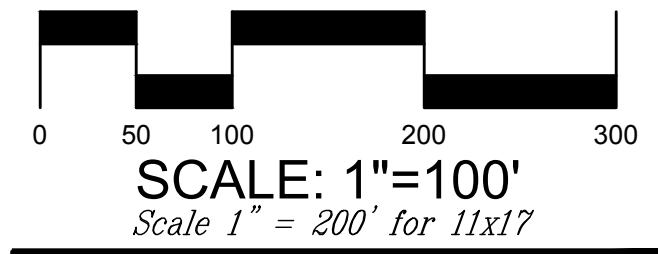
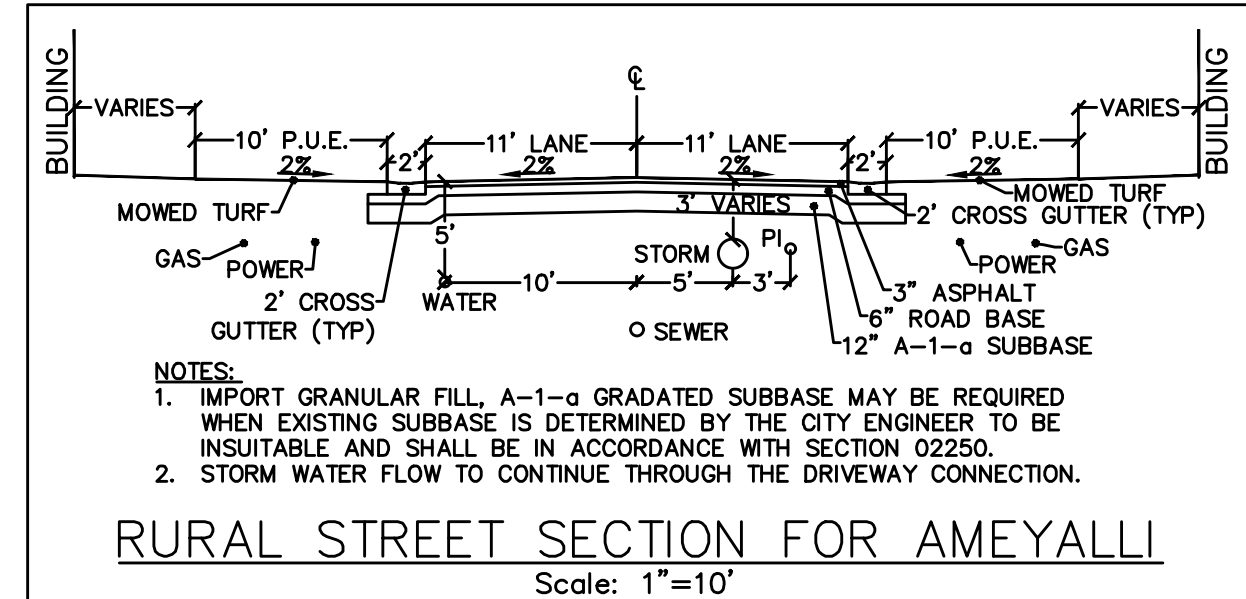
WATER NOTES:

- ALL WATER IMPROVEMENTS SHALL MEET MIDWAY CITY STANDARDS AND SPECIFICATIONS.
- ALL COTTAGES/DUPLEXES WILL HAVE A 1" WATER SERVICE.
- WATER SERVICES TO FUTURE HOTEL BUILDINGS SHALL BE 2".

PRESSURIZED IRRIGATION NOTES:

- ALL PRESSURIZED IRRIGATION IMPROVEMENTS SHALL MEET MIDWAY IRRIGATION COMPANY STANDARDS & SPECIFICATIONS.
- ALL PRESSURIZED IRRIGATION MAIN SHALL BE C-900 DR-18 PURPLE PIPE.

ALL SEWER LATERALS AND WATER SERVICES TO FUTURE BUILDINGS TO BE STUBBED 10' BEYOND THE BACK OF CURB



CHUCK HEATH
 AMEYALLI - PHASE 2
 OVERALL UTILITY PLAN



DESIGN BY: PDB
 DRAWN BY: DA
 DATE: 8 MAY 2024
 REV: 3

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 PAUL D. BERG P.E.
 SERIAL NO. 295595
 DATE: 8 MAY 2024

**Mountain Spa Resort
Storm Drain Runoff Calculations**

January 26, 2023

Revised per proposed agreement with Lacy Lane and final road design

Most of the runoff from the site will be collected and retained in open space near the south property line. The northern part of the resort will be retained in a basin on Lacy Lane HCA property per an agreement with the HCA.

Portions of some buildings will have roof top gardens. The runoff coefficient has been reduced to 0.90 which is likely higher than the expected runoff.

A percolation rate of 2.0 inches per hour assumed for pot rock.
A 8" sump has a total volume of 855 cf.
A 8" sump has a percolation rate of 0.024 cfs with a soils percolation rate of 2.0 inches / hour.

Table 1 - Runoff Coefficient for Mountain Spa Resort

Drainage Area	Total Collected Area (acres)	Buildings and Parking (acres)	C = 0.90 Lands-caped of Natural Areas (acres)	C = 0.20 Composite Runoff Coefficient
A	11.78	4.24	7.54	0.45
B	12.92	3.71	9.21	0.40
C	1.28	0.37	0.91	0.40

Table 2 - 100 Year Storm Peak Runoff and Volume for Basin A

Time Period (min)	Rainfall Intensity (in/hr)	Area (acres)	Developed Runoff Coefficient	Peak Runoff Rate (cfs)	Total Runoff Volume (cf)
15	4.08	11.78	0.45	21.72	19,550
30	2.76	11.78	0.45	14.69	26,450
60	1.71	11.78	0.45	9.10	32,775
120	0.96	11.78	0.45	5.11	36,759
180	0.65	11.78	0.45	3.48	37,374
360	0.35	11.78	0.45	1.86	40,249
720	0.21	11.78	0.45	1.12	49,299
1440	0.13	11.78	0.45	0.69	59,799

Table 3 - Retention Pond Design for Basin A

Time Period (min)	Total Runoff Volume (cf)	Soil Percolation Rate (in/hr)	9-8" Sump Volume (cf)	Percolation from Sump (cf)	Storage Needed in Pond (cf)
15	19,550	2.0	7,695	194	11,660
30	26,450	2.0	7,695	389	18,368
60	32,775	2.0	7,695	778	24,302
120	36,759	2.0	7,695	1,555	27,549
180	37,374	2.0	7,695	2,333	27,347
360	40,249	2.0	7,695	4,666	27,899
720	46,299	2.0	7,695	9,331	31,273
1440	59,799	2.0	7,695	18,662	33,442

Table 4 - Retention Pond Storage Volume for Basin A at Lacy Lane

Elevation	Pond Depth (ft)	Pond Area (sq ft)	Pond Volume (cf)	Pond Volume (acre-ft)
5635	0.00	14,299	0	0.00
5636	1.00	16,709	15,504	0.36
5637	2.00	19,274	33,457	0.77
5638	3.00	21,995	54,130	1.24

contains the 100 year storm
1' of freeboard

Table 5 - 100 Year Storm Peak Runoff and Volume for Basin B

Time Period (min)	Rainfall Intensity (in/hr)	Area (acres)	Developed Runoff Coefficient	Peak Runoff Rate (cfs)	Total Runoff Volume (cf)
15	4.08	12.92	0.40	21.14	19,025
30	2.76	12.92	0.40	14.30	25,739
60	1.71	12.92	0.40	8.86	31,894
120	0.96	12.92	0.40	4.97	35,811
180	0.65	12.92	0.40	3.37	36,371
360	0.35	12.92	0.40	1.81	39,168
720	0.21	12.92	0.40	1.09	47,002
1440	0.13	12.92	0.40	0.67	58,193

Table 6 - Retention Pond Design for Basin B at SW Corner

Time Period (min)	Total Runoff Volume (cf)	Soil Percolation Rate (in/hr)	12-8" Sump Volume (cf)	Percolation from Sump (cf)	Storage Needed in Pond (cf)
15	19,025	2.0	10,260	259	8,505
30	25,739	2.0	10,260	518	14,961
60	31,894	2.0	10,260	1,037	20,597
120	35,811	2.0	10,260	2,074	23,477
180	36,371	2.0	10,260	3,110	23,000
360	39,168	2.0	10,260	6,221	22,688
720	47,002	2.0	10,260	12,442	24,330
1440	58,193	2.0	10,260	24,883	23,050

Table 7 - Retention Pond Storage Volume for Basin B

Elevation	Pond Depth (ft)	Pond Area (sq ft)	Pond Volume (cf)	Pond Volume (acre-ft)
5641	0.00	144	0	0.00
5642	1.00	9,368	4,756	0.11
5643	2.00	11,596	15,223	0.35
5644	3.00	13,968	27,939	0.64
5645	4.00	16,266	43,005	0.99

contains the 100 year storm
1' of freeboard

Table 8 - 100 Year Storm Peak Runoff and Volume for Basin C

Time Period (min)	Rainfall Intensity (in/hr)	Area (acres)	Developed Runoff Coefficient	Peak Runoff Rate (cfs)	Total Runoff Volume (cf)
15	4.08	1.28	0.40	2.10	1,891
30	2.76	1.28	0.40	1.42	2,559
60	1.71	1.28	0.40	0.88	3,170
120	0.96	1.28	0.40	0.49	3,560
180	0.65	1.28	0.40	0.33	3,615
360	0.35	1.28	0.40	0.18	3,893
720	0.21	1.28	0.40	0.11	4,672
1440	0.13	1.28	0.40	0.07	5,784

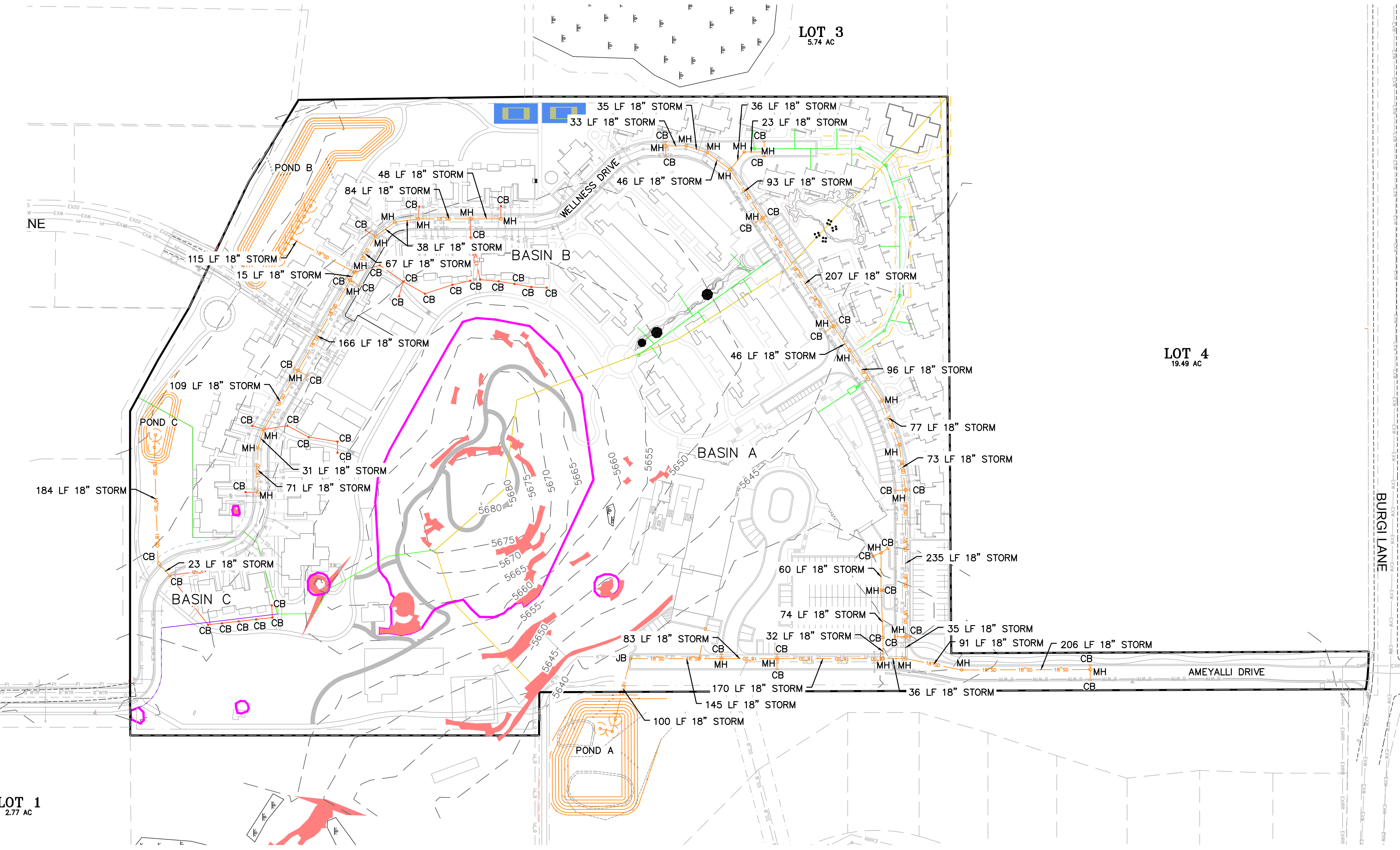
Table 9 - Retention Pond Design for Basin C near South Property Line

Time Period (min)	Total Runoff Volume (cf)	Soil Percolation Rate (in/hr)	1-8" Sump Volume (cf)	Percolation from Sump (cf)	Storage Needed in Pond (cf)
15	1,891	2.0	855	22	1,014
30	2,559	2.0	855	43	1,660
60	3,170	2.0	855	86	2,229
120	3,560	2.0	855	173	2,532
180	3,615	2.0	855	259	2,501
360	3,893	2.0	855	518	2,520
720	4,672	2.0	855	1,037	2,780
1440	5,784	2.0	855	2,074	2,856

Table 10 - Retention Pond Storage Volume for Basin C

Elevation	Pond Depth (ft)	Pond Area (sq ft)	Pond Volume (cf)	Pond Volume (acre-ft)
5642	0.00	12	0	0.00
5643	1.00	2,382	1,197	0.03
5644	2.00	3,319	4,048	0.09
5645	3.00	4,307	7,896	0.18

contains the 100 year storm
1' of freeboard



LEGEND

- WETLANDS (3.75 ACRES)
- SLOPES > 25% (0.33 ACRES OUTSIDE OF HOT POT/CRATER)
- HOT POT/CRATER SENSITIVE LANDS (3.52 ACRES)
- EXISTING SEWER
- PROPOSED SEWER
- EXISTING WATER
- PROPOSED WATER
- EXISTING PRESSURIZED IRRIGATION
- PROPOSED PRESSURIZED IRRIGATION
- PROPOSED STORM DRAIN
- PROPOSED LANDSCAPE DRAIN
- STORM DRAIN BASIN A
- STORM DRAIN BASIN B
- STORM DRAIN BASIN C

BLUE STAKE NOTE:

- LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.

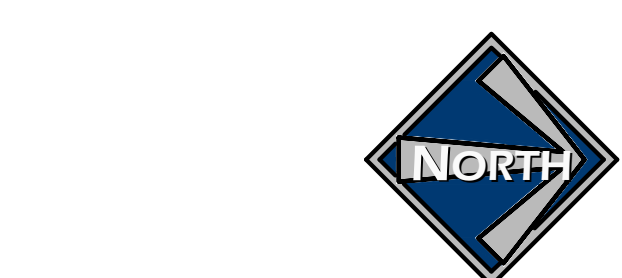
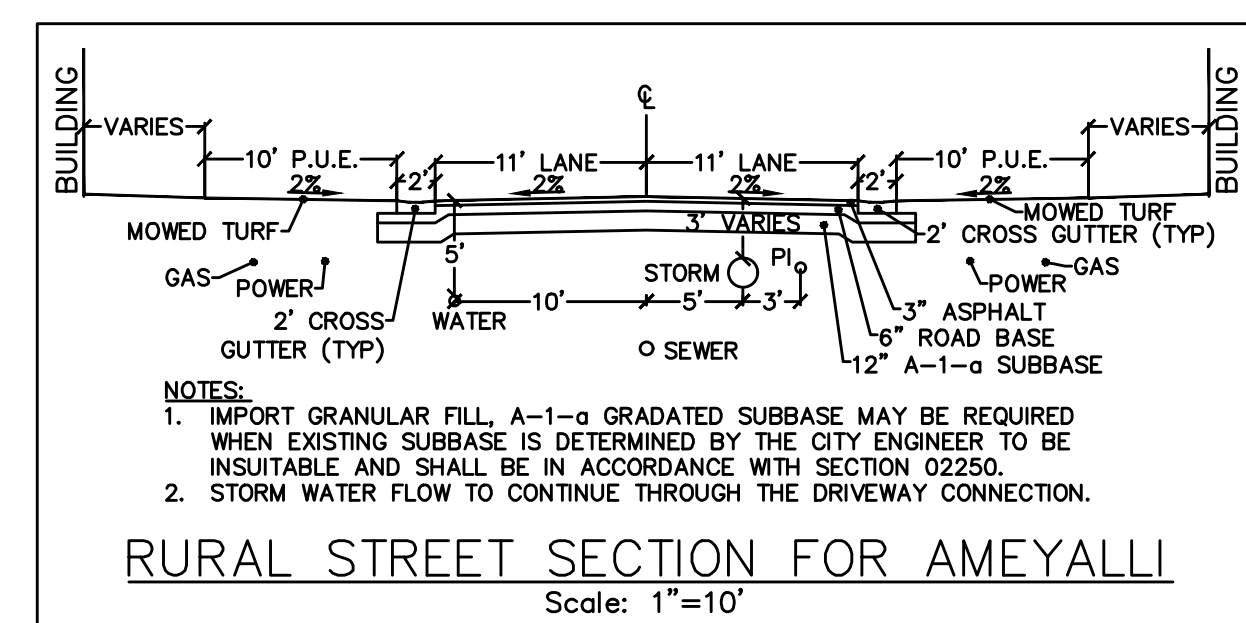
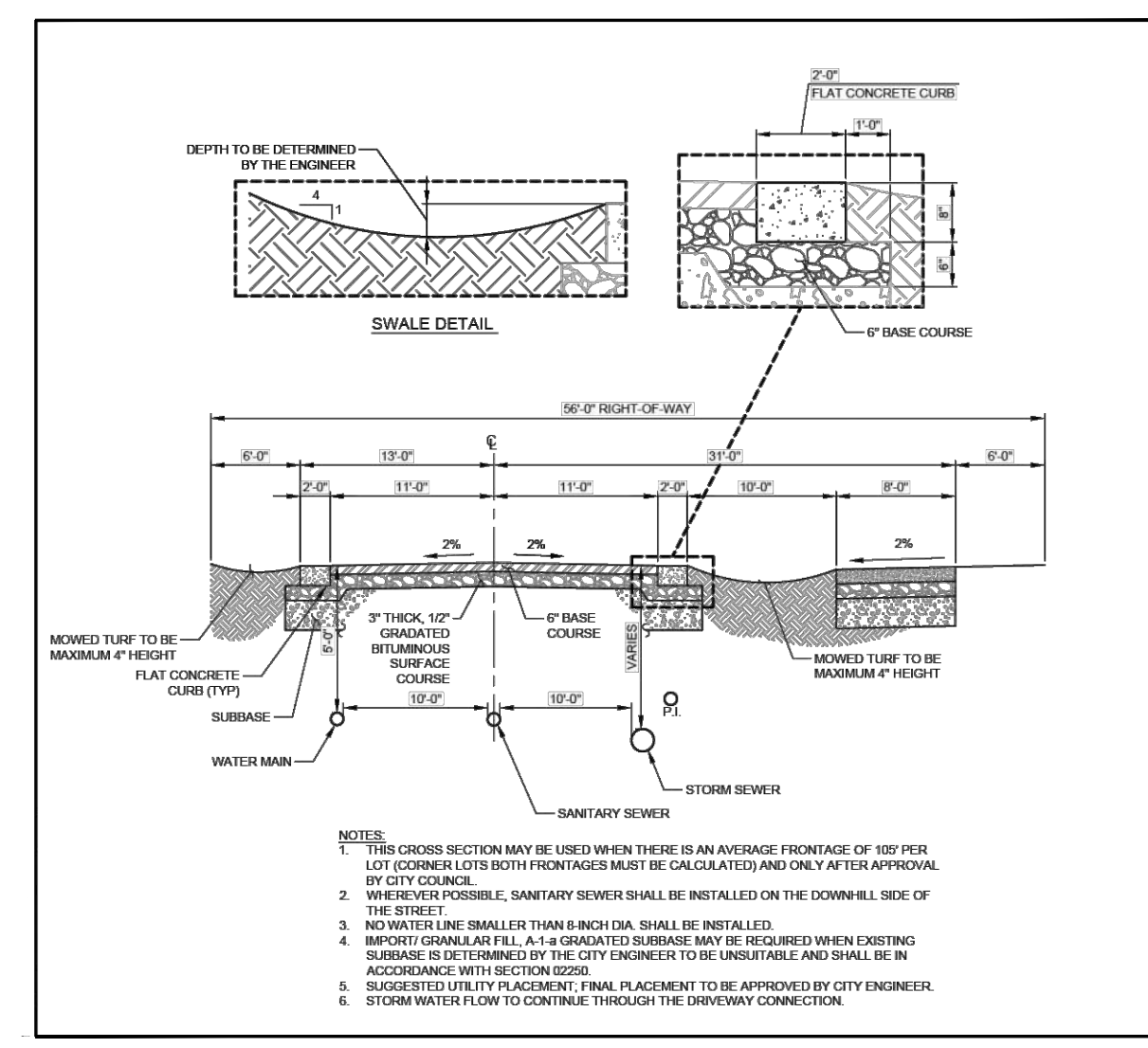
STORM DRAIN NOTES:

- ALL STORM DRAIN CONSTRUCTION TO MEET MIDWAY CITY STANDARDS & SPECIFICATIONS

CHECK GROUNDWATER DEPTH:

- CONTRACTOR SHALL VERIFY GROUND WATER CONDITIONS IN RETENTION POND LOCATIONS BEFORE CONSTRUCTION BEGINS

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 PLOTTED BY: dberge



SCALE: 1"=100'
Scale 1" = 200' for 11x17

CHUCK HEATH
AMEYALLI - PHASE 2
STORM DRAIN MASTER PLAN

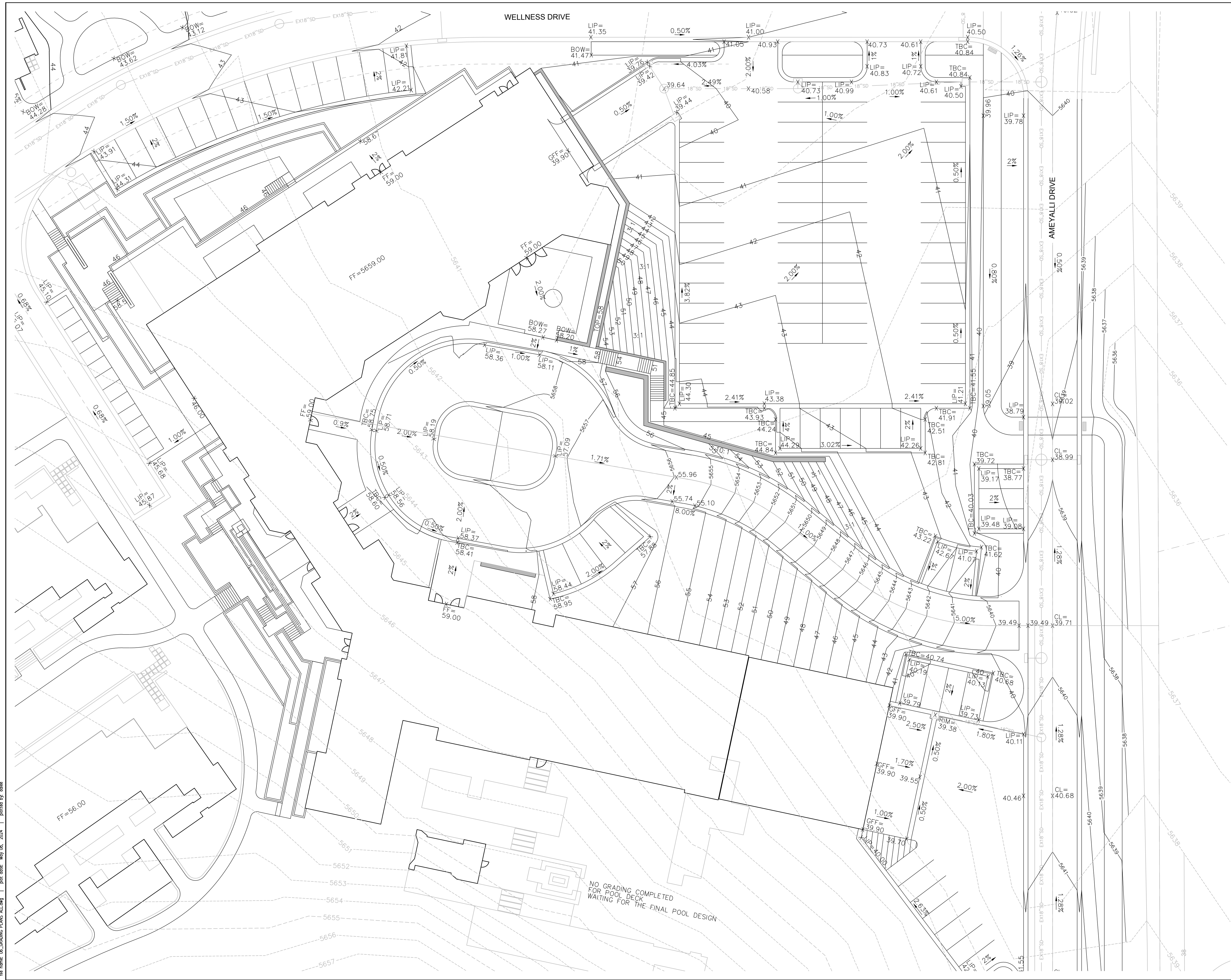


DESIGN BY: PDB
DRAWN BY: DA

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PAUL D. BERG P.E.
SERIAL NO. 295595
DATE: 8 MAY 2024

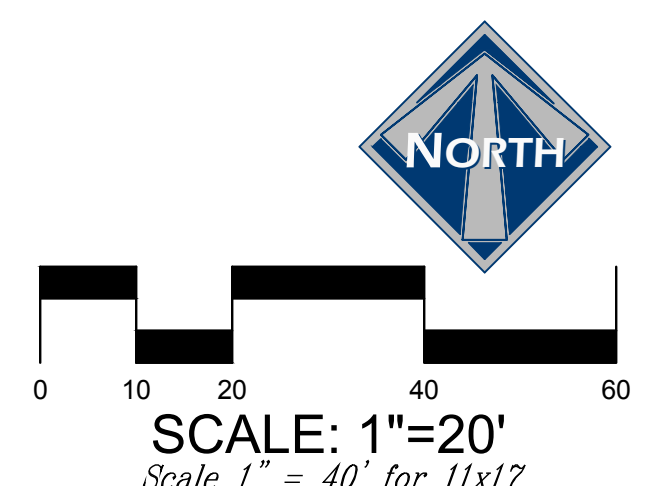
DATE: 8 MAY 2024
REV: SHEET 4



- LEGEND**
- SLOPES > 25%
 - HOT POT/CRATER SENSITIVE LANDS (3.52)
 - EXISTING STORM DRAIN
 - STORM DRAIN
 - RETAINING WALL

NOTE:
ALL GRADING, BACKFILL AND COMPACTION SHALL COMPLY WITH MIDWAY CITY STANDARDS AND SPECIFICATIONS AND THE GEOTECHNICAL REPORT.

NO GRADING COMPLETED FOR POOL DECK WAITING FOR THE FINAL POOL DESIGN



CHUCK HEATH AMEYALLI - PHASE 2	
GRADING PLAN CORE BUILDING	
BERG ENGINEERING 380 E Main St. Suite 204 Midway, Ut 84049 ph 435.657.9749	
DESIGN BY: PDB DRAWN BY: DA	DATE: 8 MAY 2024 REV: 6

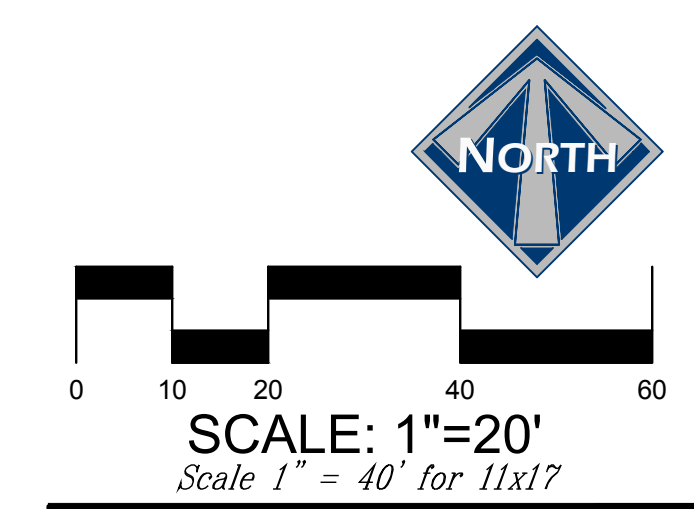
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PAUL D. BERG P.E.
SERIAL NO. 295595
DATE: 8 MAY 2024

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 Date: 5/8/2024 10:07:28 AM
 Plotted by: ddb

- LEGEND**
- SLOPES > 25%
 - HOT POT/CRATER SENSITIVE LANDS (3.52)
 - EX18"SD - EXISTING STORM DRAIN
 - 18"SD - STORM DRAIN
 - RETAINING WALL

NOTE:
ALL GRADING, BACKFILL AND COMPACTION SHALL COMPLY WITH MIDWAY CITY STANDARDS AND SPECIFICATIONS AND THE GEOTECHNICAL REPORT.



CHUCK HEATH
AMEYALLI - PHASE 2

**GRADING PLAN
EAST COTTAGES**

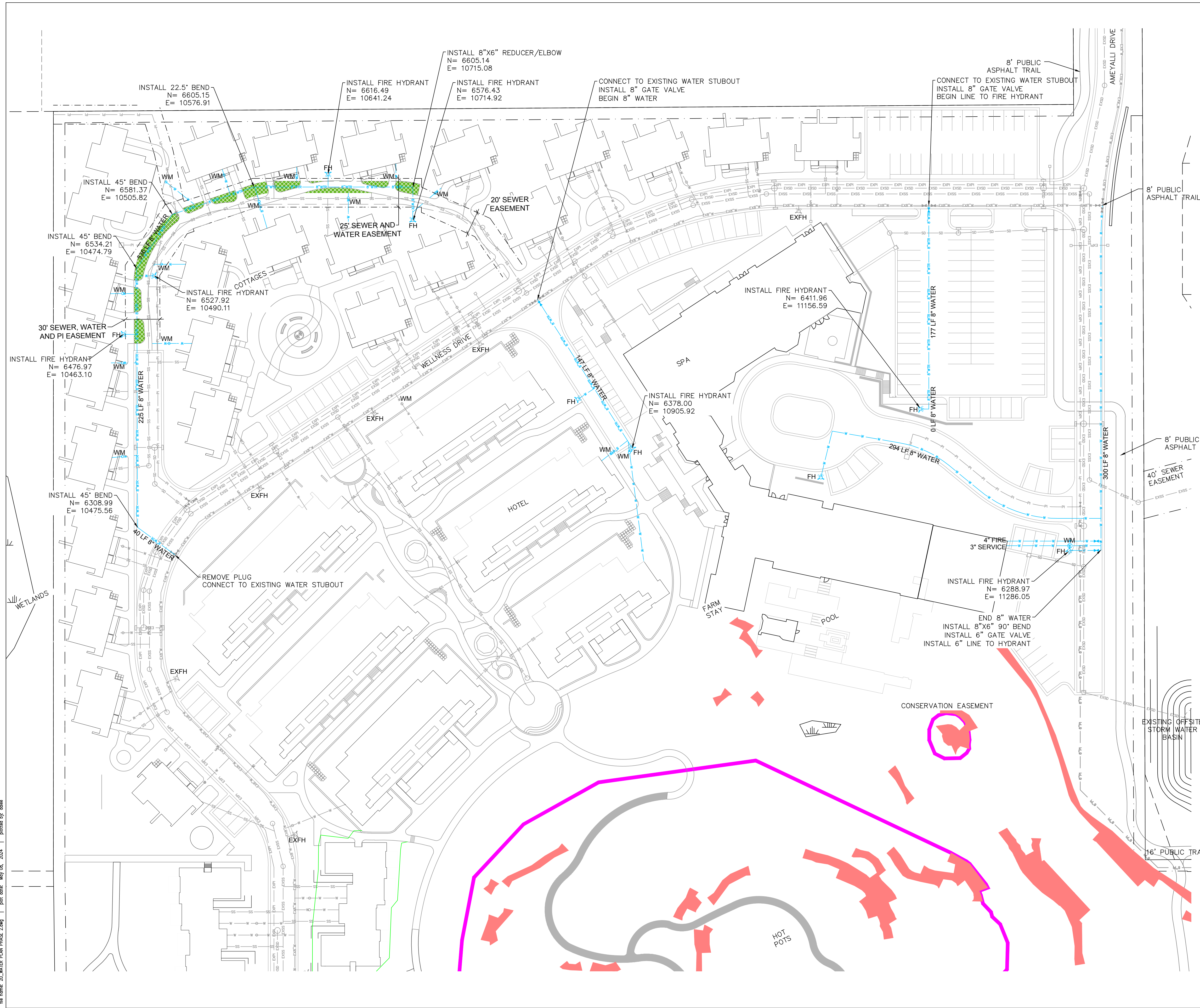
BERG ENGINEERING
380 E Main St. Suite 204
Midway, Ut 84049
ph 435.657.9749

DESIGN BY: PDB DATE: 8 MAY 2024 SHEET
DRAWN BY: DA REV: 9

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PAUL D. BERG P.E.
SERIAL NO. 295595
DATE: 8 MAY 2024

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LEGEND

- WETLANDS (3.75 ACRES)
- SLOPES > 25% (0.33 ACRES OUTSIDE OF HOT POT/CRATER)
- HOT POT/CRATER SENSITIVE LANDS (3.52 ACRES)
- EXISTING PRESSURIZED IRRIGATION
- EXISTING WATER
- EXISTING SEWER
- EXISTING STORM DRAIN
- PROPOSED PRESSURIZED IRRIGATION
- PROPOSED WATER
- PROPOSED SEWER
- PROPOSED STORM DRAIN
- GRASS PAVERS FOR 20' EMERGENCY LANE/UTILITY ACCESS

BLUE STAKE NOTE:

- LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.

WATER NOTES:

- ALL WATER IMPROVEMENTS SHALL MEET MIDWAY CITY STANDARDS AND SPECIFICATIONS.
- ALL COTTAGES/DUPLEXES WILL HAVE A 1" WATER SERVICE.
- WATER SERVICES TO HOTEL BUILDINGS SHALL BE 2".

NORTH

0 20 40 80 120

SCALE: 1"=40'
Scale 1" = 80' for 11x17

CHUCK HEATH
AMEYALLI - PHASE 2

PHASE 2 WATER PLAN

BERG ENGINEERING
380 E Main St. Suite 204
Midway, Ut 84049
ph 435.657.9749

DESIGN BY: PDB DATE: 8 MAY 2024
DRAWN BY: DA REV: SHEET 20

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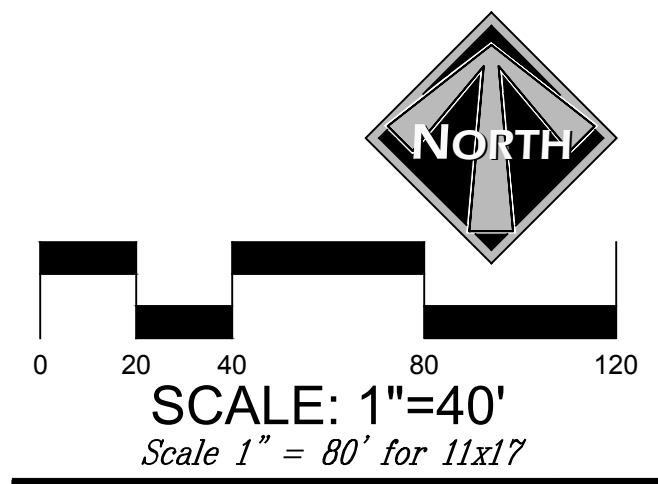
- LEGEND**
- WETLANDS (3.75 ACRES)
 - SLOPES > 25% (0.33 ACRES OUTSIDE OF HOT POT/CRATER)
 - HOT POT/CRATER SENSITIVE LANDS (3.52 ACRES)
 - EXISTING PRESSURIZED IRRIGATION SERVICE
 - EXISTING PRESSURIZED IRRIGATION
 - EXISTING WATER
 - EXISTING SEWER
 - EXISTING STORM DRAIN
 - PROPOSED PRESSURIZED IRRIGATION
 - PROPOSED WATER
 - PROPOSED SEWER
 - PROPOSED STORM DRAIN
 - GRASS PAVERS FOR 20' EMERGENCY LANE/UTILITY ACCESS

BLUE STAKE NOTE:

- LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.

PRESSURIZED IRRIGATION NOTES:

- ALL PRESSURIZED IRRIGATION IMPROVEMENTS SHALL MEET MIDWAY IRRIGATION COMPANY STANDARDS & SPECIFICATIONS.
- ALL PRESSURIZED IRRIGATION MAIN SHALL BE C-900 DR-18 PURPLE PIPE.



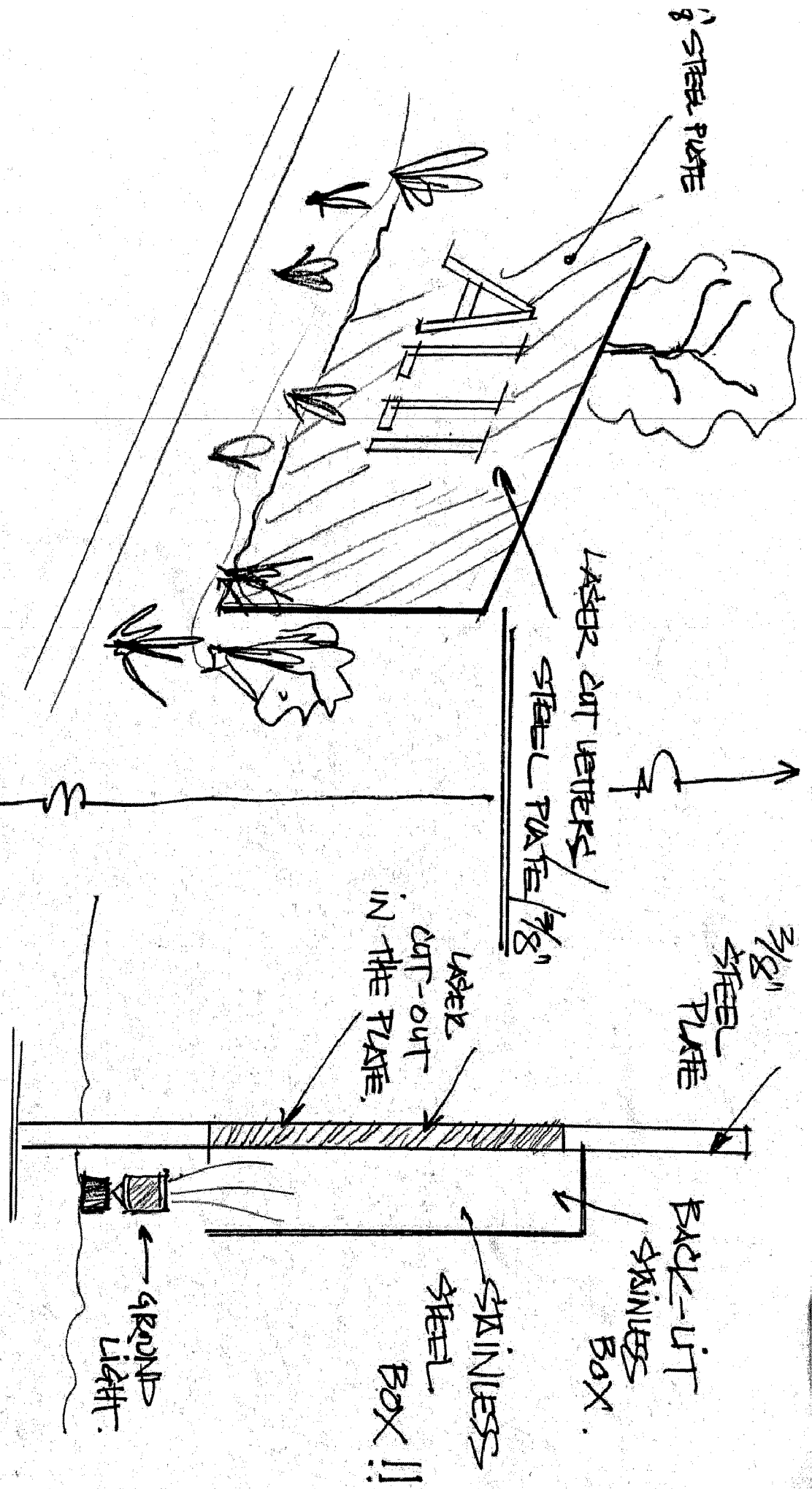
CHUCK HEATH
AMEYALLI - PHASE 2
PHASE 2 PRESSURIZED IRRIGATION PLAN

BERG ENGINEERING
380 E Main St. Suite 204
Midway, Ut 84049
ph 435.657.9749

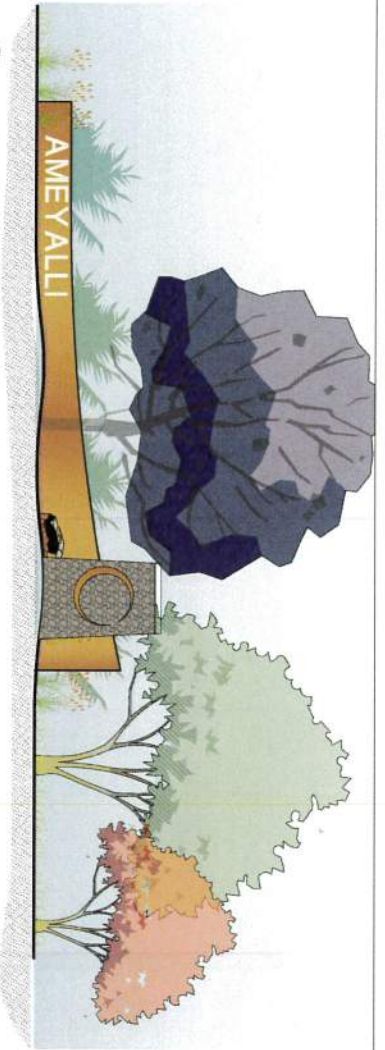
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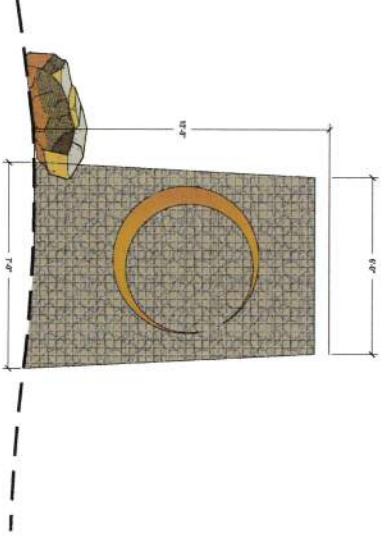
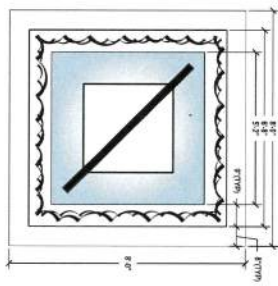
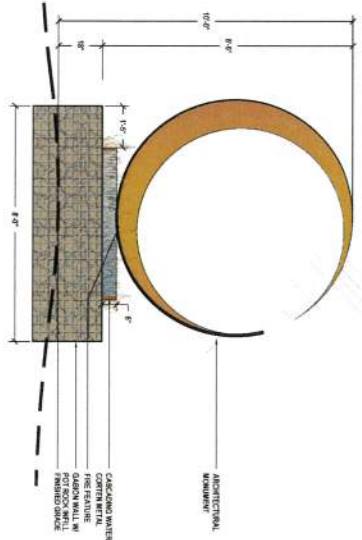
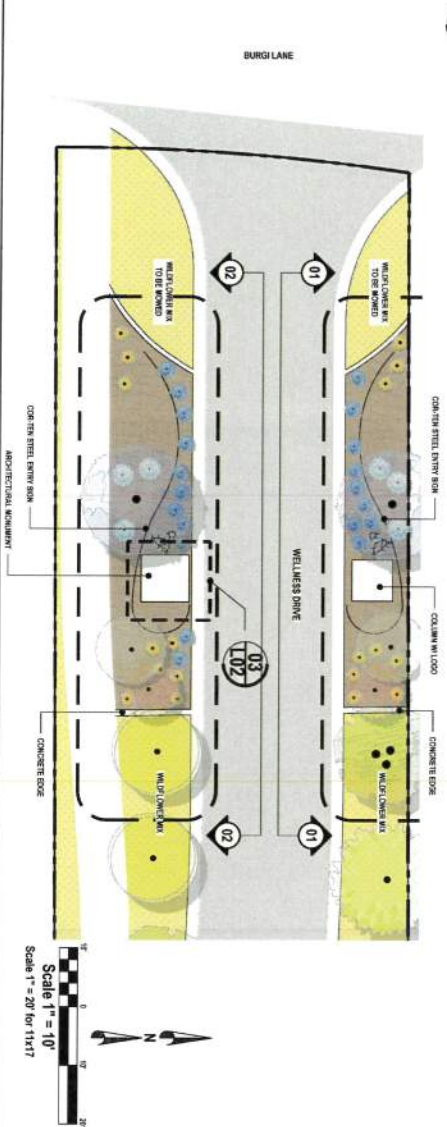
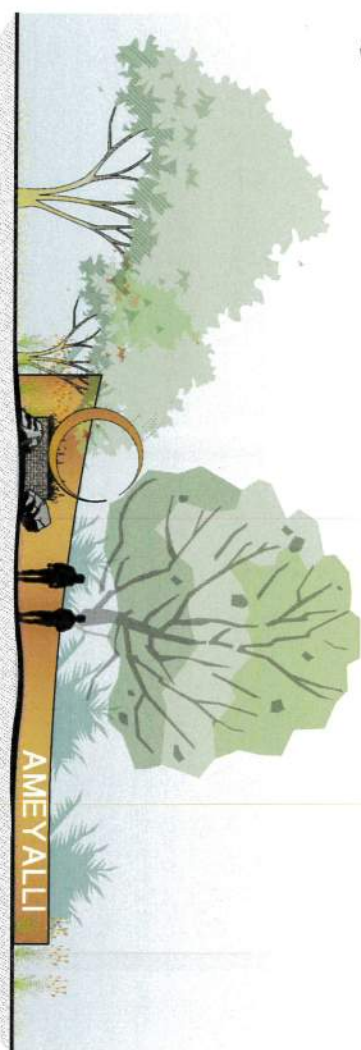
AMERICAN SIGN DETAIL



01 AMEYALLI EAST ENTRY ELEVATION
NTS



02 AMEYALLI WEST ENTRY ELEVATION
NTS



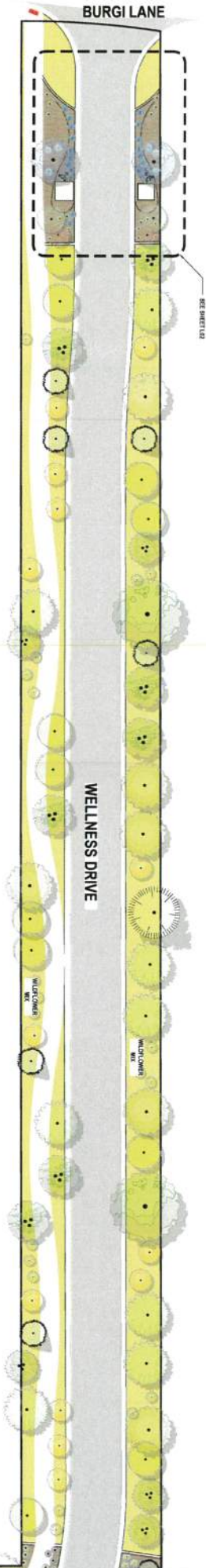
03 COLUMN & MONUMENT DETAILS
NTS

AMEYALLI RESORT ENTRY LANDSCAPE PLAN

berg
ARCHITECTS

THE UNIVERSITY OF TEXAS AT AUSTIN
1000 UNIVERSITY DRIVE
AUSTIN, TEXAS 78705
SERIALS & ARCHITECTURE
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SERIALS & ARCHITECTURE

DESIGN BY BMM DATE: 16 APR 2024 SHEET
DRAWN BY DAA REV: 01 L02



PLANT SCHEDULE WELLNESS DRIVE

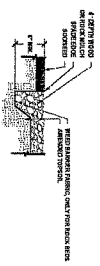
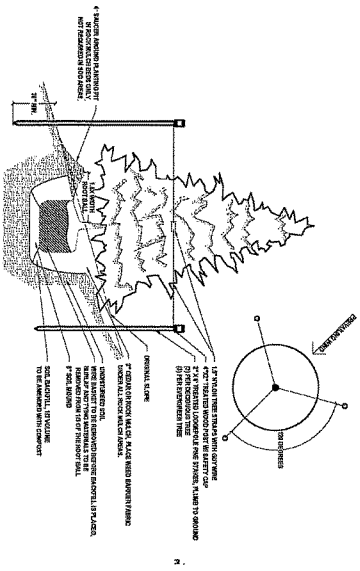
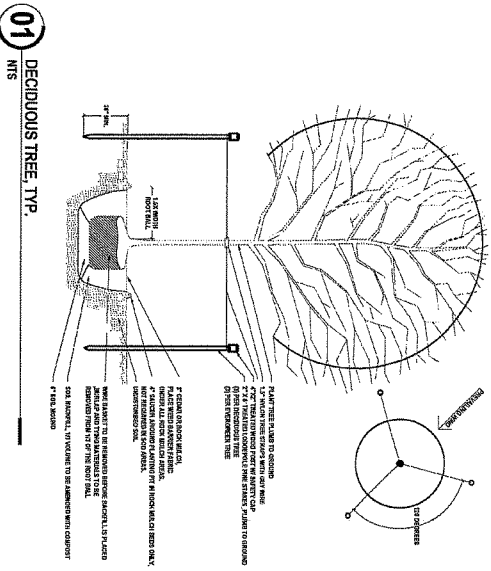
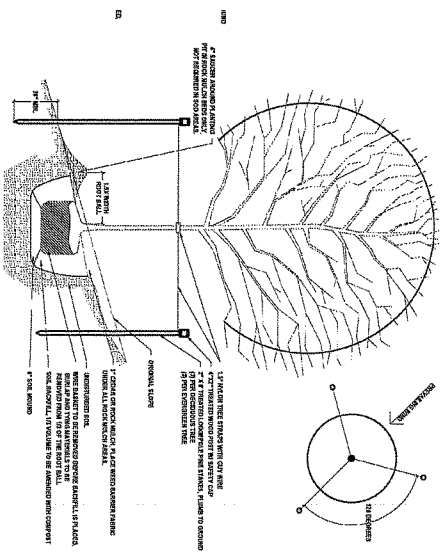
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TREES											
19	1	Acer platanoides	Amur Maple (Black-leaf)	8.0	7'	7' CA	20	1	Cornus alleghaniensis	Downy Woodpecker	1.0
2	1	Acer platanoides	Amur Maple	8.0	7'	7' CA	6	1	Silene pennsylvanica	Downy Woodpecker	1.0
10	1	Quercus macrocarpa 'Fring' TM	David Prunella Amur Maple	8.0	7'	7' CA	9	1	Syringia vulgaris	Common Ninebark	1.0
8	1	Quercus macrocarpa	Hardpan Cedar	8.0	7'	7' CA	14	1	Prunella americana	Black Cherry	1.0
7	1	Malus 'Spring Snow'	Spring Snow Crab Apple	8.0	7'	7' CA	4	1	Prunella americana	Black Cherry	1.0
11	1	Prunus nigra 'Canada Red'	Canada Red Chokeberry	8.0	7'	7' CA	3	1	Asplenium platyneuron	Woods Fern	1.0
3	1	Prunus nigra 'Canada Red'	Canada Red Chokeberry	8.0	7'	7' CA	28	1	Asplenium platyneuron	Woods Fern	1.0
2	1	Prunus nigra 'Canada Red'	Canada Red Chokeberry	8.0	7'	7' CA	16	1	Prunella americana	Black Cherry	1.0
EVERGREEN TREES											
2	1	Abies concolor	White Fir	8.0	17'	17'	21	1	Campanula medium	Common Bellflower	1.0
5	1	Juniperus horizontalis	Rocky Mountain Juniper	8.0	8'	8'	15	1	Prunella americana	Black Cherry	1.0
2	1	Rosa rugosa	Engelmann Rose	8.0	17'	17'	15	1	Prunella americana	Black Cherry	1.0
18	1	Rosa rugosa 'Double Red'	Double Red Rose	8.0	17'	17'	15	1	Prunella americana	Black Cherry	1.0
7	1	Rosa rugosa 'Double Red'	Double Red Rose	8.0	17'	17'	15	1	Prunella americana	Black Cherry	1.0
2	1	Prunella americana	Black Cherry	8.0	17'	17'	15	1	Prunella americana	Black Cherry	1.0
SHRUBS											
6	1	Silene pennsylvanica	Downy Woodpecker	1.0	17'	17'	21	1	Campanula medium	Common Bellflower	1.0
9	1	Syringia vulgaris	Common Ninebark	1.0	17'	17'	21	1	Campanula medium	Common Bellflower	1.0
14	1	Prunella americana	Black Cherry	1.0	17'	17'	21	1	Campanula medium	Common Bellflower	1.0
PERENNIALS											
4	1	Asplenium platyneuron	Woods Fern	1.0	17'	17'	21	1	Campanula medium	Common Bellflower	1.0
3	1	Asplenium platyneuron	Woods Fern	1.0	17'	17'	21	1	Campanula medium	Common Bellflower	1.0
28	1	Asplenium platyneuron	Woods Fern	1.0	17'	17'	21	1	Campanula medium	Common Bellflower	1.0
16	1	Prunella americana	Black Cherry	1.0	17'	17'	21	1	Campanula medium	Common Bellflower	1.0
4	1	Prunella americana	Black Cherry	1.0	17'	17'	21	1	Campanula medium	Common Bellflower	1.0
GRASSES											
21	1	Campanula medium	Common Bellflower	1.0	17'	17'	21	1	Campanula medium	Common Bellflower	1.0
15	1	Prunella americana	Black Cherry	1.0	17'	17'	21	1	Campanula medium	Common Bellflower	1.0
GROUND COVERS											
15,000 sq ft	1	Milium sp. & Winters' M.	White Clover	15,000	17'	17'	21	1	Campanula medium	Common Bellflower	1.0
5,000 sq ft	1	Milium sp. & Winters' M.	White Clover	5,000	17'	17'	21	1	Campanula medium	Common Bellflower	1.0

THE COMPANY OF DESIGN
 LANDSCAPE ARCHITECTS
 3405 E. 17th Avenue, Suite 100
 DENVER, CO 80202
 TEL: 303.733.8000
 WWW.THEDENVERCOMPANY.COM

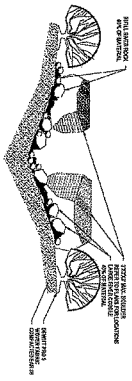
AMEYALLI RESORT
WELLNESS DRIVE
LANDSCAPE PLAN

DESIGN BY: AMI DATE: 10 April 2021
 DRAWN BY: JAA REV: 1

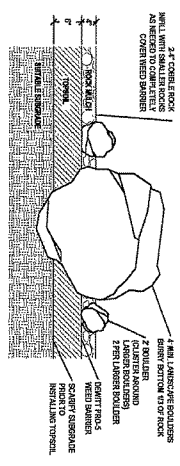
SHEET
103



05
NTS
SPADE EDGING, TYP.



06
NTS
SWALE, TYP.



04
NTS
SANDSTONE BOULDER, TYP.