

Midway City Council
7 March 2023
Regular Meeting

Kay's Landing Subdivision /
Final Approval



Midway

CITY COUNCIL MEETING STAFF REPORT

DATE OF MEETING: March 7, 2023
NAME OF PROJECT: Kay's Landing
NAME OF APPLICANT: Berg Engineering
OWNER OF RECORD: Still Water Holdings LLC
AGENDA ITEM: Final Approval
LOCATION OF ITEM: 1591 Stringtown Road
ZONING DESIGNATION: RA-1-43

ITEM: 9

Berg Engineering, agent for Still Water Holdings LLC, is proposing final approval of a five-lot subdivision to be known as Kay's Landing. The property is 11.14 acres and is located at approximately 1375 South Stringtown Road and is in the RA-1-43 zone.

BACKGROUND:

This request is for final approval of Kay's Landing, a large-scale subdivision on 11.14 acres that will contain five lots. All the proposed lots in the subdivision will obtain frontage along a new cul-de-sac that will be built within the subdivision. The property has been approved for annexation by the City Council and is in the process of being approved for annexation by the State. Once the property is annexed into Midway it will be zoned RA-1-43 which allows single-family dwellings on lots an acre or greater in size.

The General plan describes the RA-1-43 zone as the following:

The RA-1-43 zone (43,000 sf lot) has been established for the primary purpose of providing low-density areas in the City where livestock can be maintained. This zone is currently characterized by large lots or tracts of land with occasional dwelling units, barns, corrals, and agricultural service buildings in connection with farming operations.

LAND USE SUMMARY:

- 11.14-acres
 - 1.67 acres of open space
- RA-1-43 zoning
- Proposal contains five single family building lots
- Access to the lots is provided by a new public-cul-de-sac that will be built in the subdivision
- There are no known sensitive lands on the property
- The lots will connect to the Midway Sanitation District's sewer, Midway City's culinary water line, and Midway Irrigation Company's secondary waterline

ANALYSIS:

Access/Roads – Access will be from Stringtown Road to a new cul-de-sac that will be dedicated to Midway. The new cul-de-sac complies with the maximum cul-de-sac length of 1,300' and maximum lot count on a cul-de-sac of eleven.

Frontage and width – The land use code requires that all lots meet the minimum frontage requirements for the zone. The RA-1-43 zone requires 150' of frontage except there is a 60' minimum for frontage if 75% of the frontage is contained within the bulb of a cul-de-sac. All lots must have at least 150' of width measured at the minimum setback for the RA-1-43 zone which is 50' for single-family dwellings. All lots appear to meet these requirements.

Trails – The developer will install an 6-8' public trail along the street from Stringtown Road to the end of the cul-de-sac.

Geotechnical Study – A Geotechnical Study has been submitted to the City. Horrocks Engineers has reviewed the study (see attached letter).

Sensitive Lands – The applicant has not identified any sensitive lands that are in the proposed development (see attached).

Culinary Water Connection – The lots will connect to existing Midway culinary water lines located in the area.

Sewer Connection – The lots will connect to existing Midway Sanitation District sewer lines located in the area.

Fire Flow - A fire hydrant will need to be located within 600’ of any future dwellings, measured by the route of a fire hose from the fire hydrant to the future home site.

Secondary Water Connection – The lots will connect to Midway Irrigation Company’s secondary water system which is already servicing the property. Secondary water meters are required for each lateral.

Traffic study – A traffic study is not required for this proposal since there are less than 15 lots.

Open Space – Open space has been included on the proposed plans. The required 15% (1.67 acres) open space has been included within the area of lot 1. Open space may be designated within a lot that is at least two acres in size. The portion of the lot that counts towards the required open space obligation needs to be clearly identified on the plat along with a note stating that the open space is unbuildable and clarifying what uses can occur on the open space.

Storm Water – Storm water runoff will be captured and retained onsite in a pond located on lot 5. The applicant will need to ensure that the storm drain easement on lot 5 is clearly marked on the plat. The City will maintain the right to access the pond for future maintenance and emergency access. The plat will need to include a note requiring the owner of lot 5 to provide a 10’ (minimum) access gate if a fence or some other type of barrier or obstruction is proposed to be erected on the lot inhibiting access over the access easement.

WATER BOARD RECOMMENDATION:

The Water Board reviewed the proposal and made a recommendation on November 7, 2022, that 31.97 acre feet are dedicated to the City before the plat is recorded. The required water rights are sufficient for five culinary connections and the outside irrigation of the five lots based on the following formula:

- 11.14-acre parcel (485,258.4 sq. ft.)
- 9.6-acre lot area (418,176 sq. ft.)
 - Impervious area for dwelling, accessory structures, hard surfaces

- 0.92 acres (5 x 8,000 sq. ft. = 40,000 sq. ft.)
- Irrigated acreage
 - 8.68 acres x 3 = 26.04 acre feet
 - 0.61 acres in park strip x 3 = 1.83 acre feet
- Total irrigated acreage 9.29 (27.87 acre feet)
- 5 culinary connections
 - 4 acre feet
- 31.87 acre feet requirement

PLANNING COMMISSION RECOMMENDATION:

Motion: Commissioner Wardle: I make a motion that we recommend approval final approval of a five-lot subdivision to be known as Kay’s Landing. The property is 11.14 acres and is located at approximately 1375 South Stringtown Road and is in the RA-1-43 zone. Accept the staff report and the one condition in the staff report.

Seconded: Commissioner Garland

Chairman Simons: Any discussion on the motion?

Chairman Simons: All in favor.

Ayes: Commissioners: Nokes, Osborne, Wardle and Garland

Nays: None

Motion: Passed

POSSIBLE FINDINGS:

- The proposal does meet the intent of the General Plan for the RA-1-43 zoning district.
- The proposal does comply with the land use requirements of the RA-1-43 zoning district.
- The application does comply with the open space requirements by designating 1.67 acres of open space has been included within the boundary of lot 1.
- The property is restricted to five lots by a private deed restriction and by the annexation agreement.
- The duration of final approval shall be for one year from the date of final approval of the development by the City Council. Should a final plat not be recorded by the County Recorder within the one-year period of time, the development’s approval shall be voided, and both preliminary and final approvals must be re-obtained, unless, on a showing of extenuating circumstances, the City Council extends the time limit for plat recording, with or without conditions.

ALTERNATIVE ACTIONS:

1. Approval (conditional). This action can be taken if the City Council finds that conditions placed on the approval can resolve any outstanding issues.
 - a. Accept staff report
 - b. List accepted findings
 - c. Place condition(s)

2. Continuance. This action can be taken if the City Council finds that there are unresolved issues.
 - a. Accept staff report
 - b. List accepted findings
 - c. Reasons for continuance
 - i. Unresolved issues that must be addressed
 - d. Date when the item will be heard again

3. Denial. This action can be taken if the City Council finds that the request does not meet the intent of the ordinance.
 - a. Accept staff report
 - b. List accepted findings
 - c. Reasons for denial

PROPOSED CONDITION:

1. The applicant must contribute to the planned bike lane an amount approved by the City Engineer before the plat is recorded.

February 14, 2023

Midway City
Attn: Michael Henke
75 North 100 West
Midway, Utah 84049

Subject: Kays Landing –Final Review

Dear Michael:

Horrocks Engineers recently reviewed the above development for Final approval. The proposed development is located near Cascade Springs Drive & Stringtown Road. The entire development contains 5 lots. The following comments should be addressed with Final approval.

Water

- The proposed development will be served from the Gerber Mahogany Springs zone.
- An 8-inch waterline will provide water to the subdivision. This waterline will connect to the existing 10-inch waterline within Stringtown Road.

Irrigation

- The existing irrigation line in Stringtown Road ends at Cascade Springs Drive. A new 8" irrigation line in Stringtown Road from Cascade Springs Drive to the entrance and into the subdivision.
- The existing 8" irrigation line running north and south through Lot 1 needs to be abandoned within the lot limits. The development shall connect the new 8" irrigation line to existing 8" irrigation line on south side of property.

Road

- This subdivision is proposing to use the Local Rural cross section with the flat concrete curb & gutter.
- The road within this subdivision will be a public road.
- No improvements will be required on Stringtown road.
- Property is being proposed to be dedicated on the east side of Stringtown Road for a proposed 35-foot ROW half width.

Trails

- An 8-foot asphalt public trail will be installed within the subdivision.
- The Developer will contribute the cost of a bike lane along the development frontage along Stringtown Road.

Storm Drain

- The storm drain system within this subdivision is public and proposing to use catch basins, sumps, and a retention basin to collect the storm water.

Please feel free to call our office with any questions.

Sincerely,
HORROCKS ENGINEERS



Wesley Johnson, P.E.
Midway City Engineer

cc: Berg Engineering (send via email)

Midway City Corporation



Midway

Mayor: Celeste T. Johnson
City Council Members
Lisa Christen • Jeffery Drury
J.C. Simonsen • Steve Dougherty
Kevin Payne

75 North 100 West
P.O. Box 277
Midway, Utah 84049
Phone: 435-654-3223
Fax: 435-654-4120
midwaycityut.org

Kays Landing Preliminary Approval

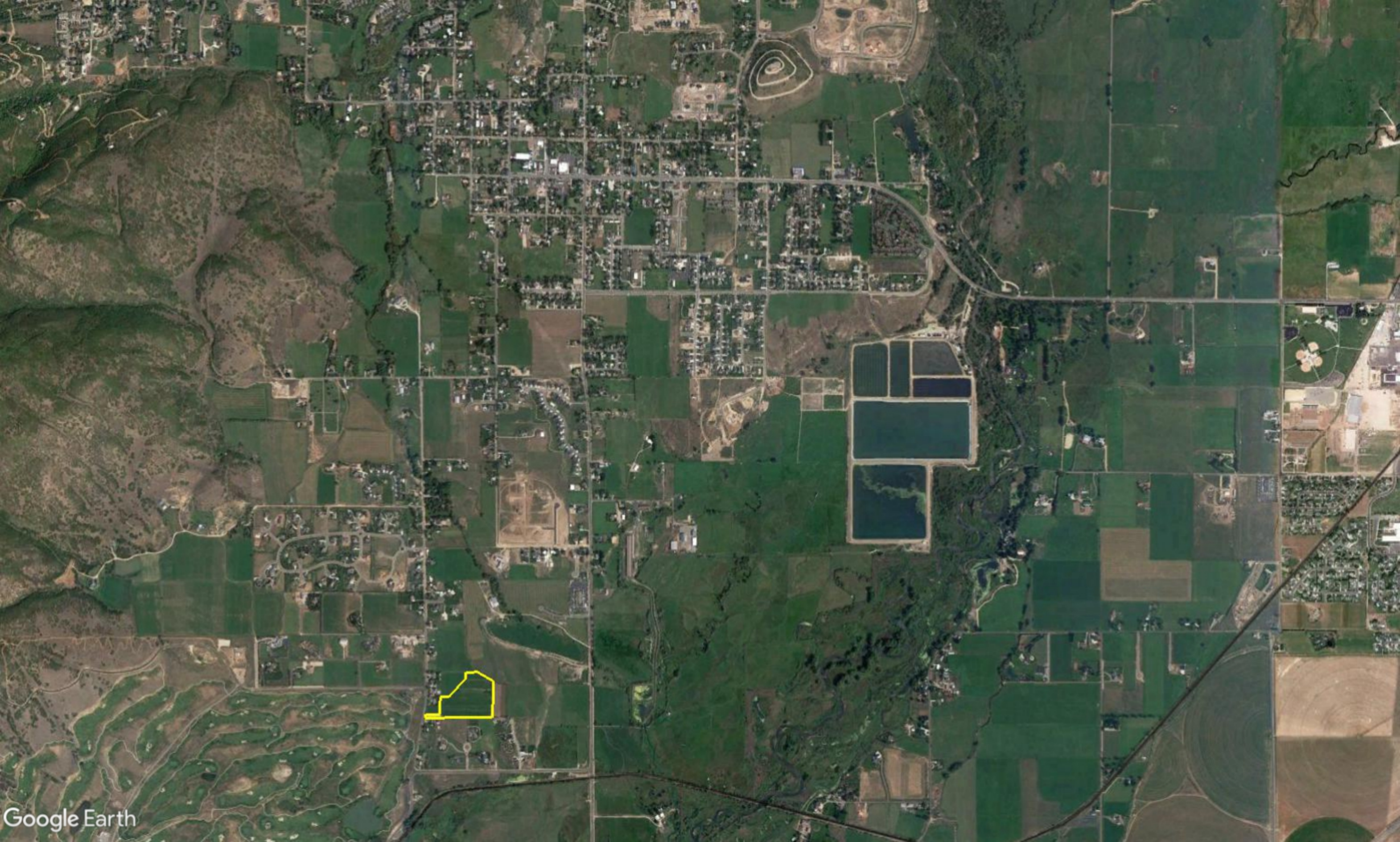
November 1, 2022

Michael Henke Midway City Planning Director,

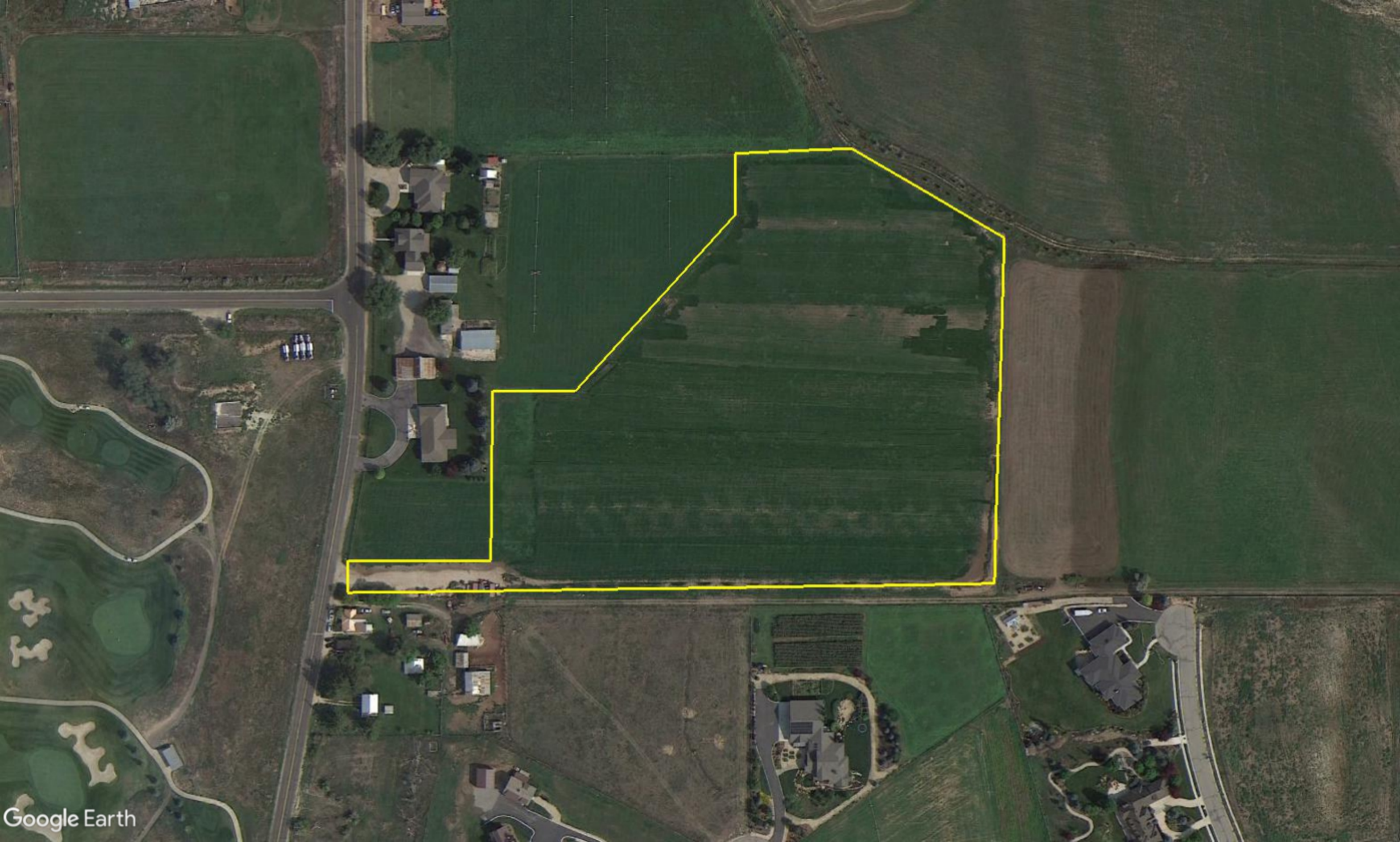
I have reviewed the preliminary plans for Kays Landing for compliance with the 2018 International Fire Code (2018 IFC). The proposed plan meets the fire code requirements in the 2018 IFC including Appendix D for fire apparatus access. I have no fire code concerns with these preliminary plans that have already been approved by the Midway City Planning Commission and are now awaiting preliminary approval from the Midway City Council.

I will perform a final approval fire review of the Kays Landing plans prior to final approval.

Tex R. Couch CBO/MCP
Midway City Building Official/Fire Marshal
75 West 100 North
Midway, Utah 84049
tcouch@midwaycityut.org
(435)654-3223 Ext. 107

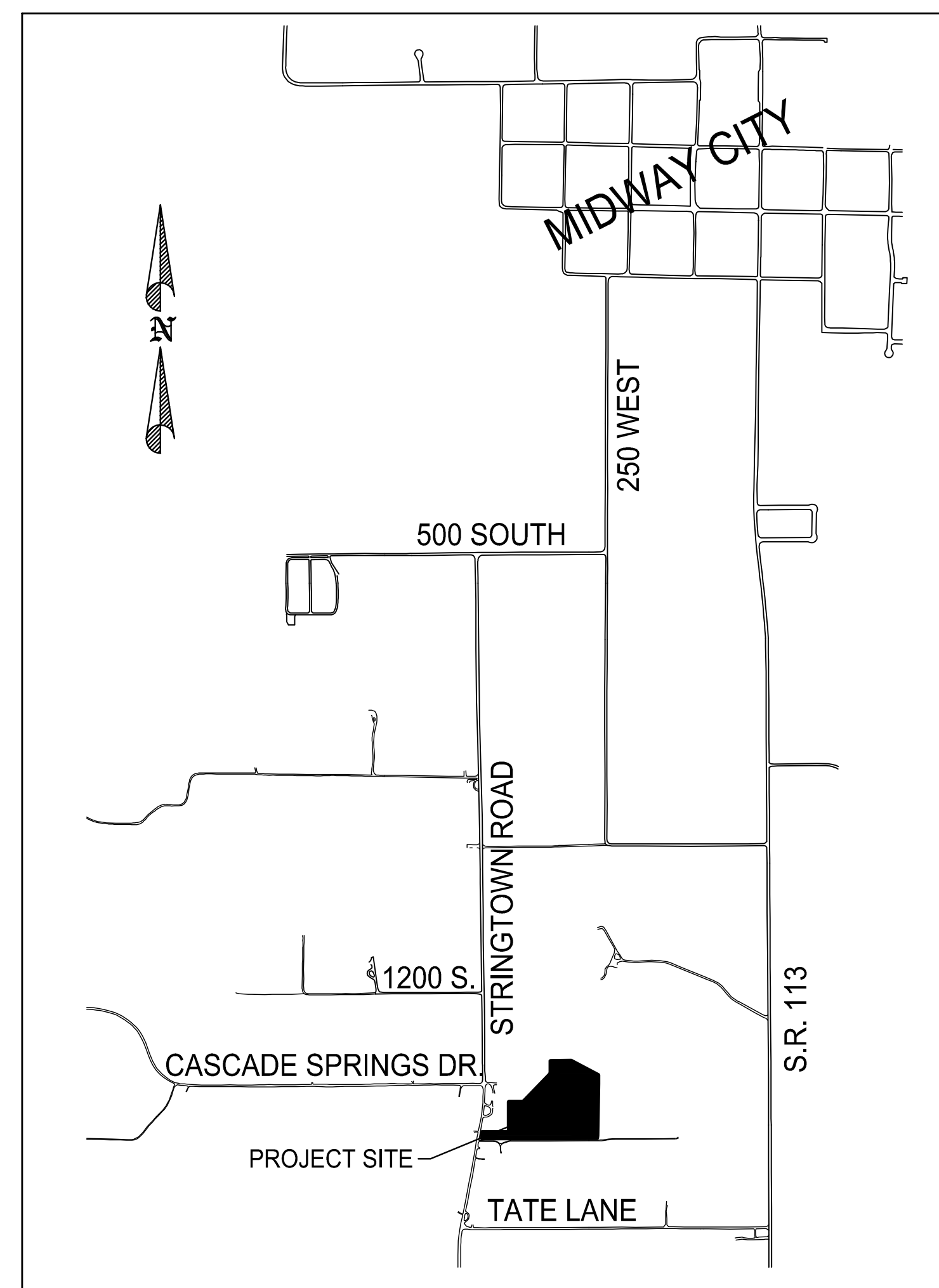






KAYS LANDING

FINAL APPLICATION



VICINITY MAP

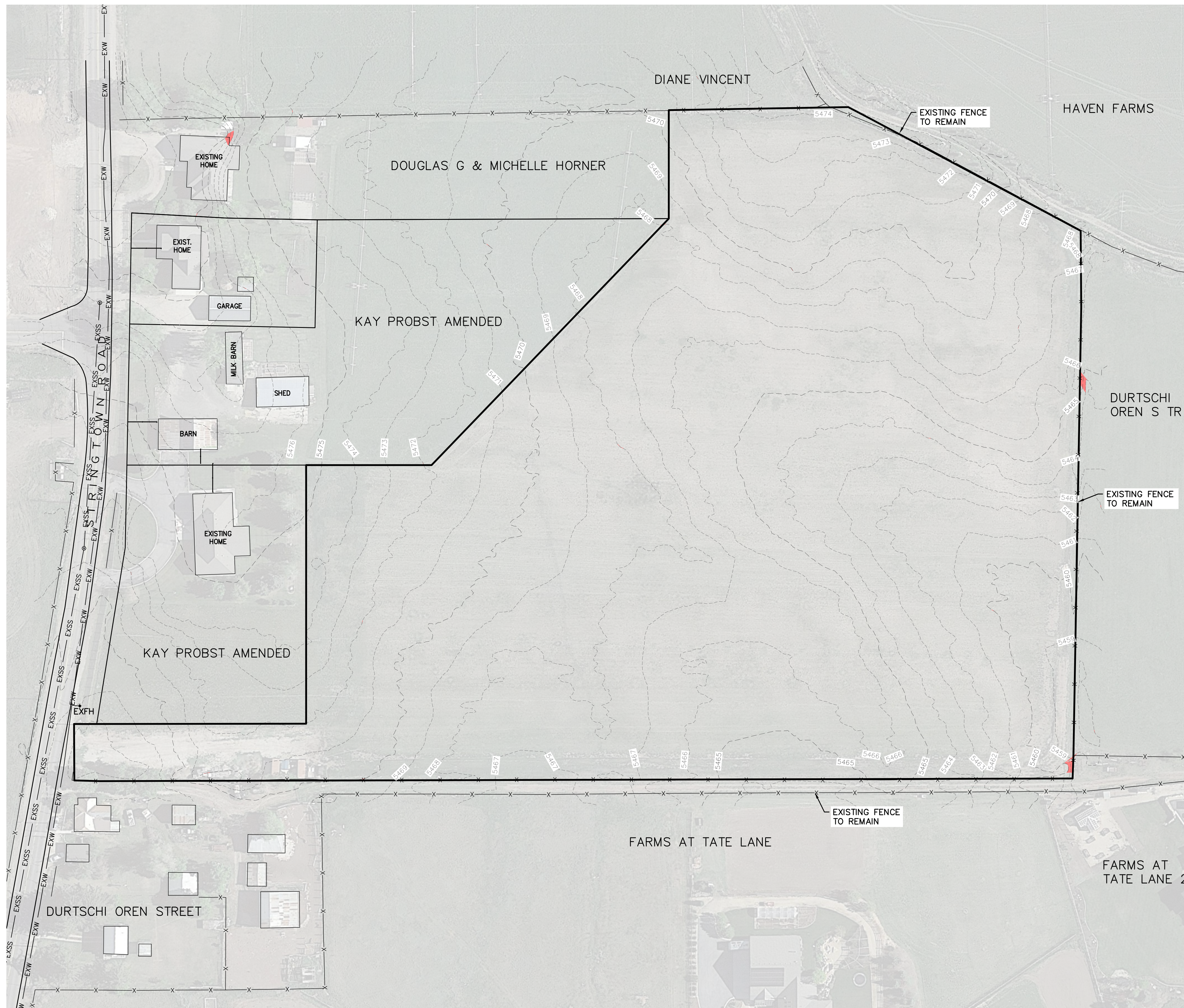
SHEET INDEX

1. EXISTING CONDITIONS
2. SITE PLAN
3. PLAT
4. KAYS WAY PLAN & PROFILE
5. ROAD CONSTRUCTION DETAILS
6. UTILITY PLAN
7. KAYS WAY SEWER PLAN & PROFILE
8. SEWER CONSTRUCTION DETAILS
9. WATER & PI PLAN
10. WATER & PI CONSTRUCTION DETAILS
11. STORM DRAIN PLAN
12. KAYS WAY STORM DRAIN PLAN & PROFILE
13. STORM DRAIN CONSTRUCTION DETAILS

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FOR REVIEW ONLY. IT IS NOT
INTENDED FOR CONSTRUCTION
UNLESS SIGNED AND SEALED.

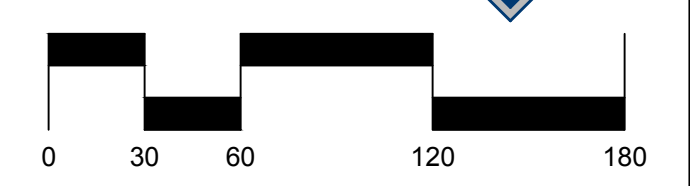
PAUL D. BERG P.E.
SERIAL NO. 295595
DATE: 11 JAN 2023

STILL WATER HOLDINGS LLC KAYS LANDING		
COVER SHEET		
 <p>BERG ENGINEERING 380 E Main St. Suite 204 Midway, Ut 84049 ph 435.657.9749</p>		
DESIGN BY: PDB DRAWN BY: SW	DATE: 11 JAN 2023 REV:	SHEET 0



- LEGEND**
- NON-BUILDABLE AREA (25%+ SLOPES)
 - EXFI EXISTING FENCE
 - EXPI EXISTING PRESSURIZED IRRIGATION
 - EXSS EXISTING SEWER
 - EXW EXISTING WATER

EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE LOCATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR BLUE STAKING OF ALL ONSITE UTILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF DIFFERENCES BETWEEN BLUE STAKED LOCATIONS AND THOSE SHOWN ON THIS PLAN.



SCALE: 1"=60'

STILL WATER HOLDINGS LLC
KAYS LANDING
EXISTING CONDITIONS

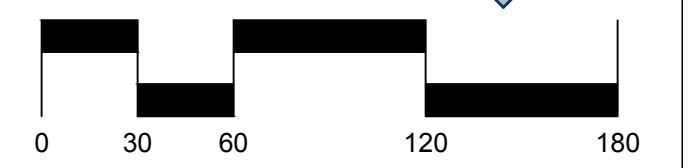
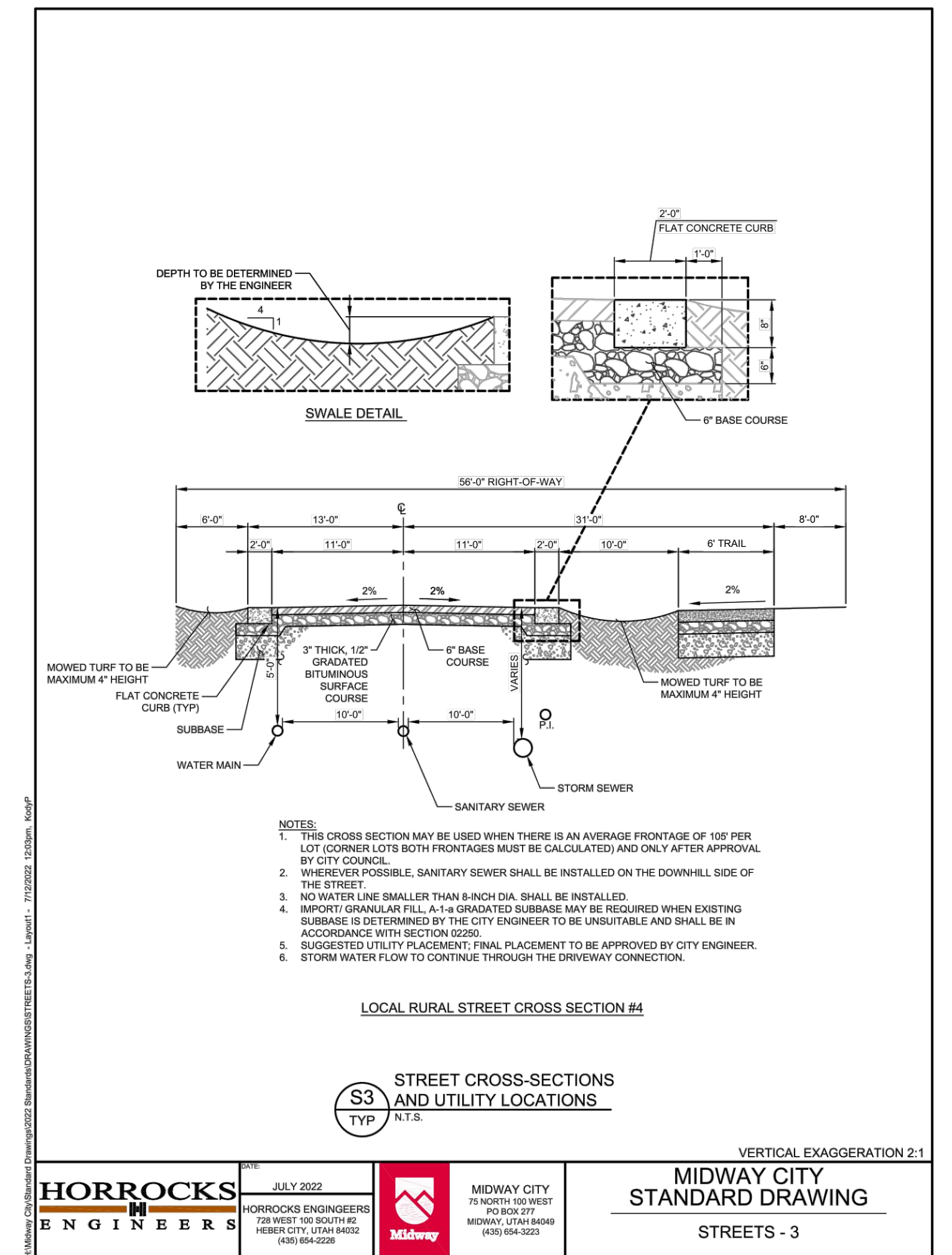


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PAUL D. BERG P.E.
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DATE: 11 JAN 2022

DESIGN BY: PDB DATE: 11 JAN 2023 SHEET 1
DRAWN BY: DEJ REV:



AREA
TOTAL PROJECT AREA 11.14 ACRES



SCALE: 1"=60'

STILL WATER HOLDINGS LLC
KAYS LANDING

SITE PLAN



DESIGN BY: PDB
DRAWN BY: DEJ

DATE: 11 JAN 2023
REV:

SHEET
2

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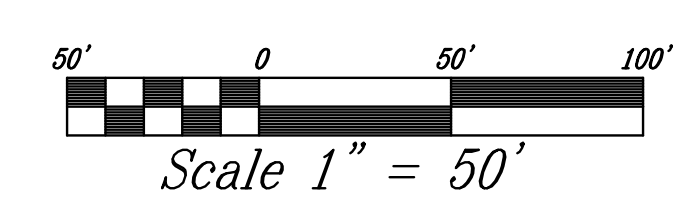
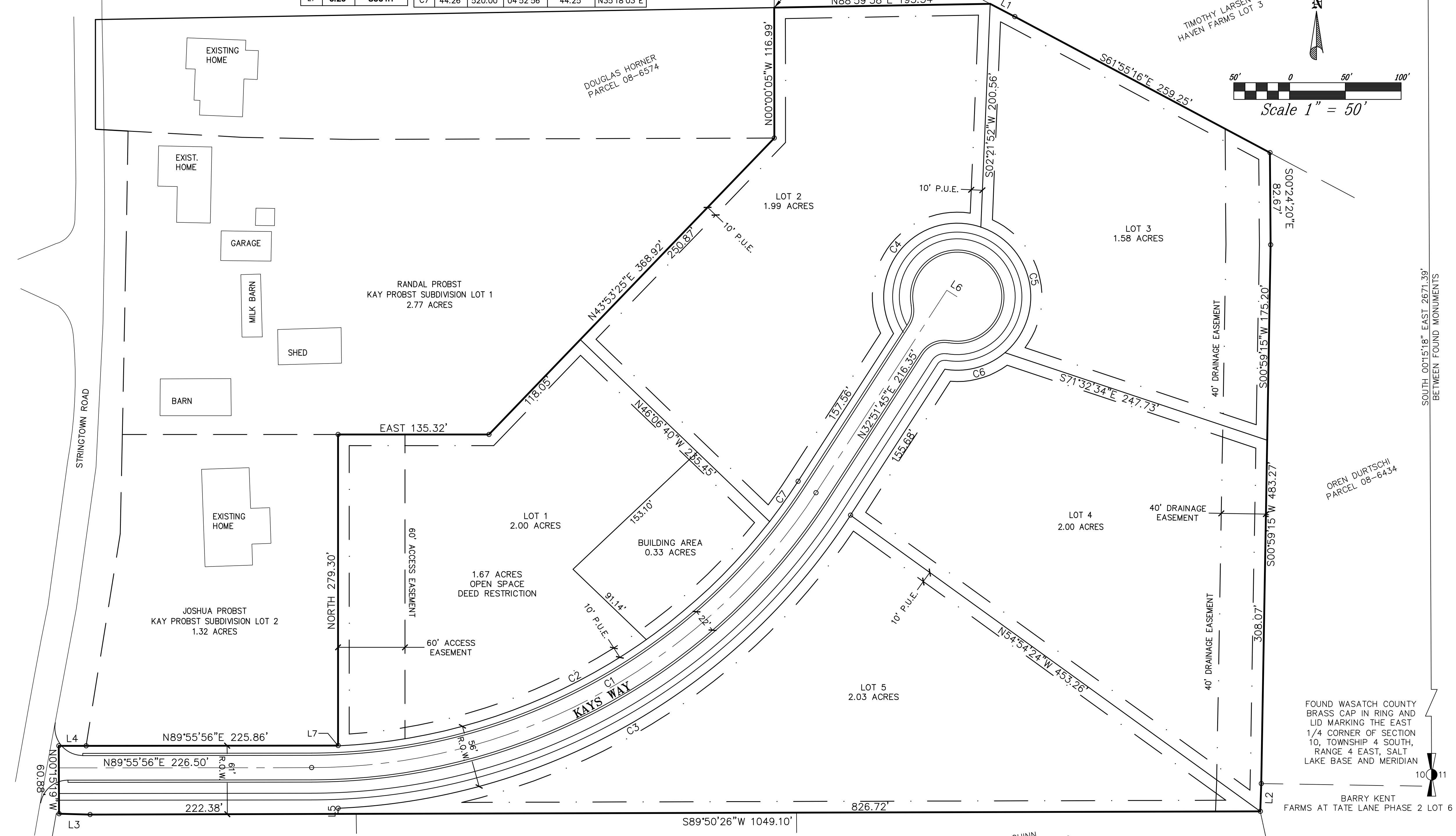
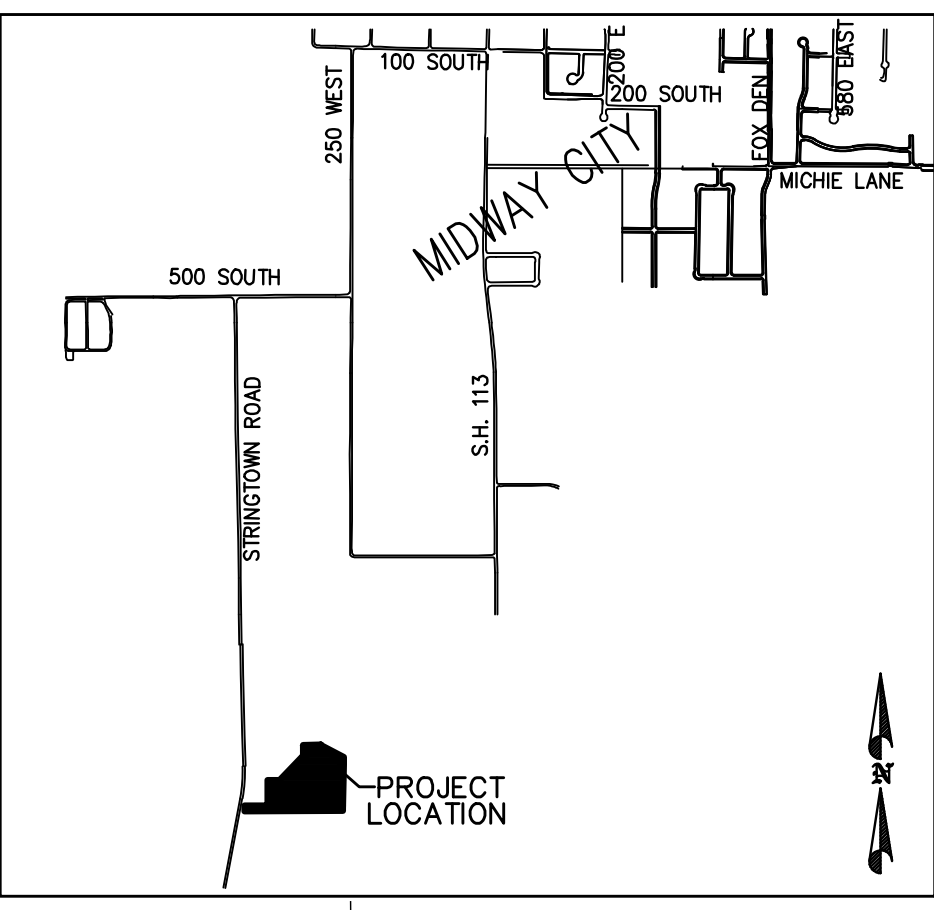
KAY'S LANDING

LOCATED IN THE NORTHEAST CORNER OF SECTION 10, TOWNSHIP 4 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN

FOUND WASATCH COUNTY BRASS CAP IN CONCRETE MARKING THE NORTHWEST CORNER OF SECTION 10, TOWNSHIP 4 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN

FOUND WASATCH COUNTY BRASS CAP IN RING AND LID MARKING THE NORTHEAST CORNER OF SECTION 10, TOWNSHIP 4 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN

LINE TABLE			CURVE TABLE						
LINE	LENGTH	DIRECTION	#	LENGTH	RADIUS	DELTA	CD. LENGTH	CD. BEARING	
L1	24.88'	S62°22'36"E	C1	536.87'	539.00'	57°04'11"	514.95'	S61°23'51"W	
L2	24.90'	S02°06'03"W	C2	449.93'	520.00'	49°34'29"	484.78'	N62°05'08"E	
L3	27.68'	N88°26'05"W	C3	550.03'	539.00'	54°42'45"	529.37'	N60°13'08"E	
L4	24.46'	N89°55'56"E	C4	160.04'	66.00'	138°56'10"	123.61'	N39°21'59"E	
L5	5.00'	SOUTH	C5	138.89'	66.00'	120°34'36"	114.65'	S10°52'38"E	
L6	11.00'	N57°08'15"W	C6	57.89'	66.00'	50°15'06"	56.05'	S74°32'13"W	
L7	0.26'	SOUTH	C7	44.26'	520.00'	04°52'56"	44.25'	N35°18'03"E	



SURVEYOR'S CERTIFICATE

IN ACCORDANCE WITH SECTION 10-9a-603 OF THE UTAH CODE, I, TROY TAYLOR, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR HOLDING LICENSE NUMBER 6854112 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS LICENSING ACT.
I FURTHER CERTIFY THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THE PLAT IN ACCORDANCE WITH SECTION 17-23-17 OF THE UTAH CODE, AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT.

DATE _____ SURVEYOR (SEE SEAL BELOW) _____

BOUNDARY DESCRIPTION

BEGINNING AT A POINT LOCATED NORTH 89°27'41" WEST ALONG THE SECTION LINE 2008.42 FEET AND SOUTH 616.05 FEET FROM THE NORTHEAST CORNER OF SECTION 10, TOWNSHIP 4 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN;
THENCE NORTH 88°59'38" EAST 193.54 FEET ALONG A FENCE LINE; THENCE SOUTH 62°22'36" EAST 24.88 FEET; THENCE SOUTH 61°55'16" EAST 259.25 FEET; THENCE ALONG A FENCE LINE THE FOLLOWING 3 (THREE) CALLS, SOUTH 00°24'20" EAST 82.67 FEET, SOUTH 00°59'15" WEST 483.27 FEET, AND SOUTH 02°06'03" WEST 24.90 FEET TO A FENCE CORNER; THENCE SOUTH 89°50'26" WEST 1049.10 FEET ALONG A FENCE LINE; THENCE NORTH 88°26'05" WEST 27.68 FEET ALONG A FENCE LINE; THENCE NORTH 00°15'19" WEST 60.88 FEET; THENCE NORTH 89°55'56" EAST 250.32 FEET; THENCE NORTH 279.04 FEET; THENCE EAST 135.32 FEET; THENCE NORTH 43°53'25" EAST 368.92 FEET; THENCE NORTH 00°00'05" WEST 116.99 FEET TO THE POINT OF BEGINNING.
AREA = 11.14 ACRES

BASIS OF BEARING

THE BASIS OF BEARING IS NORTH 89°27'41" WEST ALONG THE SECTION LINE FROM THE FOUND WASATCH COUNTY BRASS CAP MARKING THE NORTHEAST CORNER OF SECTION 10 TO THE FOUND WASATCH COUNTY BRASS CAP MARKING THE NORTHWEST CORNER OF SECTION 10, TOWNSHIP 4 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN.

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT, THE UNDERSIGNED OWNER(S) OF THE PROPERTY DESCRIBED HEREON, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, PUBLIC ROAD RIGHT-OF-WAY AND UTILITY EASEMENTS AND HEREBY DEDICATE THOSE AREAS LABELED AS SHARED DRIVEWAY EASEMENTS AND UTILITY EASEMENTS FOR THE CONSTRUCTION AND MAINTENANCE OF PUBLIC UTILITIES AND EMERGENCY VEHICLE ACCESS.

DATED THIS _____ DAY OF _____, A.D. 20____
BY: _____
STILL WATER HOLDINGS LLC

ACKNOWLEDGMENT

STATE OF UTAH }
COUNTY OF WASATCH } S.S.
ON THE _____ DAY OF _____, A.D. 20____, PERSONALLY APPEARED BEFORE ME, _____ WHO DULY ACKNOWLEDGED TO ME THAT HE/SHE DID EXECUTE THE SAME IN THE CAPACITY INDICATED.
MY COMMISSION EXPIRES _____ NOTARY PUBLIC

ACCEPTANCE BY MIDWAY CITY

THE CITY COUNCIL OF MIDWAY CITY, WASATCH COUNTY, STATE OF UTAH, HEREBY APPROVES THIS SUBDIVISION AND ACCEPTS THE DEDICATION OF LOTS, EASEMENTS, STREETS AND PUBLIC RIGHTS-OF-WAY HEREON SHOWN.
THIS _____ DAY OF _____, A.D. 20____
APPROVED _____ ATTEST _____
MAYOR CLERK-RECORDER
APPROVED _____ APPROVED _____
CITY ENGINEER (SEE SEAL BELOW) CITY ATTORNEY

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____ BY THE
MIDWAY CITY PLANNING COMMISSION
PLANNING DIRECTOR CHAIRMAN, PLANNING COMMISSION

KAYS LANDING SUBDIVISION

MIDWAY CITY, WASATCH COUNTY, STATE OF UTAH
LOCATED IN THE NORTHEAST CORNER OF SECTION 10, TOWNSHIP 4 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN
SCALE: 1" = 50' FEET

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY ENGINEER SEAL	CLERK-RECORDER SEAL

SURVEYOR
TROY L. TAYLOR, PLS
ELEMENT LAND SURVEYING
2296 SOUTH 270 EAST
HEBER CITY, UT 84032
PHONE (801) 657-8748
DATE OF SURVEY: JUNE 2018

- LEGEND**
- ⊙ FOUND REBAR WITH CAP MARKED CIVIL SOLUTIONS
 - ⊙ SET REBAR CAP MARKED ELEMENT

DATE: _____
MIDWAY IRRIGATION COMPANY
DATE: _____
MIDWAY SANITATION DISTRICT

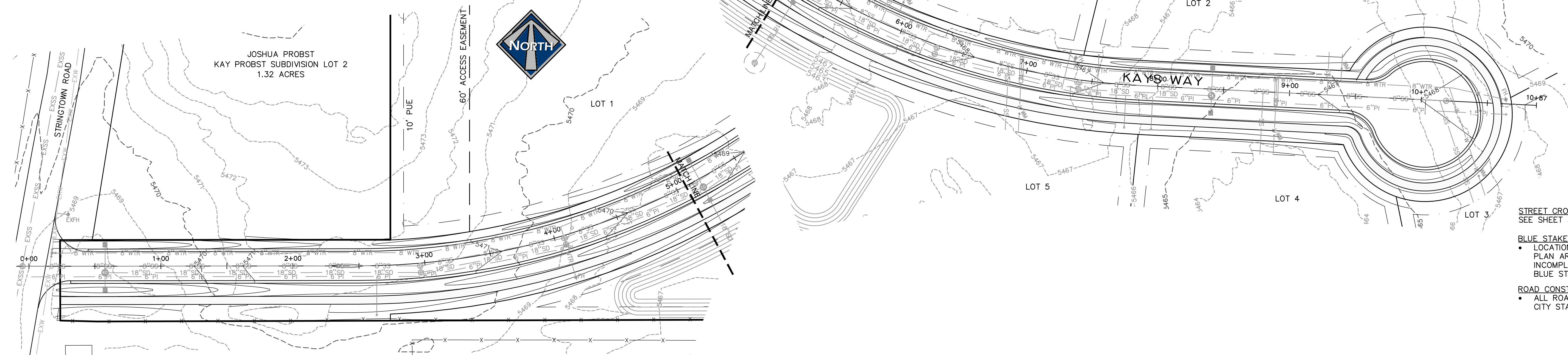
COUNTY RECORDER

COUNTY SURVEYOR

COUNTY SURVEYOR
APPROVED AS TO FORM ON THIS _____ DAY OF _____, 20____
ROS # _____

COUNTY SURVEYOR

- LEGEND**
- EXSS — EXISTING SEWER
 - 8"SS — PROPOSED 8" SEWER
 - EXB"W — EXISTING 8" WATER
 - 8"WTR — PROPOSED 8" WATER
 - EXP I — EXISTING PRESSURIZED IRRIGATION
 - PI — PROPOSED PRESSURIZED IRRIGATION
 - SD — PROPOSED STORM DRAIN



STREET CROSS SECTION
SEE SHEET 5: ROAD CONSTRUCTION DETAILS

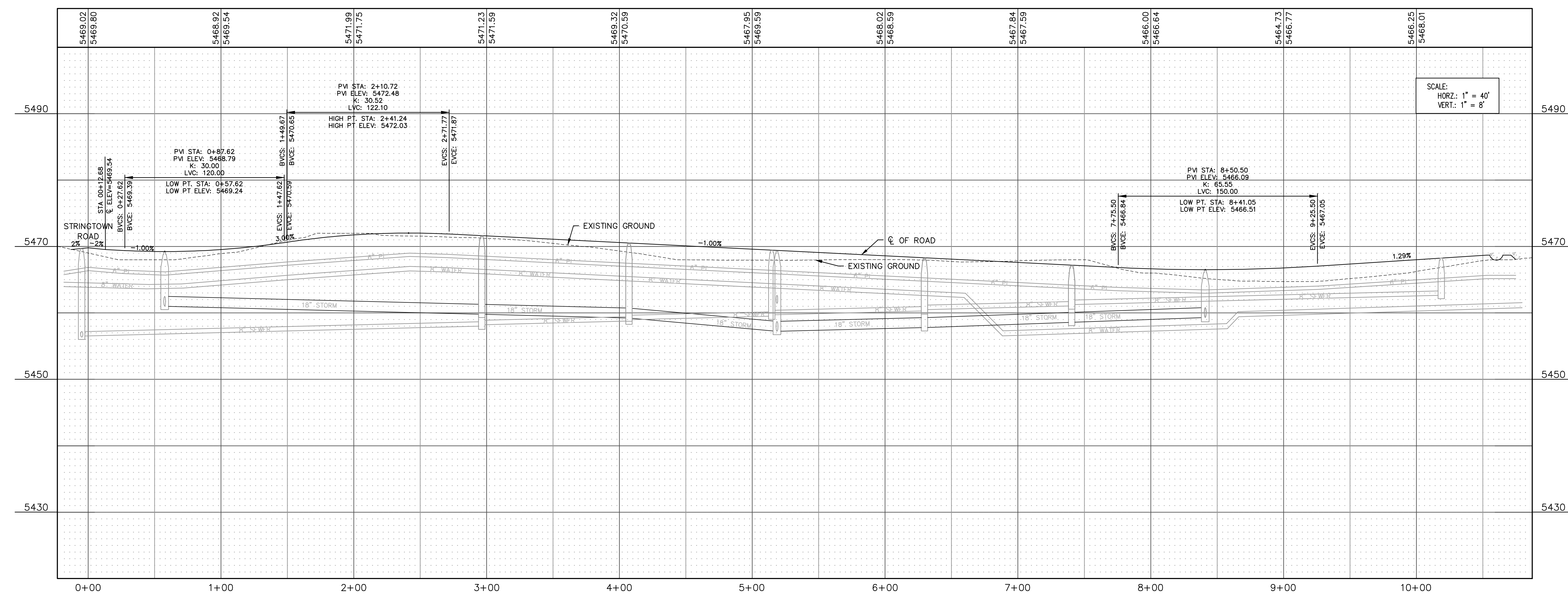
BLUE STAKE NOTE:

- LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.

ROAD CONSTRUCTION NOTE:

- ALL ROAD CONSTRUCTION SHALL MEET MIDWAY CITY STANDARDS AND SPECIFICATIONS.

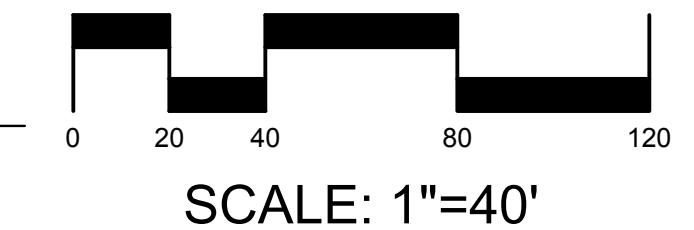
5466.25 EXISTING GROUND
5466.01 FINISHED GROUND



SCALE:
HORIZ: 1" = 40'
VERT: 1" = 8'

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PAUL D. BERG P.E.
SERIAL NO. 295595
DATE: 11 JAN 2023



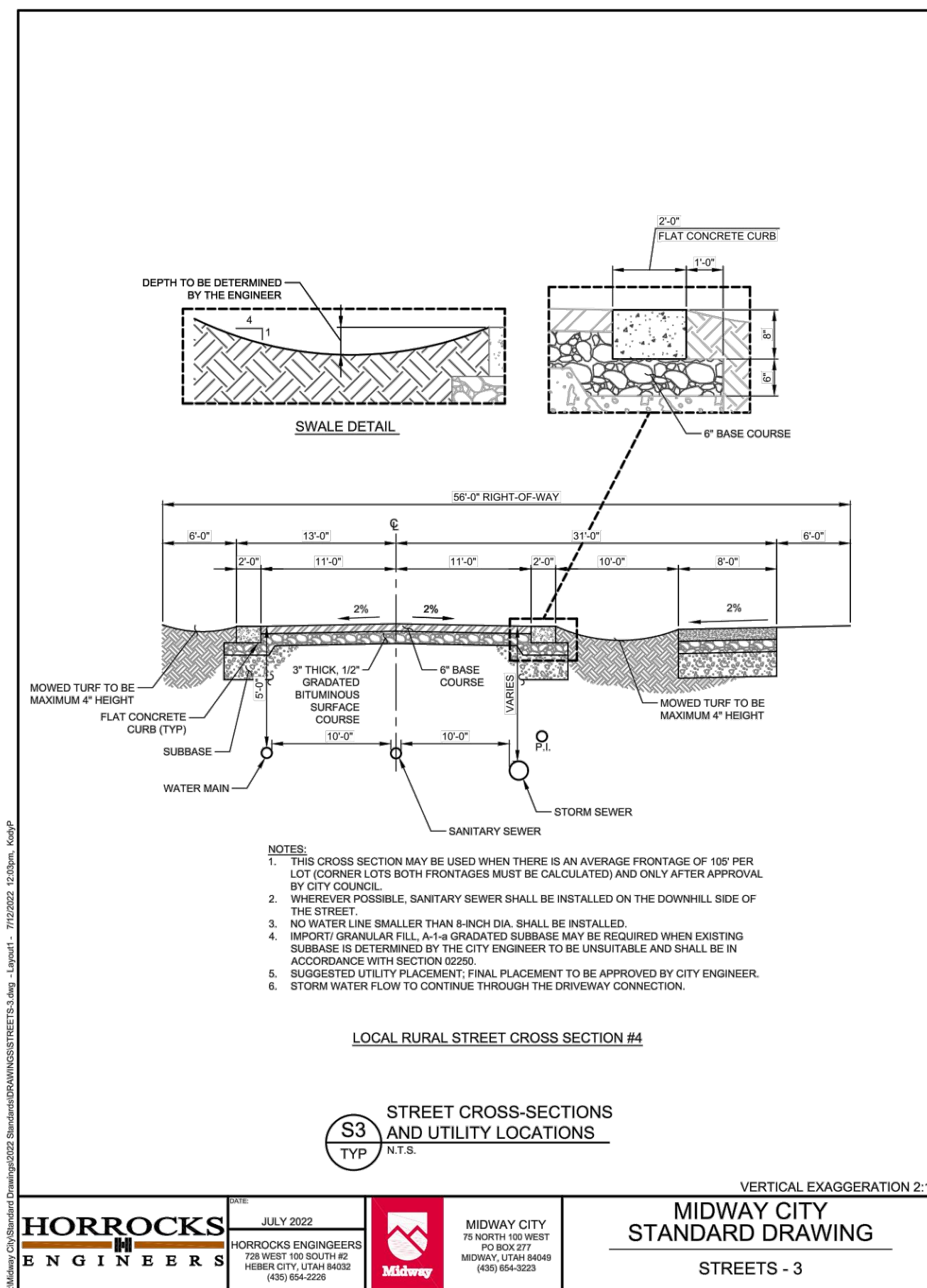
STILL WATER HOLDINGS LLC
KAYS LANDING

KAYS WAY
STA 0+00 - 10+68

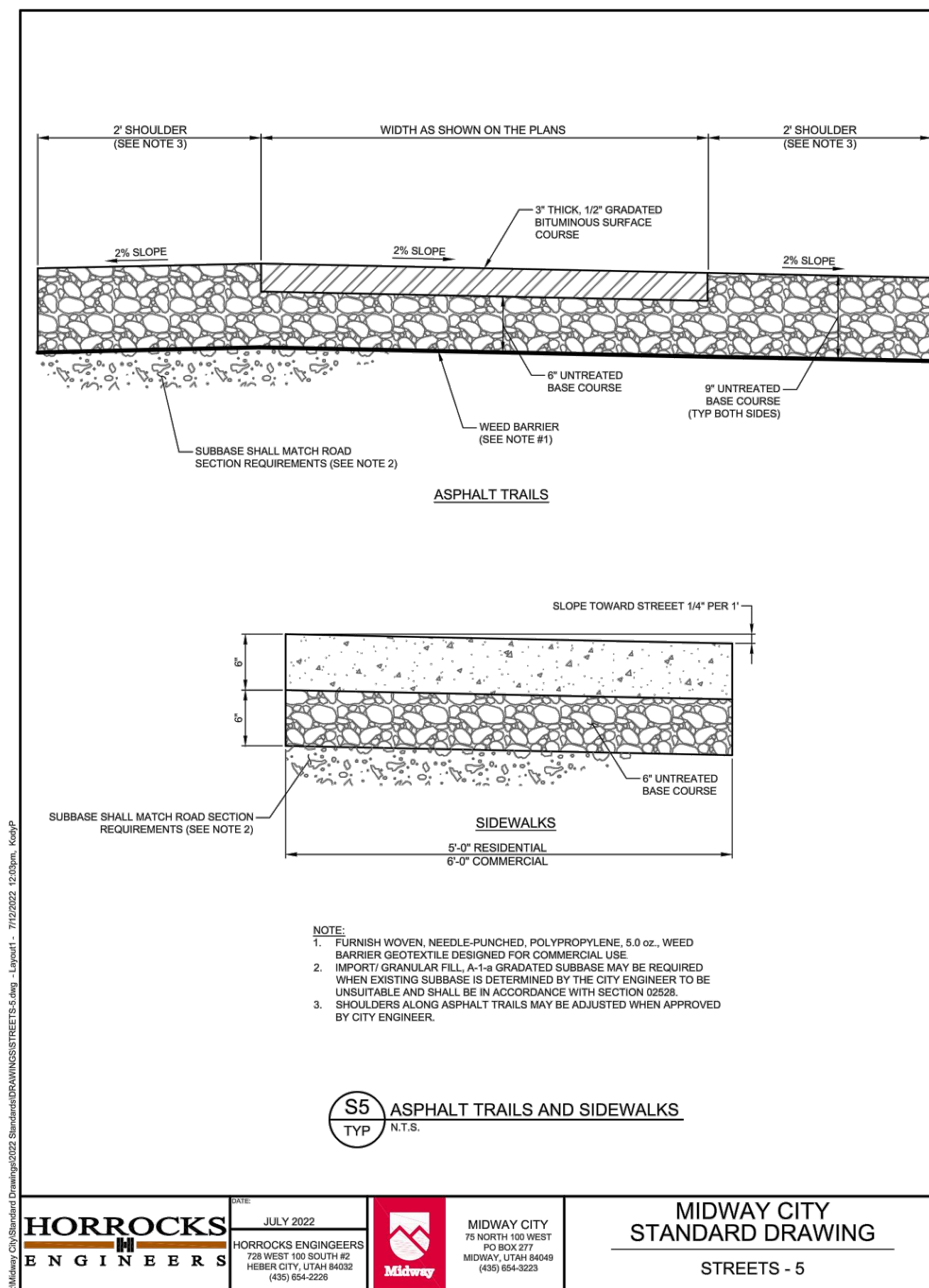
BERG ENGINEERING
380 E Main St. Suite 204
Midway, Ut 84049
ph 435.657.9749

DESIGN BY: PDB DATE: 11 JAN 2023
DRAWN BY: SW REV: SHEET 4

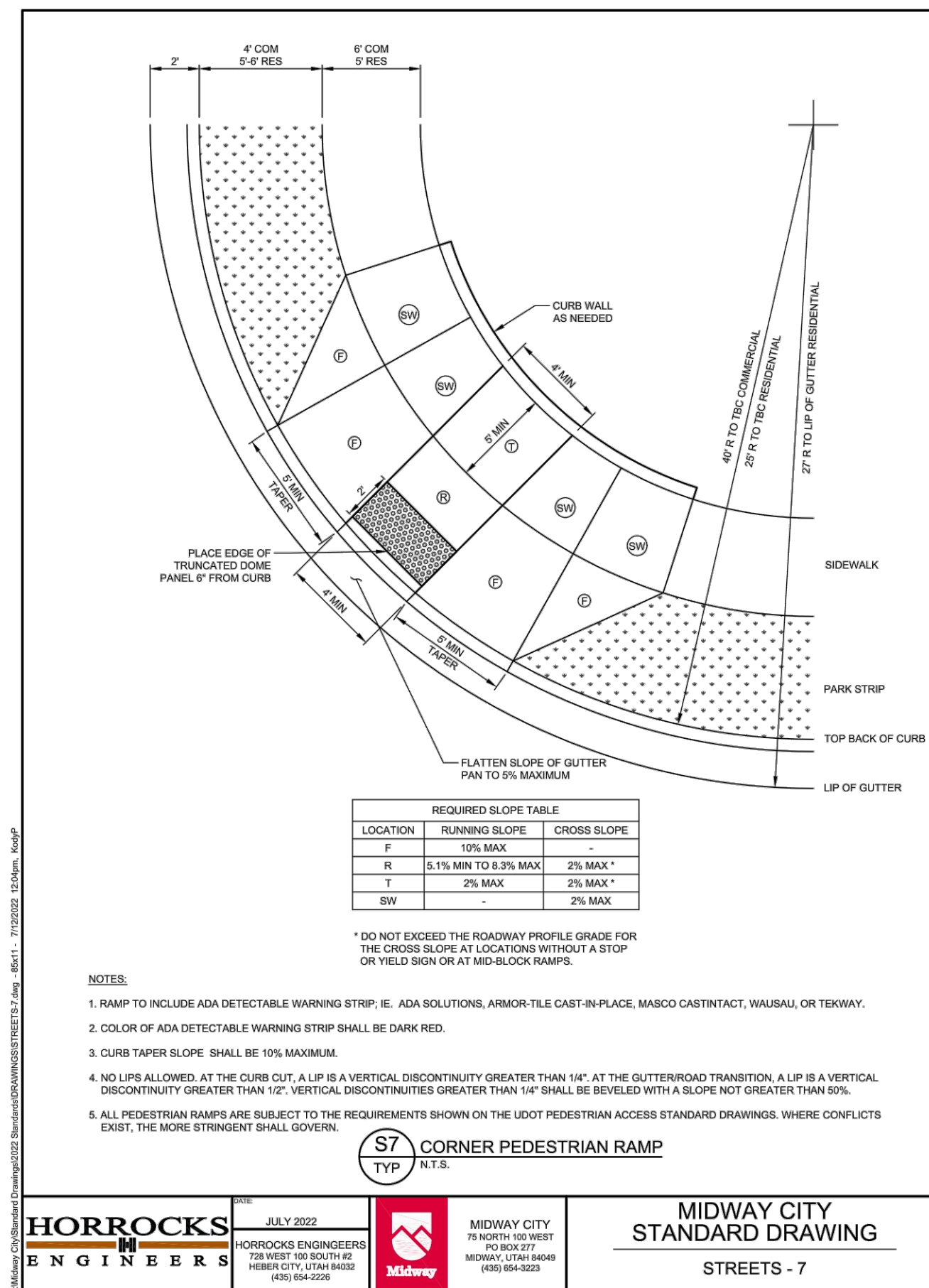
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 2023.01.11.2023 printed by: dber



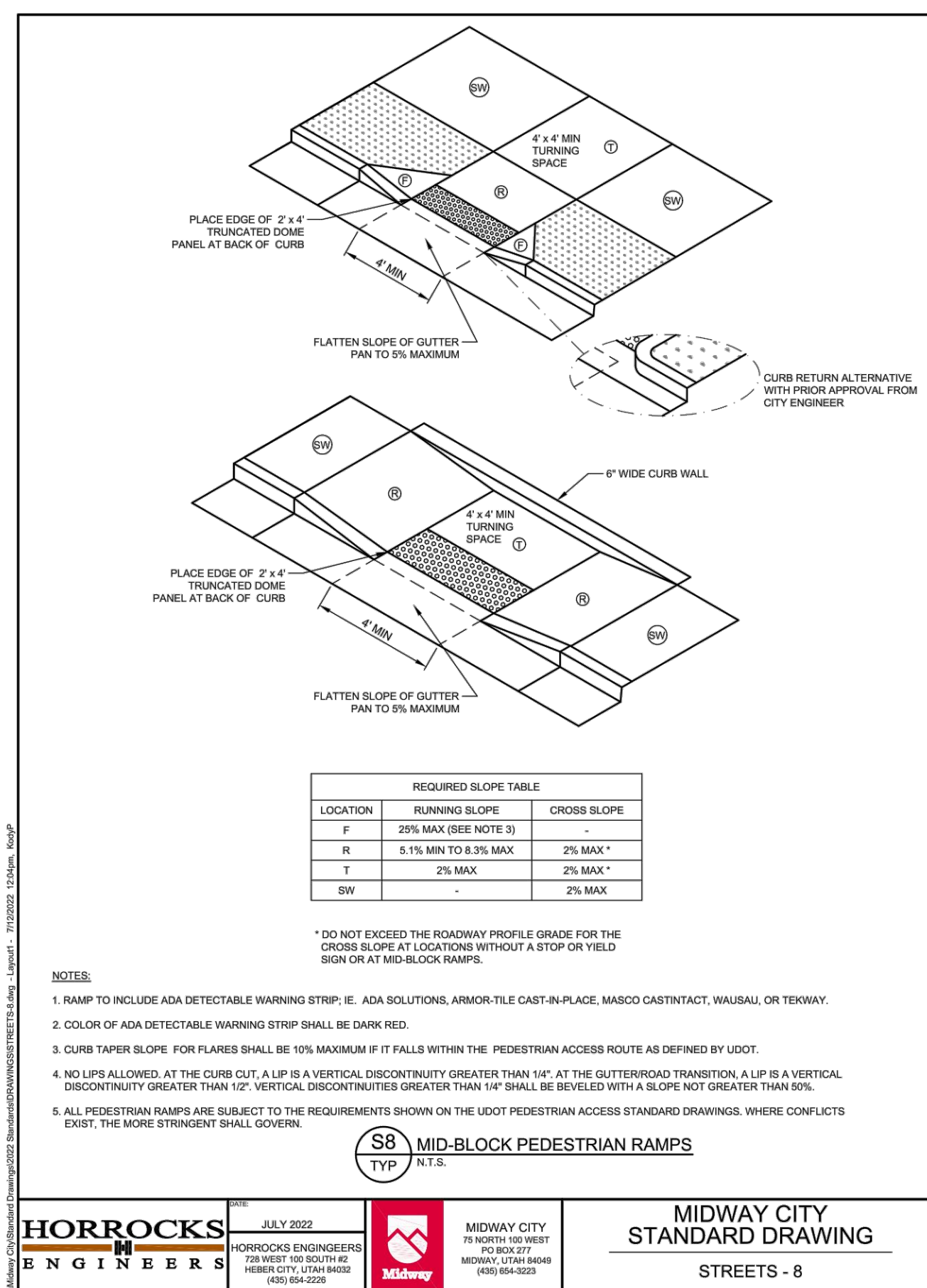
MIDWAY CITY STANDARD DRAWING
STREETS - 3
JULY 2022
HORROCKS ENGINEERS 728 WEST 80 SOUTH #2 HERBERT CITY, UT 84602 (801) 854-2228
MIDWAY CITY 719 NORTH 103 STREET MIDWAY, UT 84402 (801) 854-3233



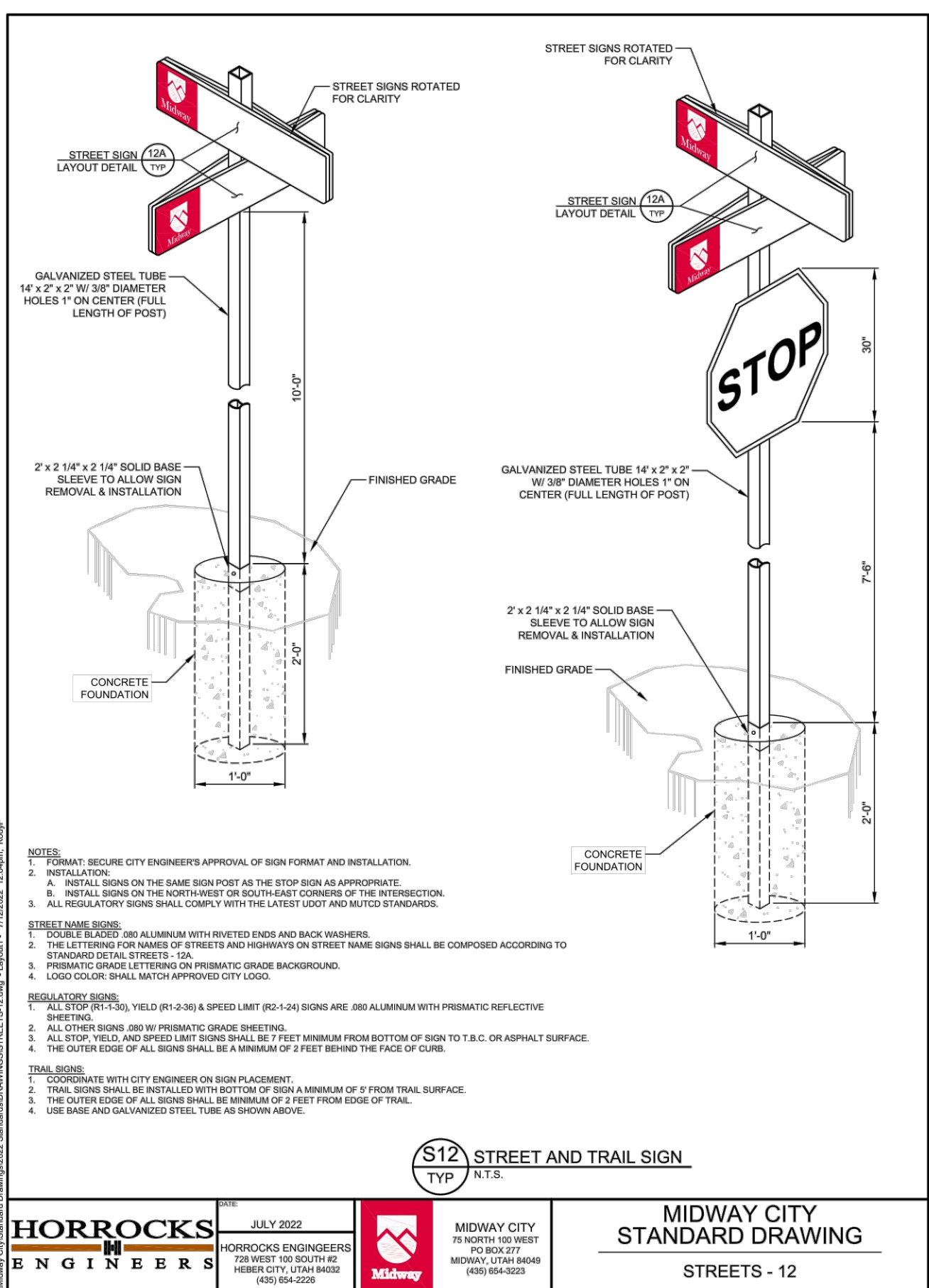
MIDWAY CITY STANDARD DRAWING
STREETS - 5
JULY 2022
HORROCKS ENGINEERS 728 WEST 80 SOUTH #2 HERBERT CITY, UT 84602 (801) 854-2228
MIDWAY CITY 719 NORTH 103 STREET MIDWAY, UT 84402 (801) 854-3233



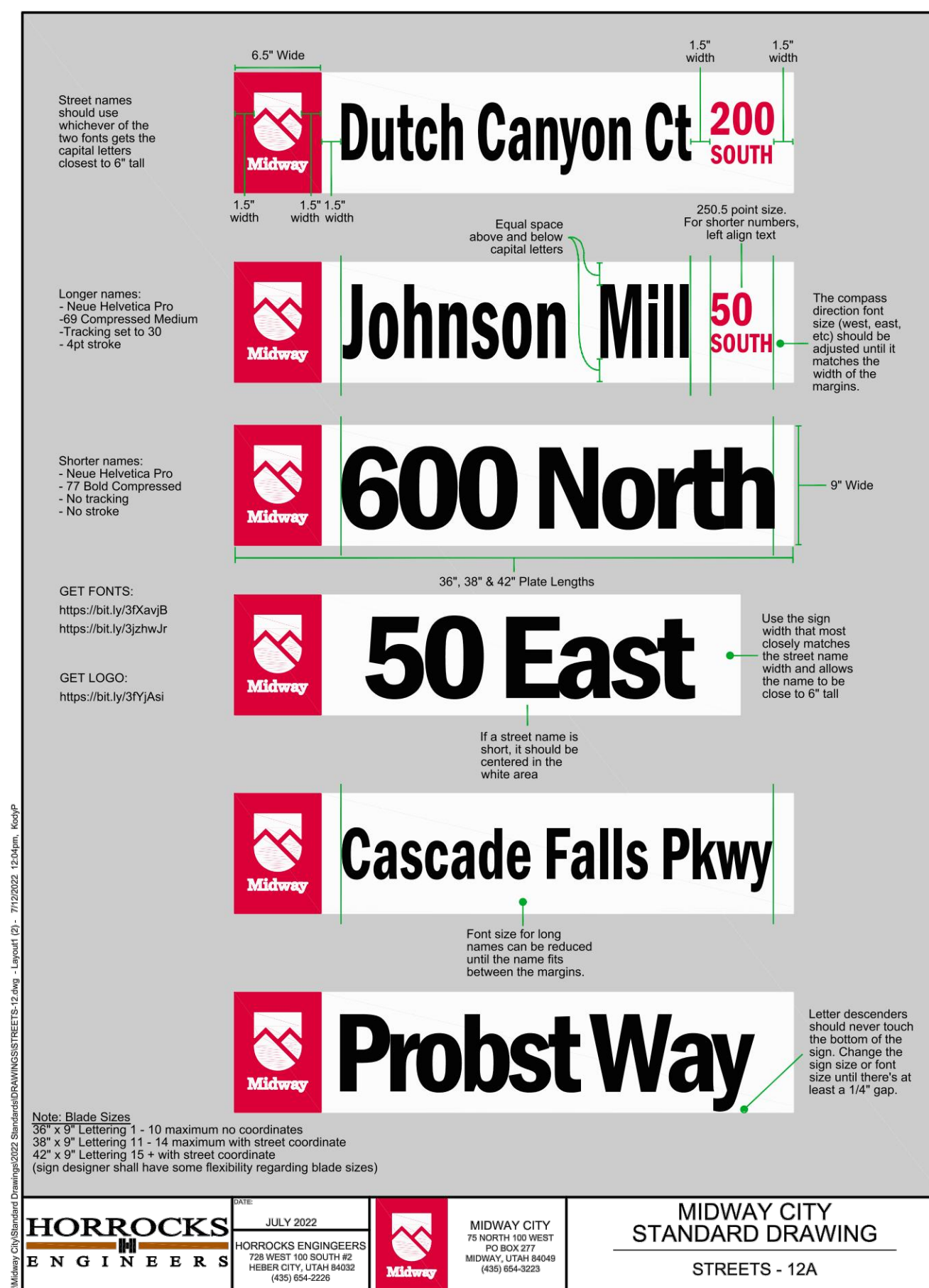
MIDWAY CITY STANDARD DRAWING
STREETS - 7
JULY 2022
HORROCKS ENGINEERS 728 WEST 80 SOUTH #2 HERBERT CITY, UT 84602 (801) 854-2228
MIDWAY CITY 719 NORTH 103 STREET MIDWAY, UT 84402 (801) 854-3233



MIDWAY CITY STANDARD DRAWING
STREETS - 8
JULY 2022
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MIDWAY CITY 719 NORTH 103 STREET MIDWAY, UT 84402 (801) 854-3233



MIDWAY CITY STANDARD DRAWING
STREETS - 12
JULY 2022
HORROCKS ENGINEERS 728 WEST 80 SOUTH #2 HERBERT CITY, UT 84602 (801) 854-2228
MIDWAY CITY 719 NORTH 103 STREET MIDWAY, UT 84402 (801) 854-3233



MIDWAY CITY STANDARD DRAWING
STREETS - 12A
JULY 2022
HORROCKS ENGINEERS 728 WEST 80 SOUTH #2 HERBERT CITY, UT 84602 (801) 854-2228
MIDWAY CITY 719 NORTH 103 STREET MIDWAY, UT 84402 (801) 854-3233

STILL WATER HOLDINGS LLC
KAYS LANDING

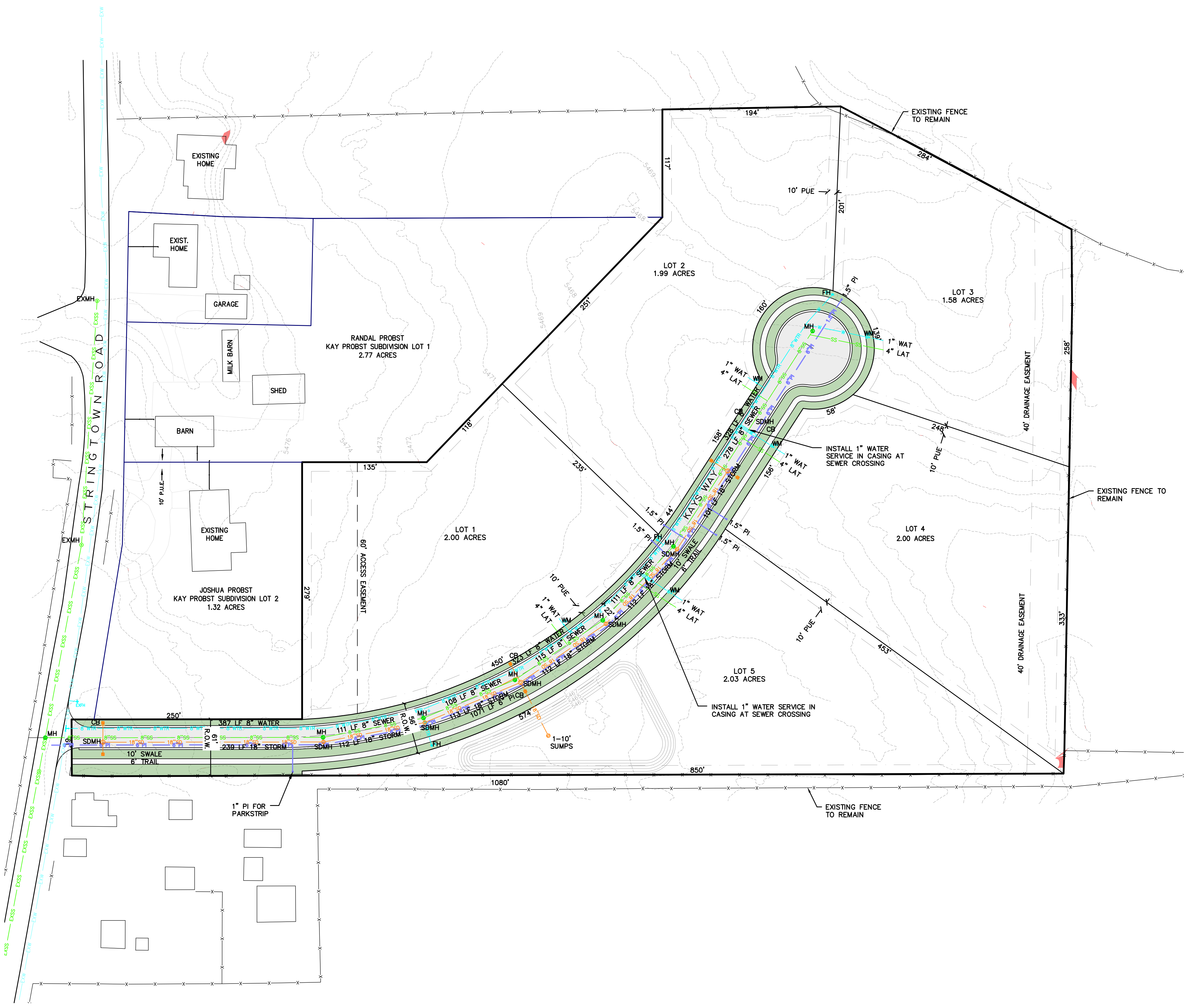
ROAD CONSTRUCTION
DETAILS

BERG ENGINEERING
380 E Main St. Suite 204
Midway, UT 84049
ph 435.657.9749

DESIGN BY: PDB
DRAWN BY: PDB

DATE: 11 JAN 2023
REV:

SHEET
5



- LEGEND**
- NON-BUILDABLE AREA (25%+ SLOPES)
 - EXSS EXISTING SEWER
 - EXW EXISTING WATER
 - SS PROPOSED SEWER
 - W PROPOSED WATER
 - 18" SD PROPOSED STORM
 - PI PROPOSED PRESSURIZED IRRIGATION
 - FH FIRE HYDRANT
 - WM WATER METER

STORM DRAIN SYSTEM NOTE:

- ALL STORM DRAIN CONSTRUCTION TO MEET MIDWAY CITY STANDARDS AS ADOPTED IN 2022 EDITION.

PRESSURIZED IRRIGATION NOTES:

- ALL PRESSURIZED IRRIGATION IMPROVEMENTS SHALL MEET MIDWAY IRRIGATION COMPANY STANDARDS AND SPECIFICATIONS.
- ALL PRESSURIZED IRRIGATION MAIN SHALL BE AWWA C900 DR18 PURPLE PIPE.

SEWER NOTES:

- ALL SEWER LATERALS ARE 4".
- ALL SEWER IMPROVEMENTS SHALL MEET MIDWAY SANITATION DISTRICT STANDARDS AND SPECIFICATIONS.

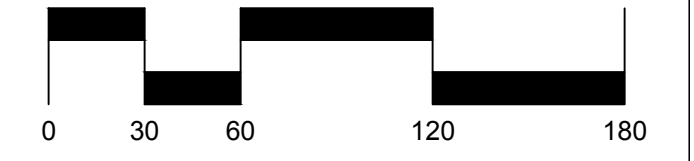
CULINARY WATER NOTES:

- ALL CULINARY WATER IMPROVEMENTS SHALL MEET MIDWAY CITY STANDARDS AND SPECIFICATIONS.
- ALL CULINARY WATER MAIN SHALL BE AWWA C900 DR18 BLUE PIPE.

POWER, GAS AND PHONE NOTE:

- OWNER AND CONTRACTOR ARE RESPONSIBLE TO OBTAIN THE FINAL DESIGN FOR POWER, GAS AND PHONE UTILITIES FROM THE UTILITY COMPANIES.
- CONTRACTOR IS RESPONSIBLE TO DETERMINE THE POT ROCK TRENCHING NEEDED FOR EACH UTILITY COMPANY TO INSTALL THEIR LINES.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE POWER, GAS AND PHONE UTILITY TRENCHES TO EACH LOT. ONLY LOCATIONS FOR WATER, SEWER AND IRRIGATION ARE SHOWN ON THIS PLAN.

EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE LOCATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR BLUE STAKING OF ALL ONSITE UTILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF DIFFERENCES BETWEEN BLUE STAKED LOCATIONS AND THOSE SHOWN ON THIS PLAN.



SCALE: 1"=60'

STILL WATER HOLDINGS LLC
KAYS LANDING

UTILITY PLAN

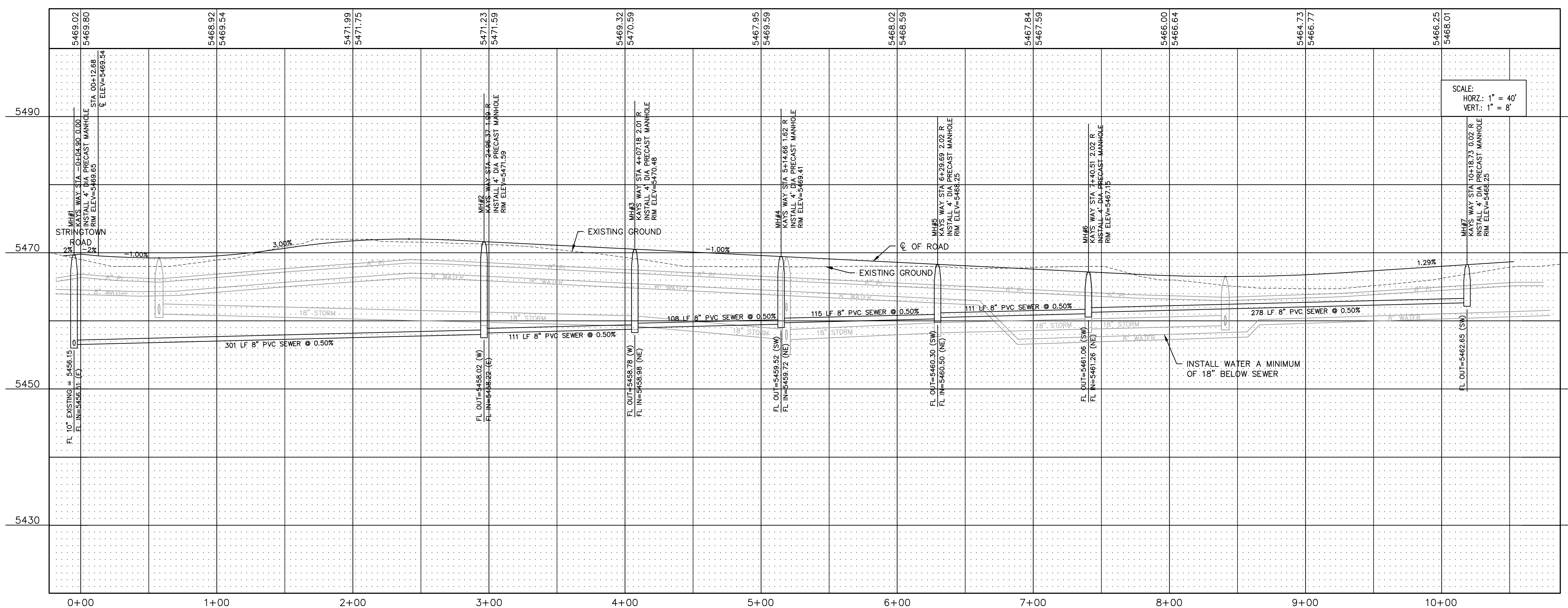
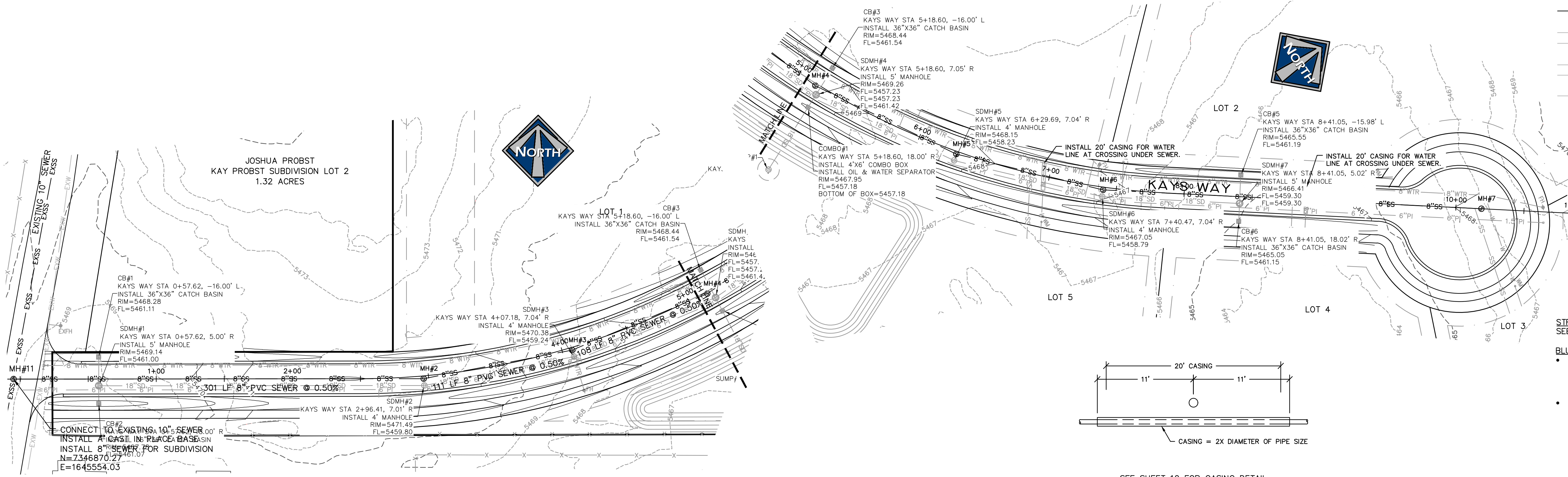


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PAUL D. BERG P.E.
SERIAL NO. 295595
DATE: 11 JAN 2022

DESIGN BY: PDB DATE: 11 JAN 2023 SHEET
DRAWN BY: SW REV: 6

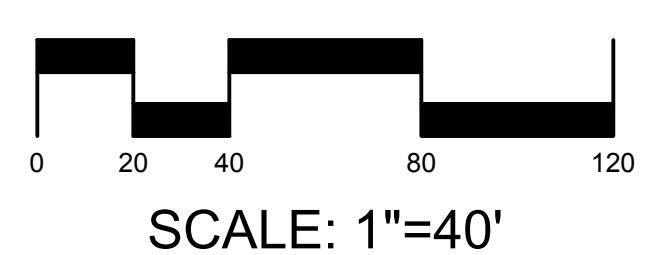
- LEGEND**
- EXSS — EXISTING SEWER
 - 8"SS — PROPOSED 8" SEWER
 - EXB"W — EXISTING 8" WATER
 - 8"WTR — PROPOSED 8" WATER
 - EXPi — EXISTING PRESSURIZED IRRIGATION
 - Pi — PROPOSED PRESSURIZED IRRIGATION
 - SD — PROPOSED STORM DRAIN



5466.25 EXISTING GROUND
5466.01 FINISHED GROUND

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PAUL D. BERG P.E.
SERIAL NO. 295595
DATE: 11 JAN 2022

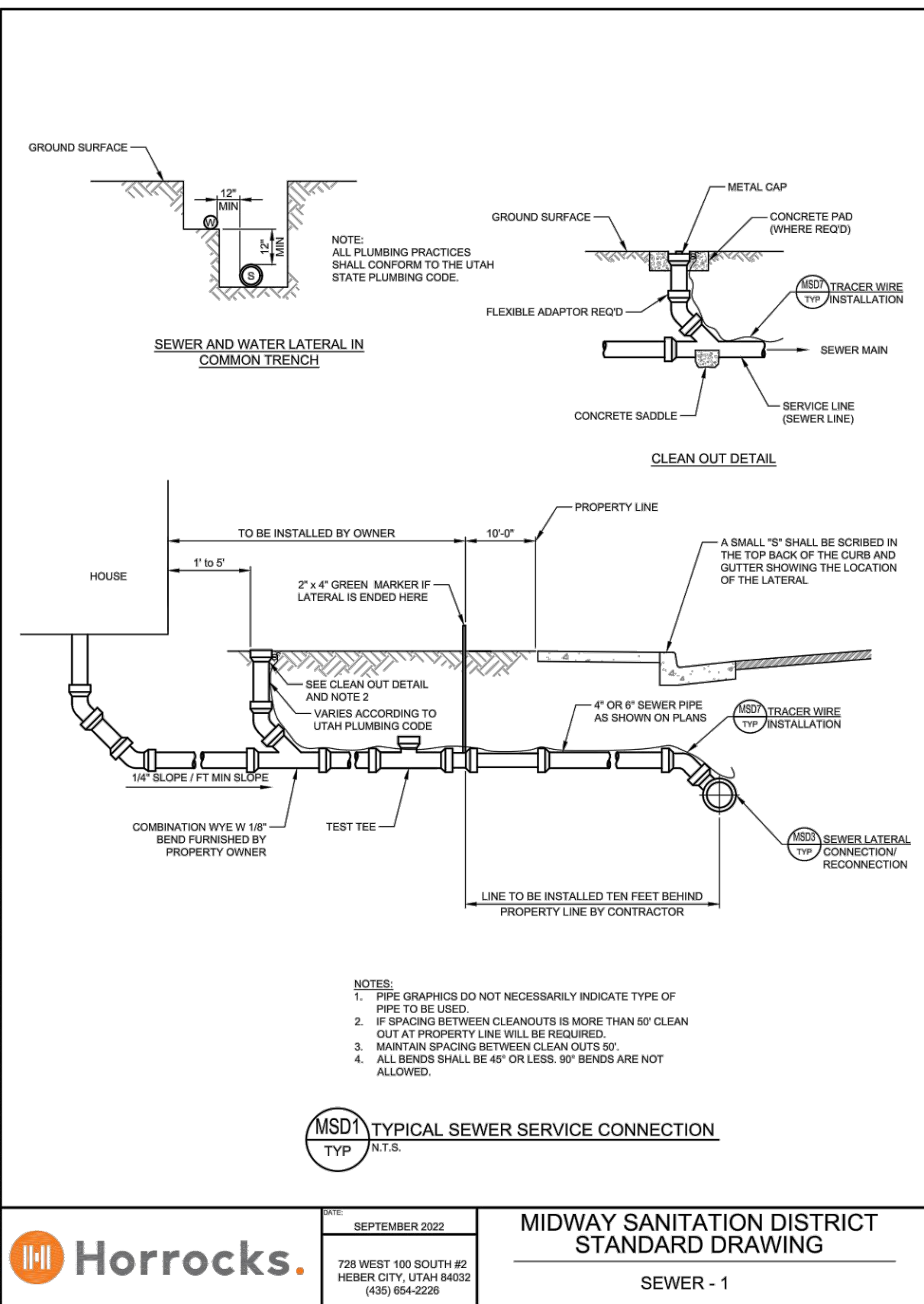


STILL WATER HOLDINGS LLC
KAYS LANDING

SEWER PLAN AND PROFILE

BERG ENGINEERING
380 E Main St. Suite 204
Midway, Ut 84049
ph 435.657.9749

path: \\mwh\p\... date: January 11, 2023 | plotted by: STACY



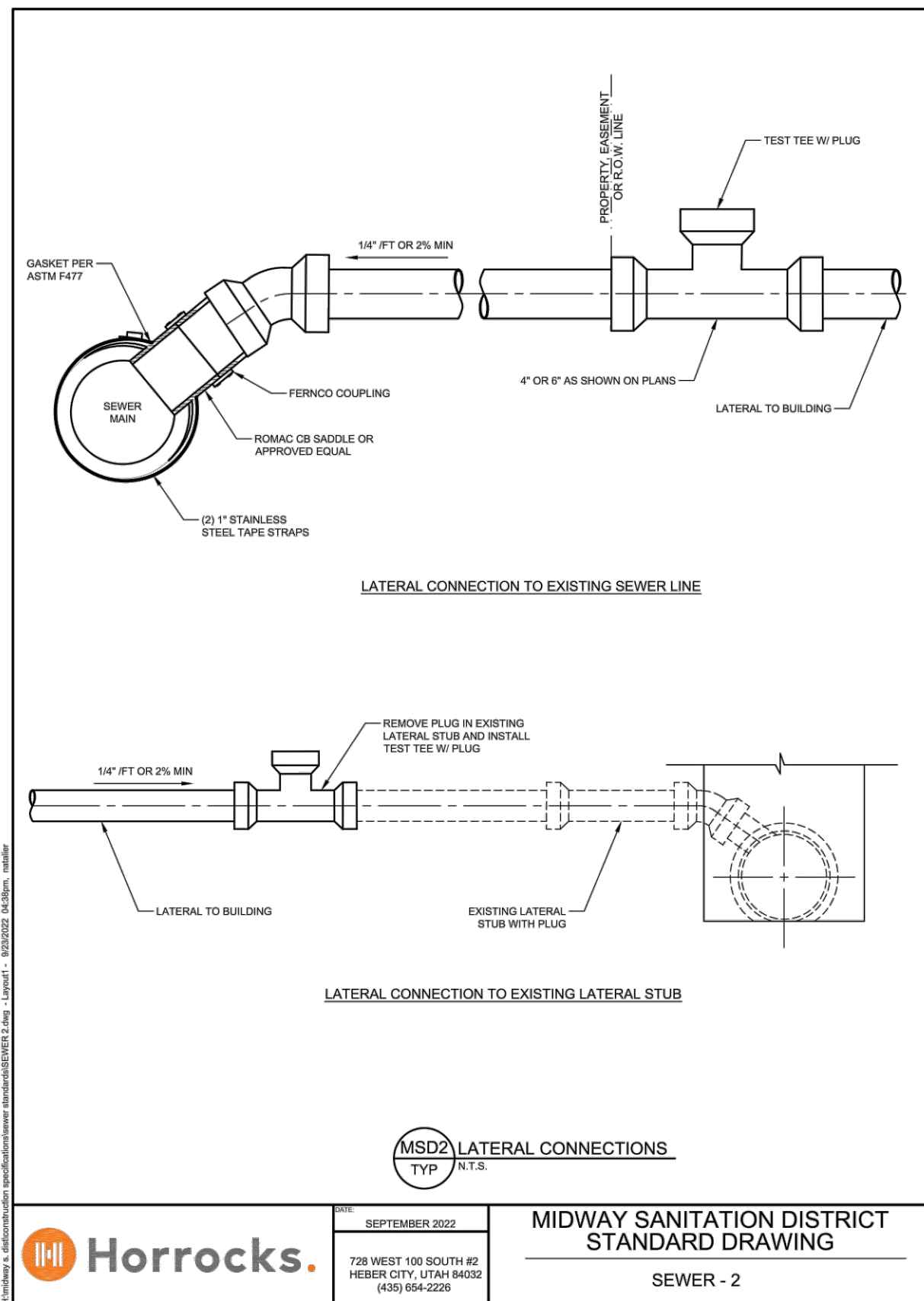
Horrocks.

SEPTEMBER 2022

MIDWAY SANITATION DISTRICT STANDARD DRAWING

SEWER - 1

728 WEST 100 SOUTH #2
HEBER CITY, UTAH 84002
(435) 854-2228



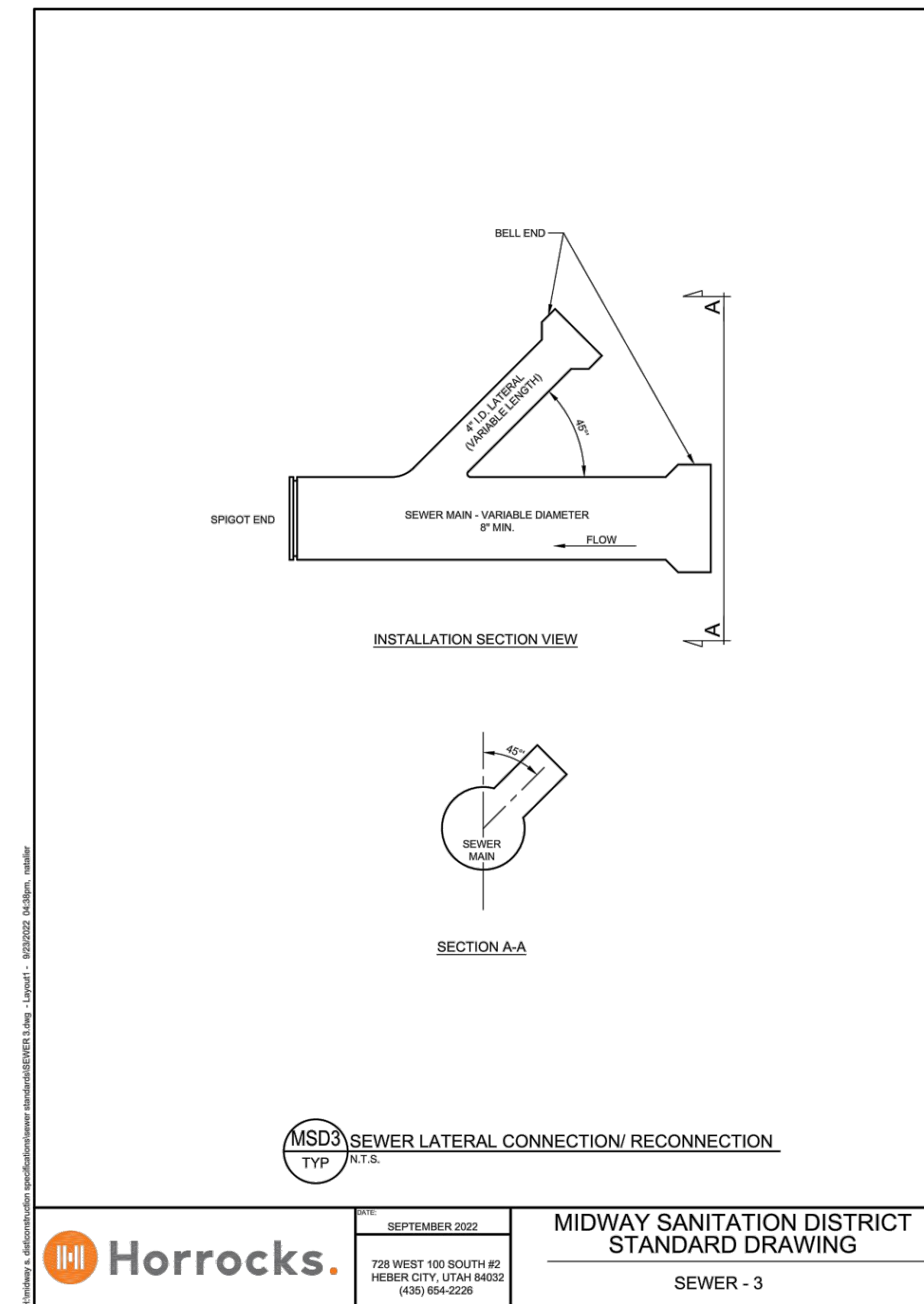
Horrocks.

SEPTEMBER 2022

MIDWAY SANITATION DISTRICT STANDARD DRAWING

SEWER - 2

728 WEST 100 SOUTH #2
HEBER CITY, UTAH 84002
(435) 854-2228



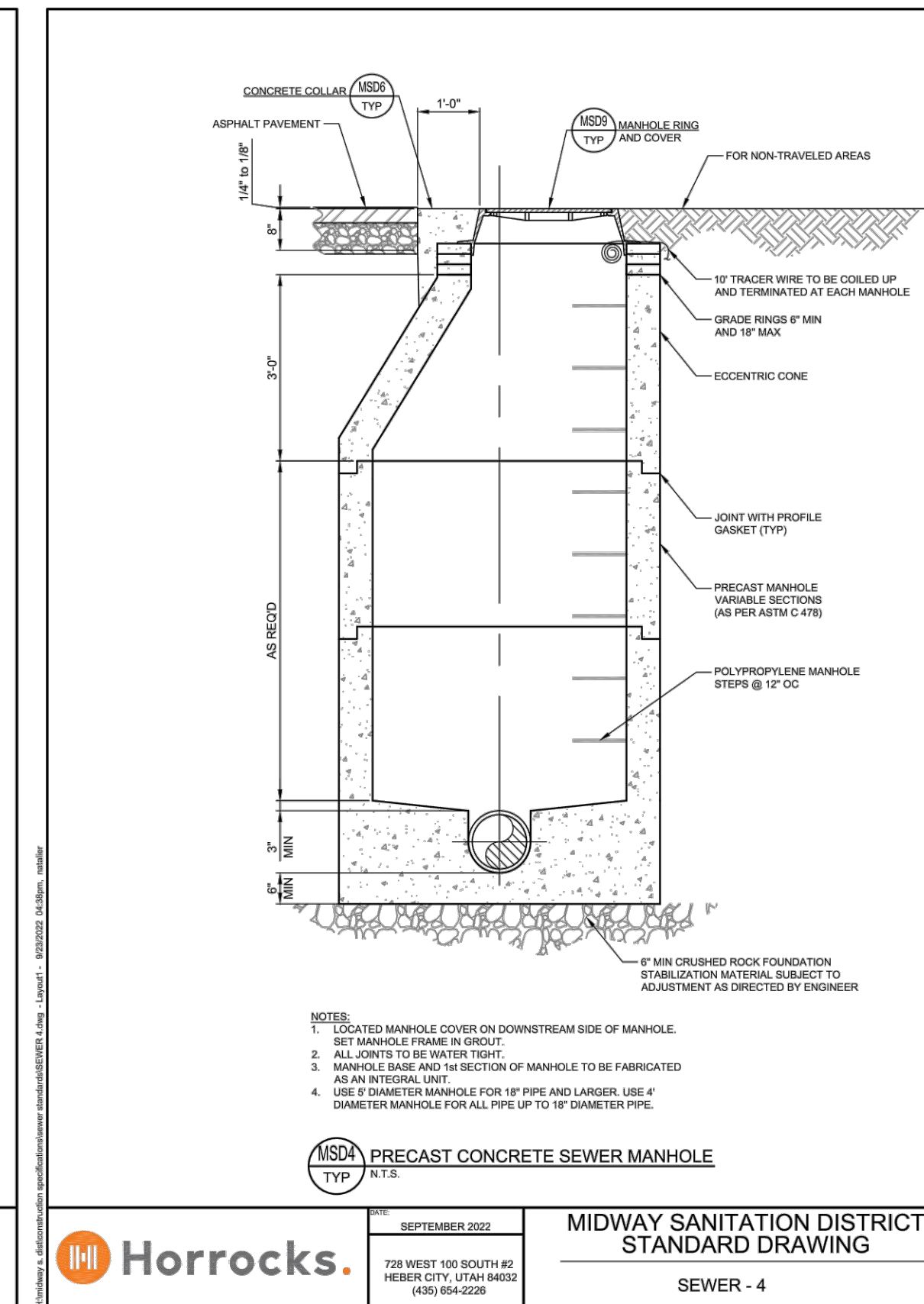
Horrocks.

SEPTEMBER 2022

MIDWAY SANITATION DISTRICT STANDARD DRAWING

SEWER - 3

728 WEST 100 SOUTH #2
HEBER CITY, UTAH 84002
(435) 854-2228



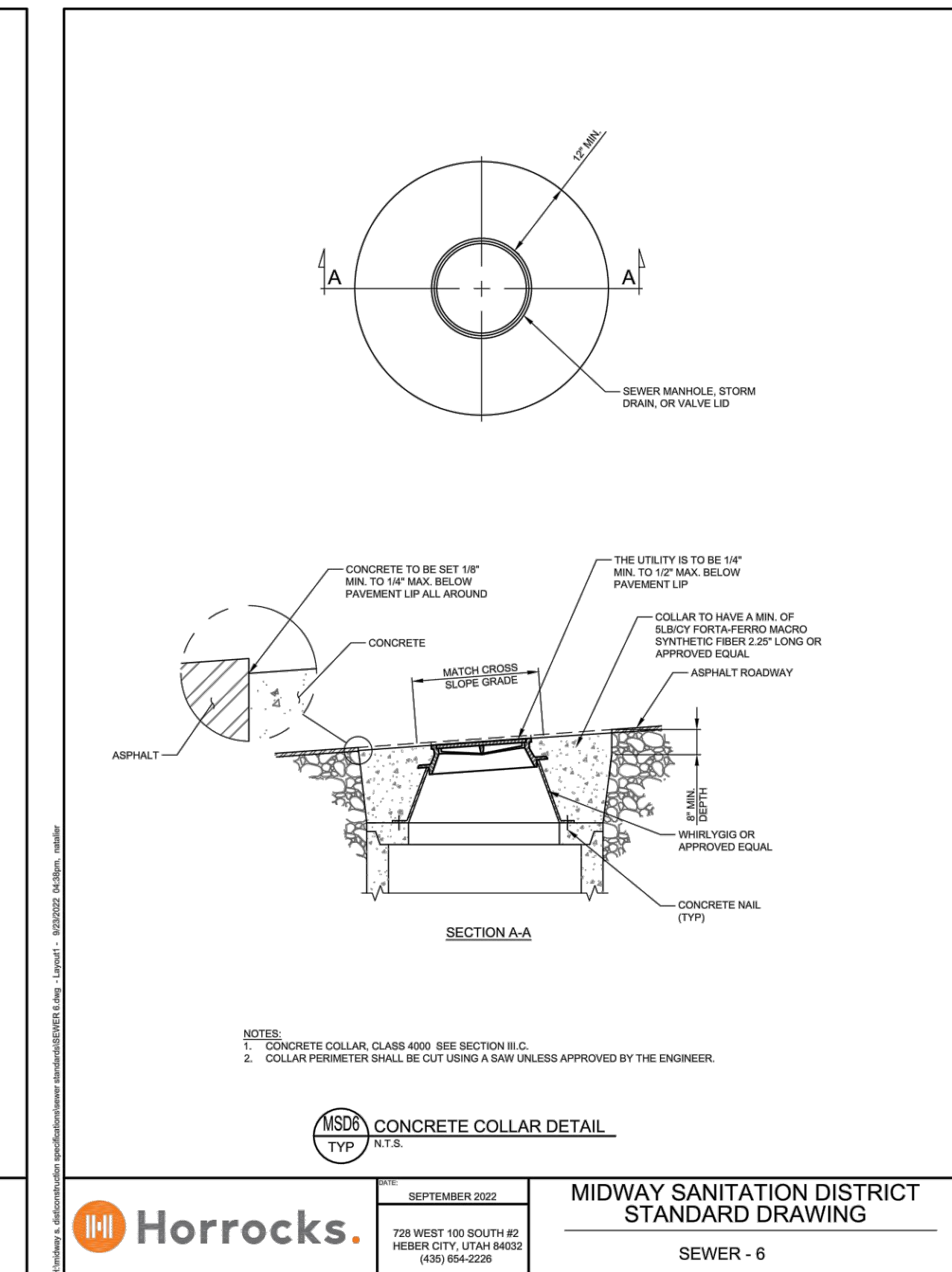
Horrocks.

SEPTEMBER 2022

MIDWAY SANITATION DISTRICT STANDARD DRAWING

SEWER - 4

728 WEST 100 SOUTH #2
HEBER CITY, UTAH 84002
(435) 854-2228



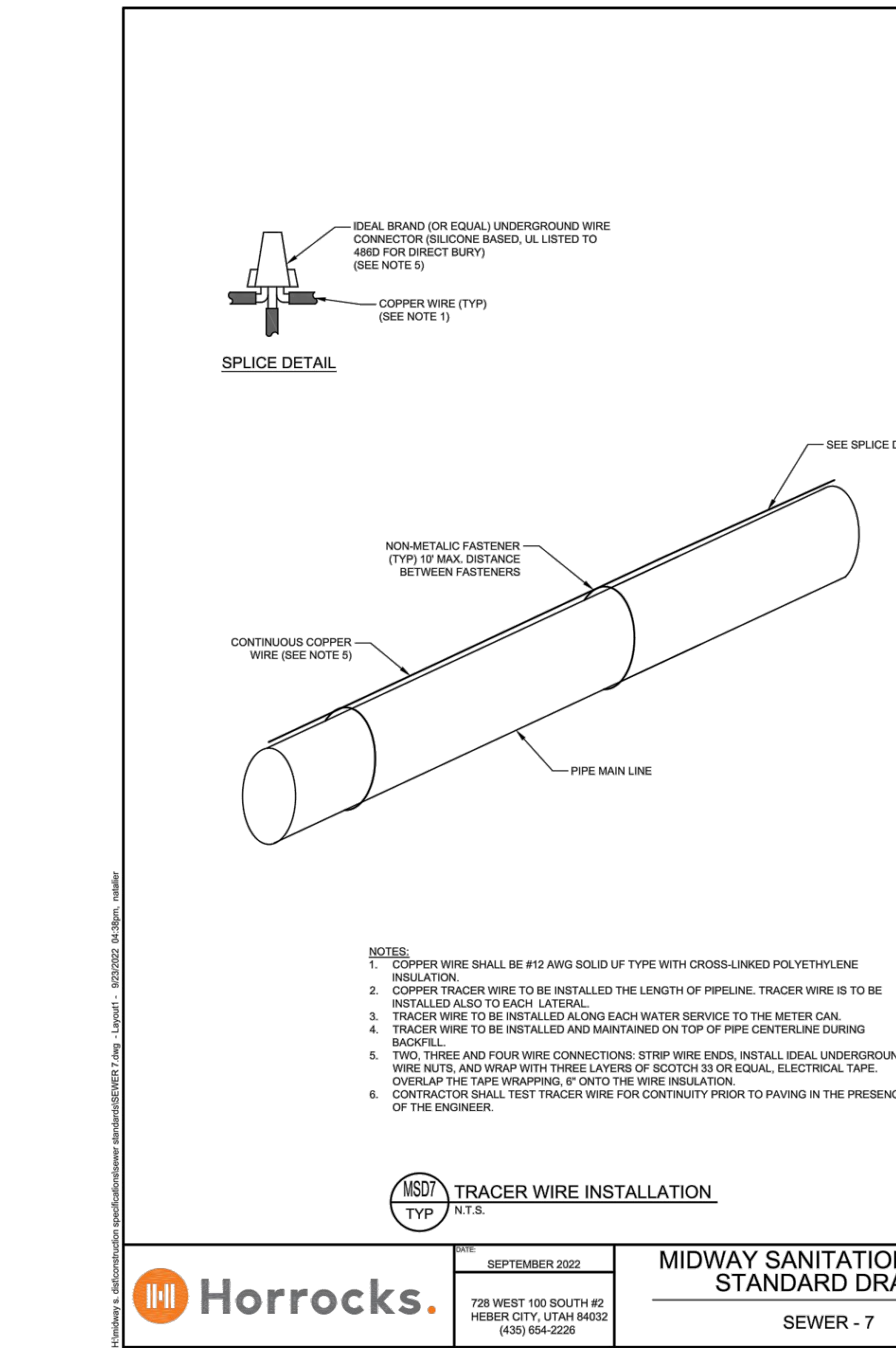
Horrocks.

SEPTEMBER 2022

MIDWAY SANITATION DISTRICT STANDARD DRAWING

SEWER - 6

728 WEST 100 SOUTH #2
HEBER CITY, UTAH 84002
(435) 854-2228



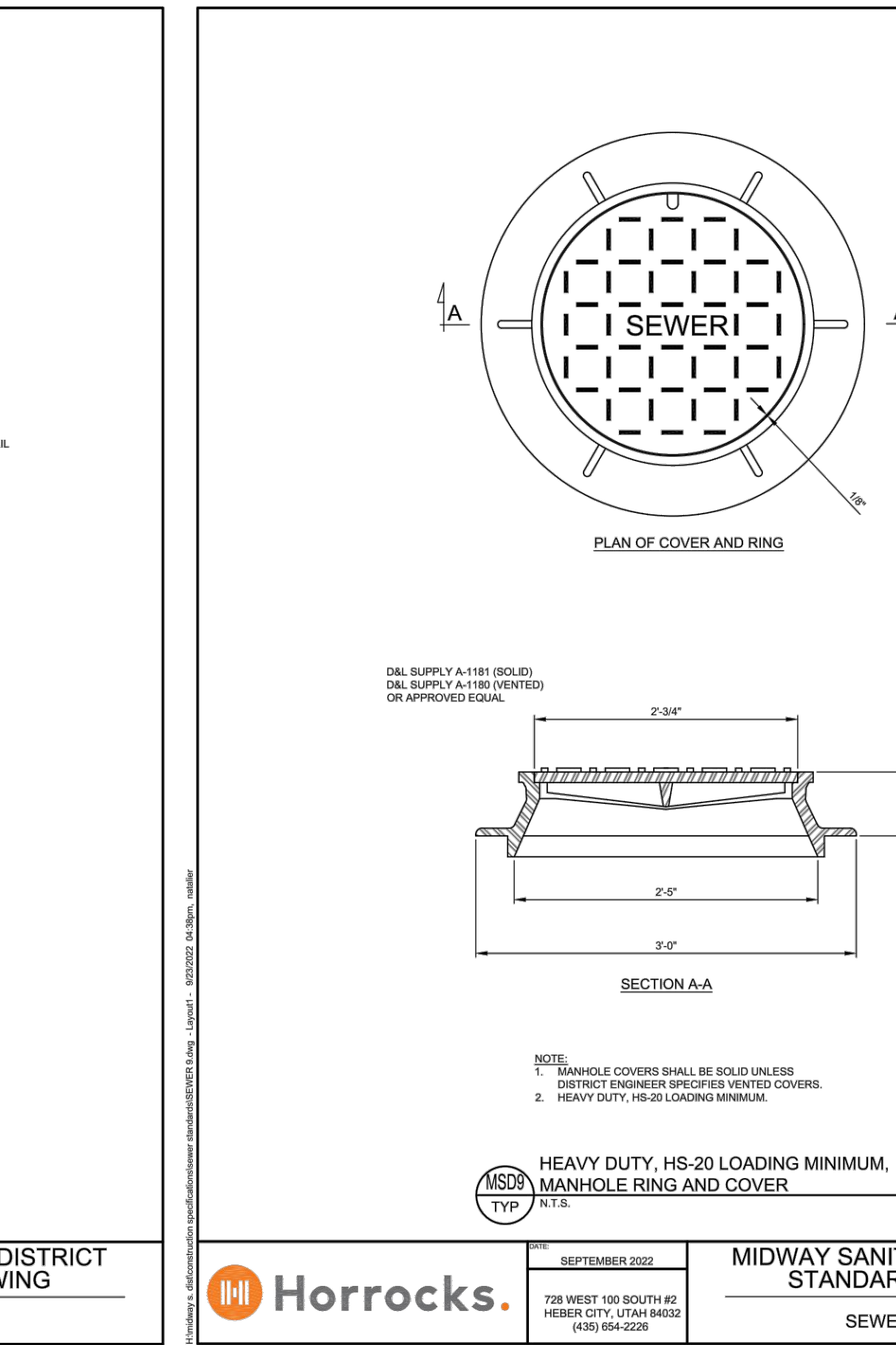
Horrocks.

SEPTEMBER 2022

MIDWAY SANITATION DISTRICT STANDARD DRAWING

SEWER - 7

728 WEST 100 SOUTH #2
HEBER CITY, UTAH 84002
(435) 854-2228



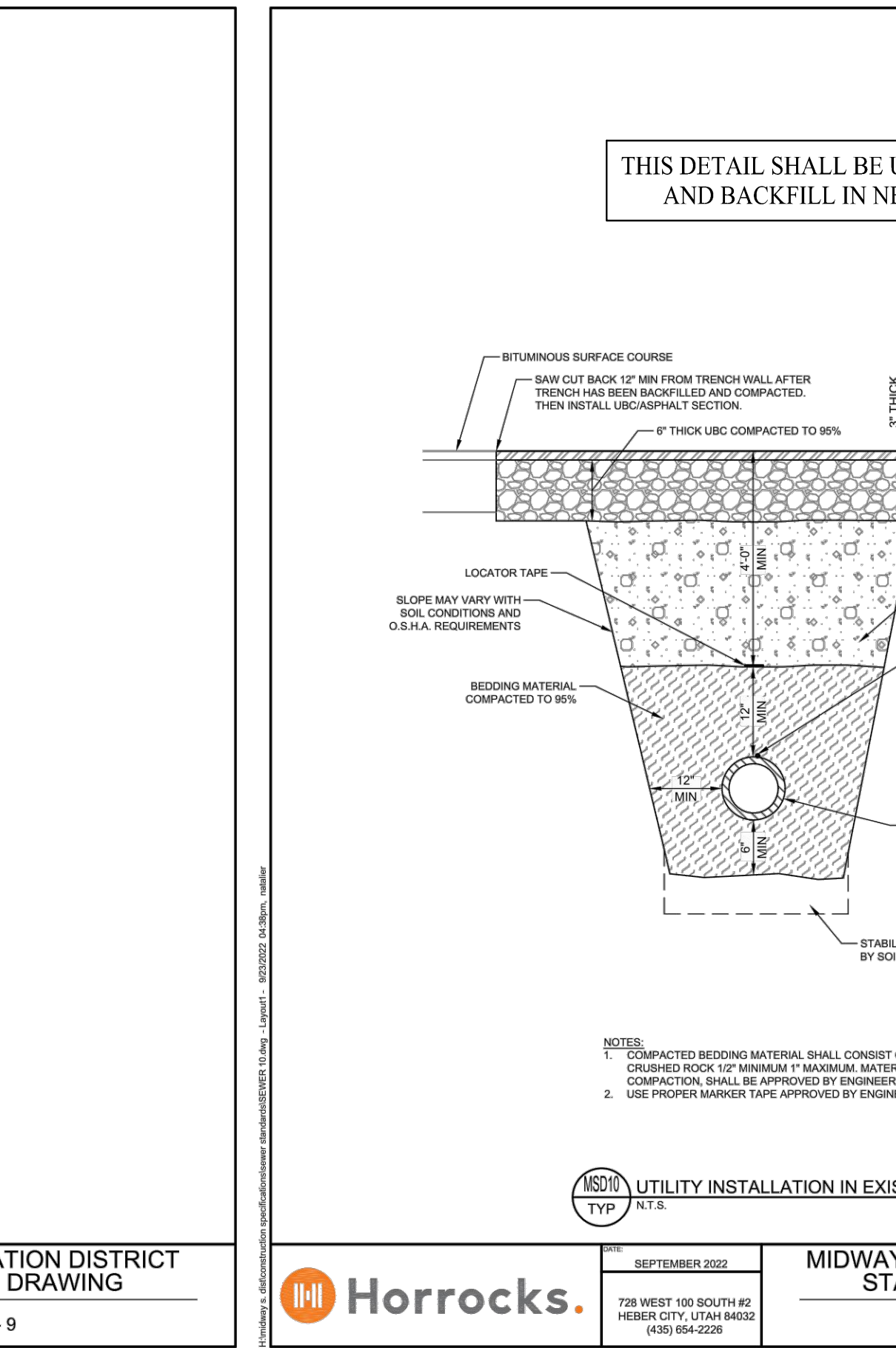
Horrocks.

SEPTEMBER 2022

MIDWAY SANITATION DISTRICT STANDARD DRAWING

SEWER - 9

728 WEST 100 SOUTH #2
HEBER CITY, UTAH 84002
(435) 854-2228



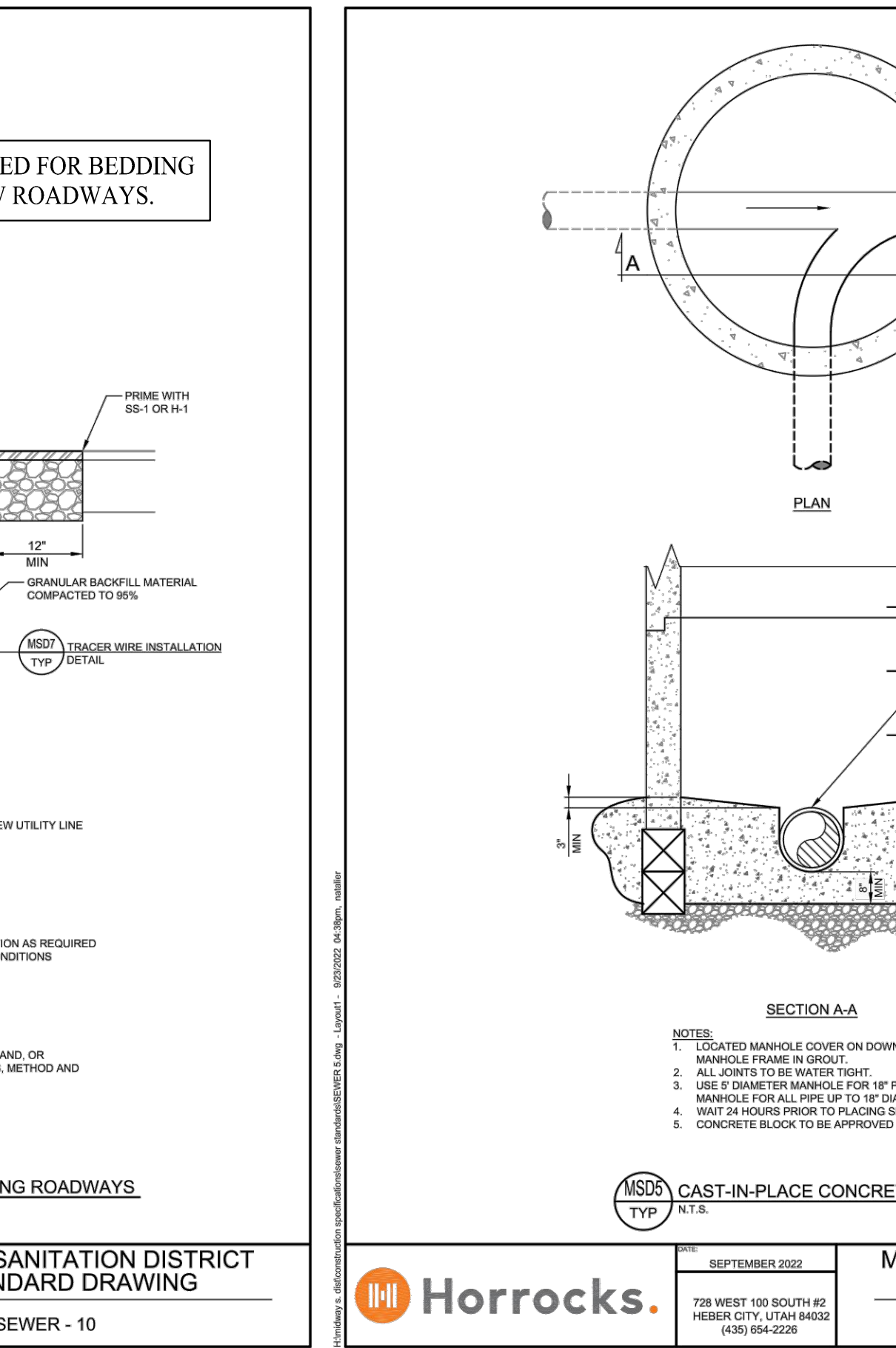
Horrocks.

SEPTEMBER 2022

MIDWAY SANITATION DISTRICT STANDARD DRAWING

SEWER - 10

728 WEST 100 SOUTH #2
HEBER CITY, UTAH 84002
(435) 854-2228



Horrocks.

SEPTEMBER 2022

MIDWAY SANITATION DISTRICT STANDARD DRAWING

SEWER - 5

728 WEST 100 SOUTH #2
HEBER CITY, UTAH 84002
(435) 854-2228

STILL WATER HOLDINGS
KAYS LANDING

SEWER
CONSTRUCTION DETAILS

BERG ENGINEERING
380 E Main St. Suite 204
Midway, UT 84049
ph 435.657.9749

DESIGN BY: DEJ
DRAWN BY: DEJ

DATE: 11 JAN 2023
REV:

SHEET
8



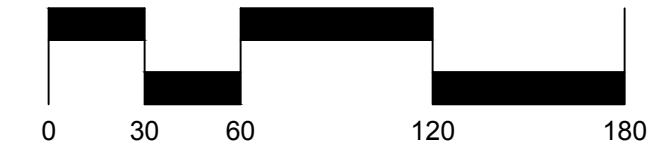
- LEGEND**
- NON-BUILDABLE AREA (25%+ SLOPES)
 - EXSS EXISTING SEWER
 - EXW EXISTING WATER
 - SS PROPOSED SEWER
 - W PROPOSED WATER
 - 18" SD PROPOSED STORM
 - PI PROPOSED PRESSURIZED IRRIGATION
 - FH FIRE HYDRANT
 - WM WATER METER

- PRESSURIZED IRRIGATION NOTES:**
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INSTALL 8"x8" TEE
INSTALL 3"-8" GATE VALVES
N=7346880.30
E=1645576.21



SCALE: 1"=60'

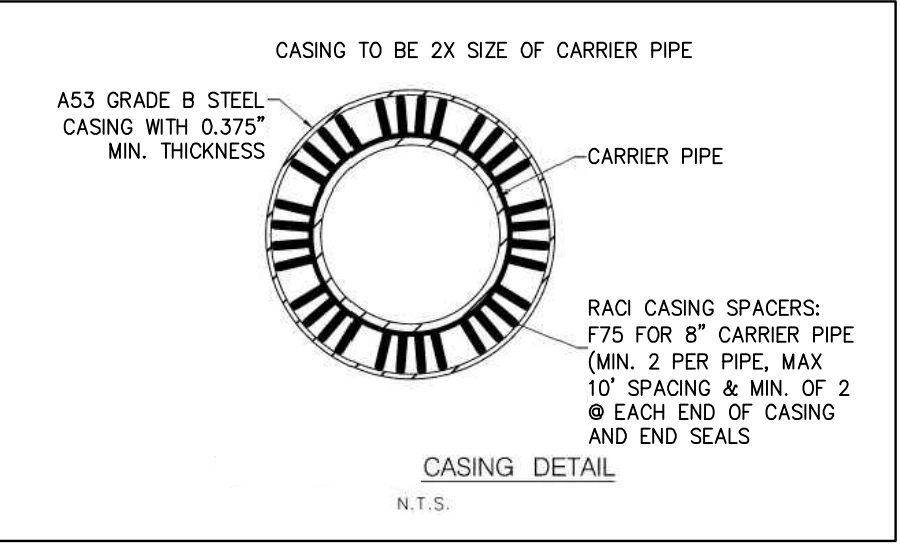
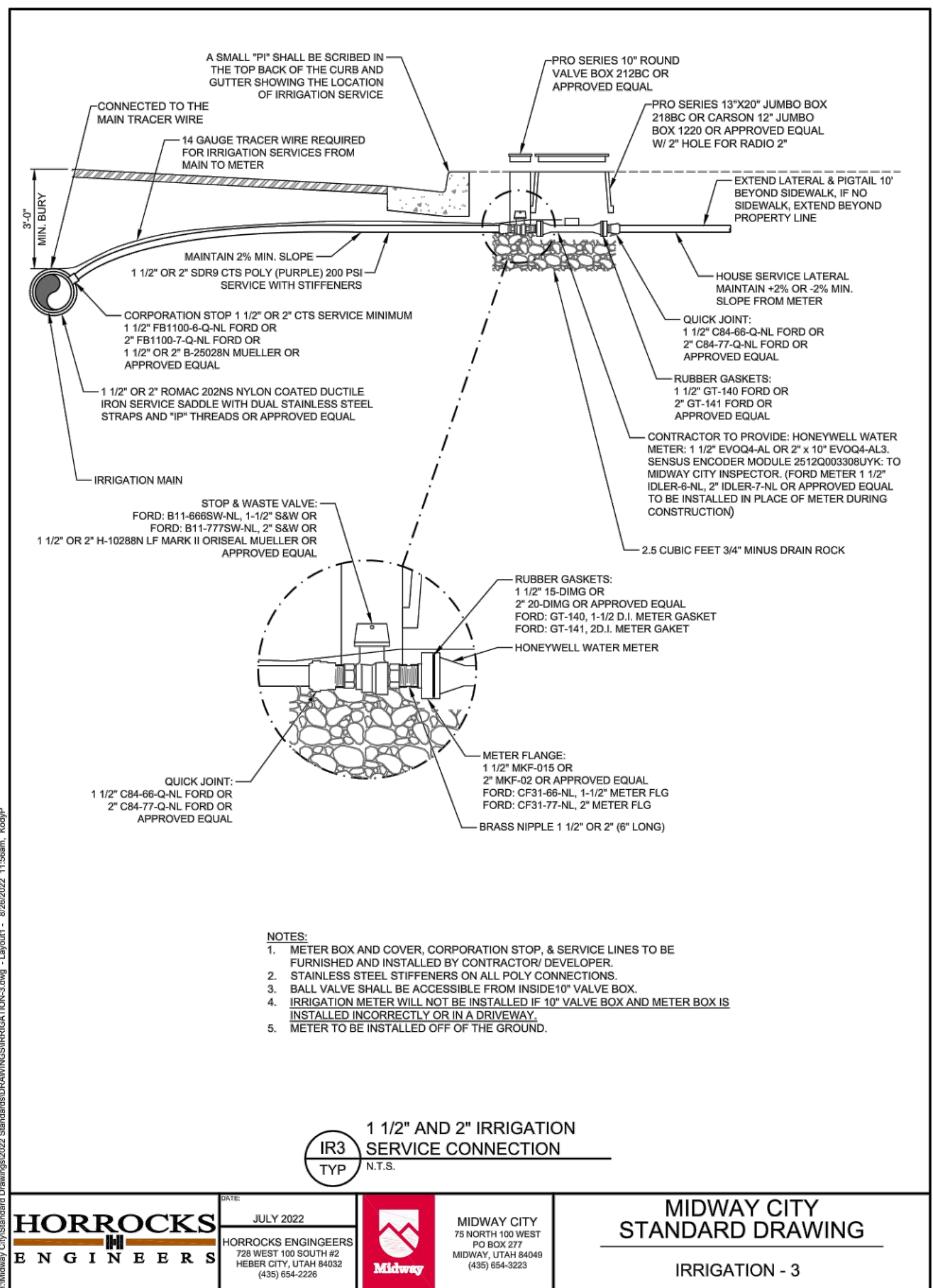
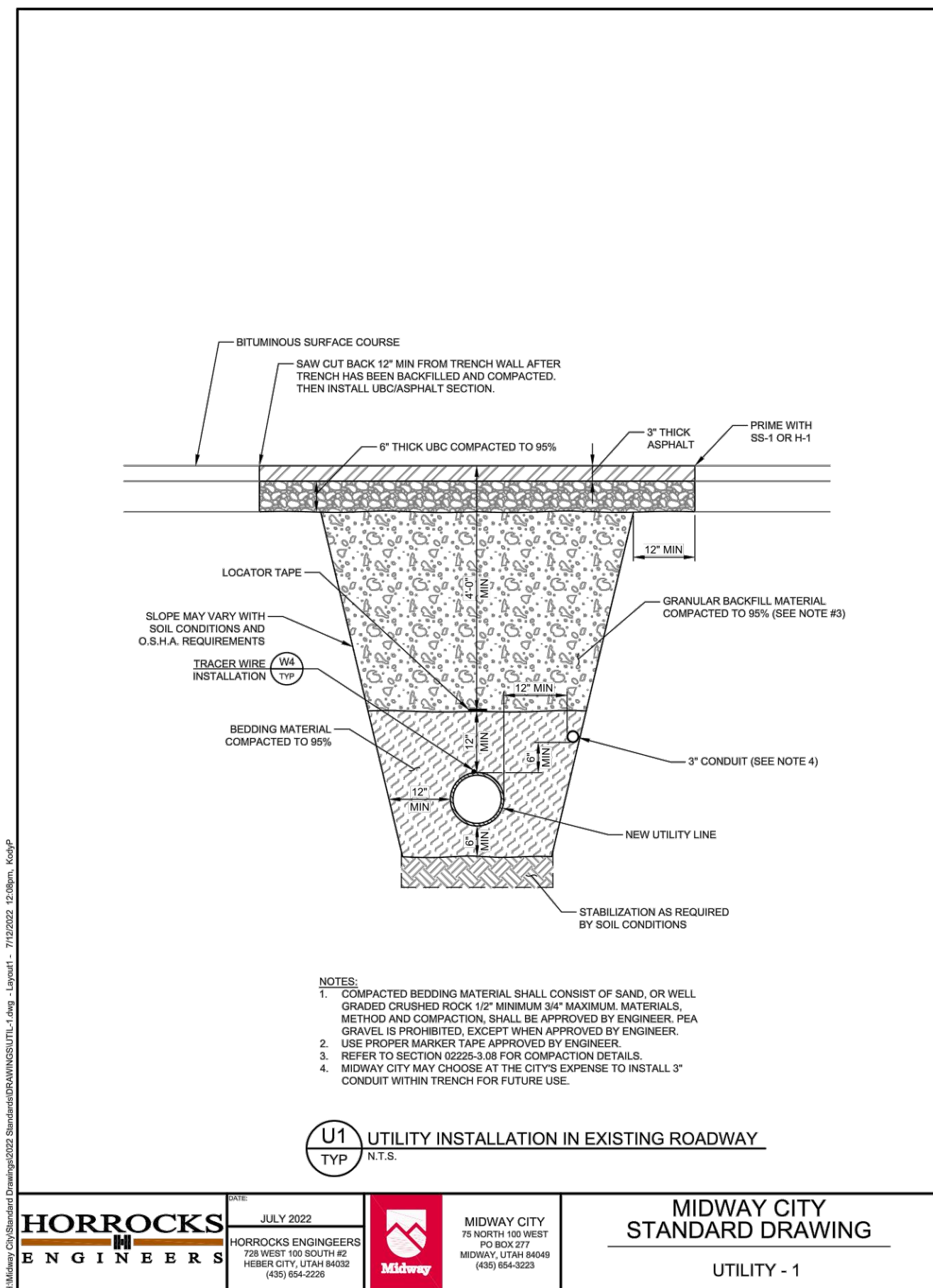
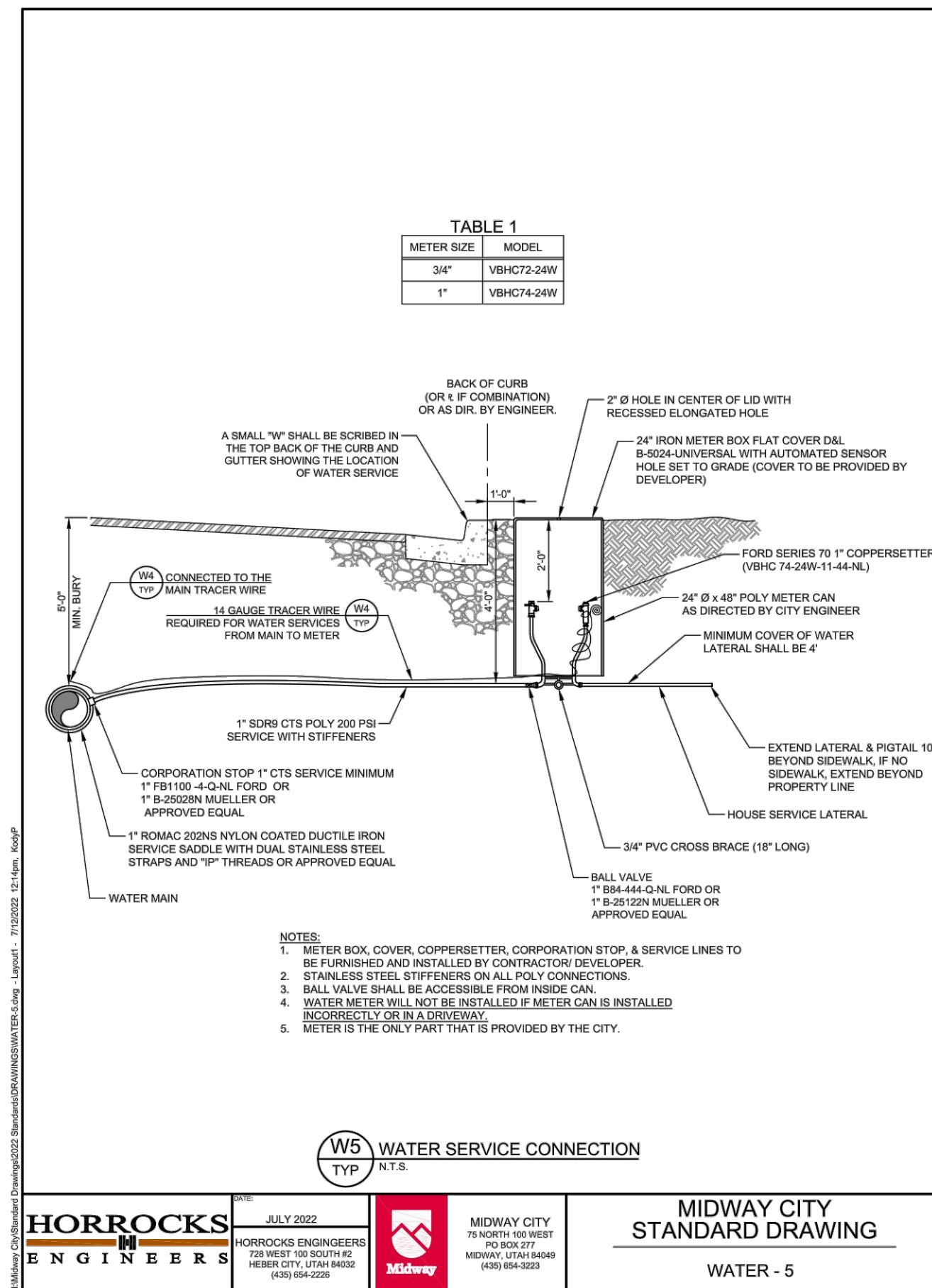
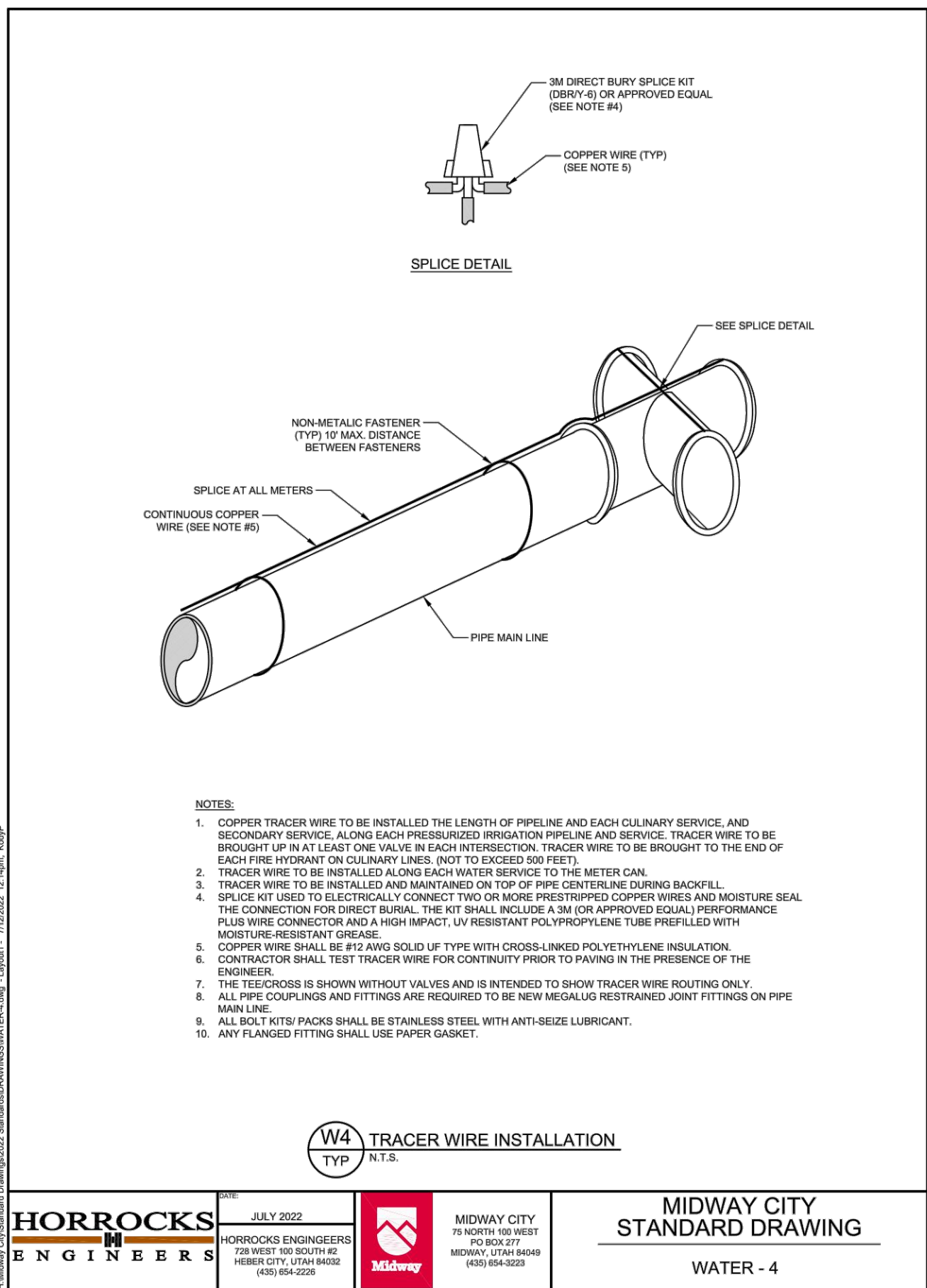
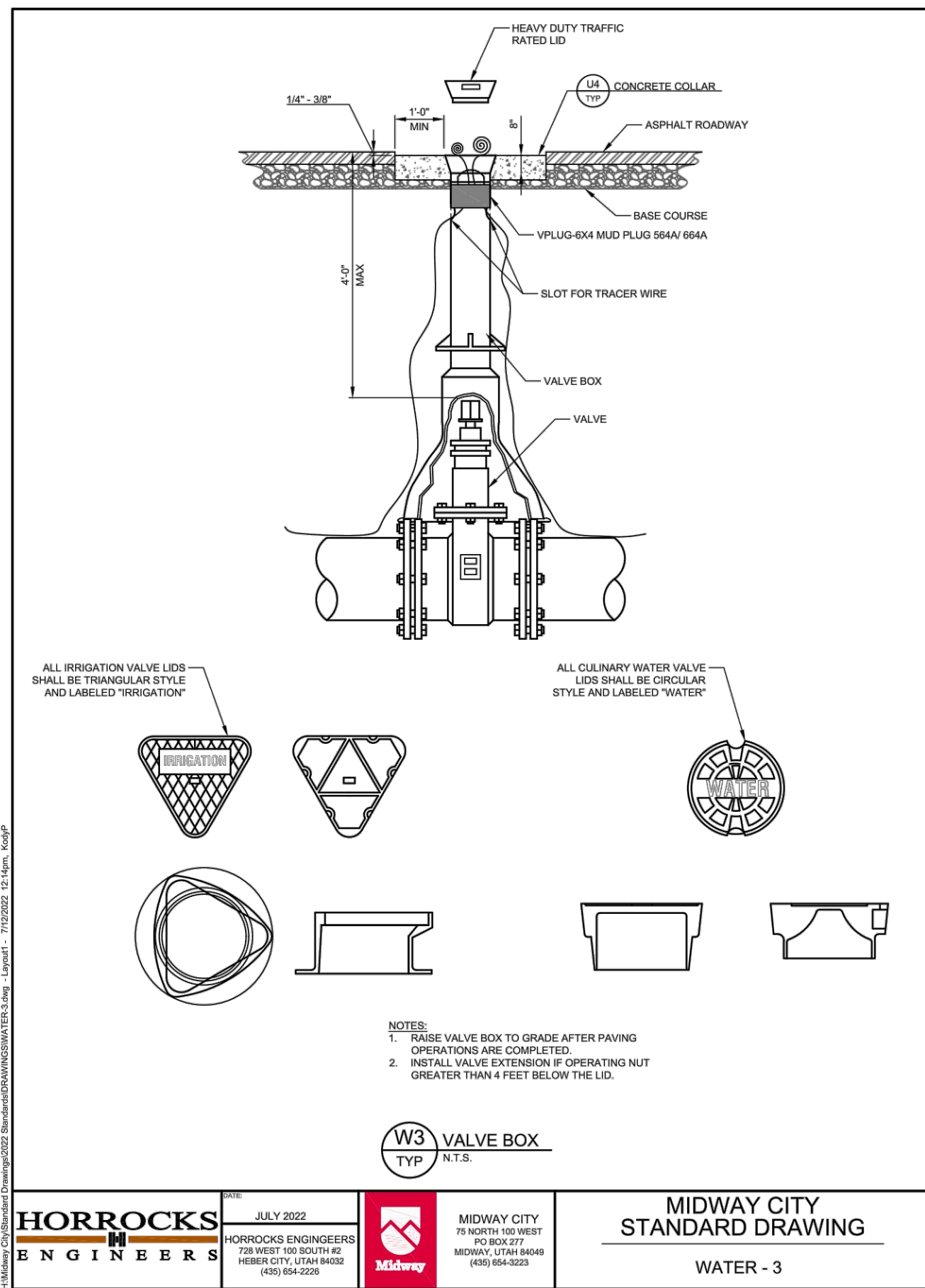
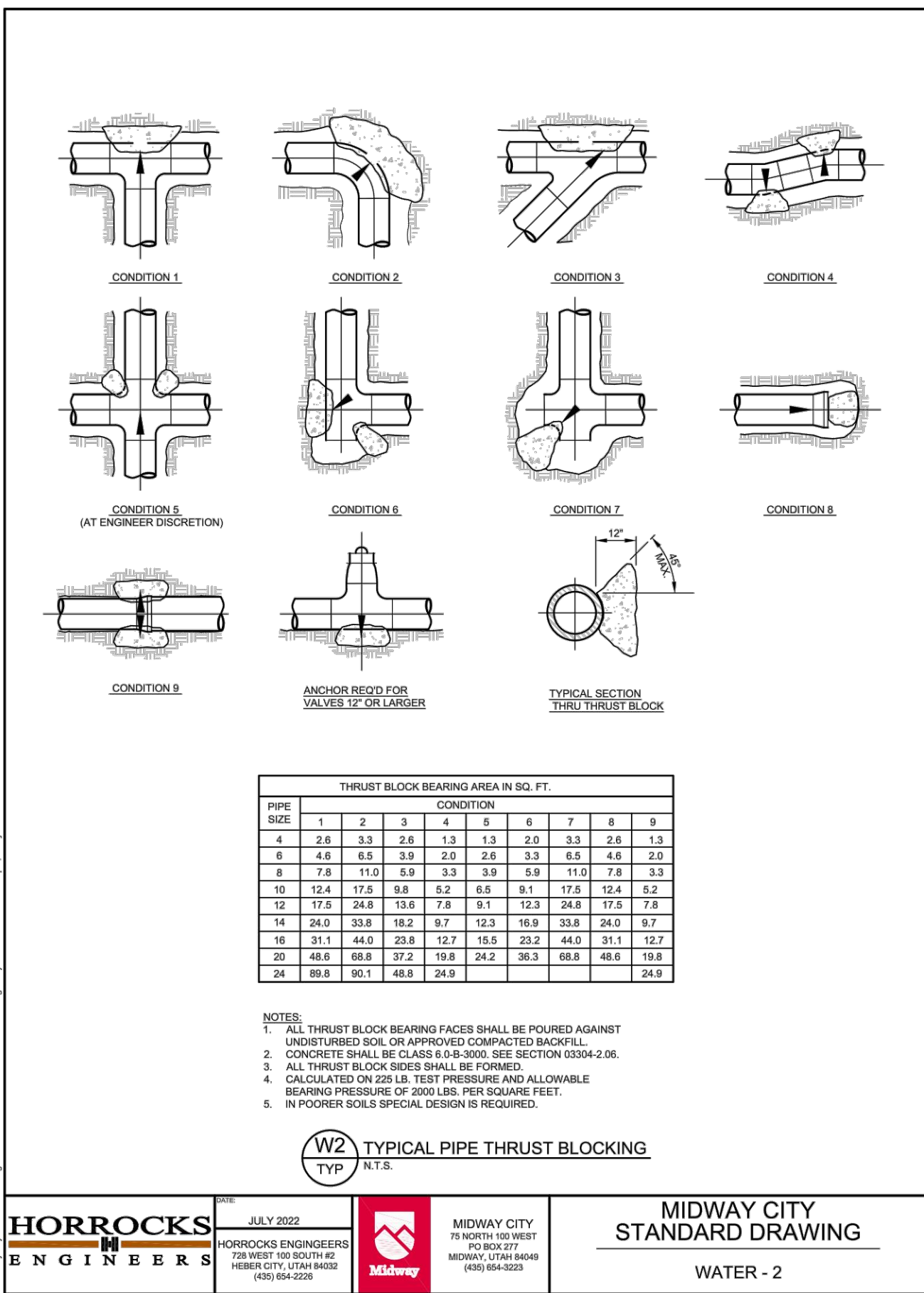
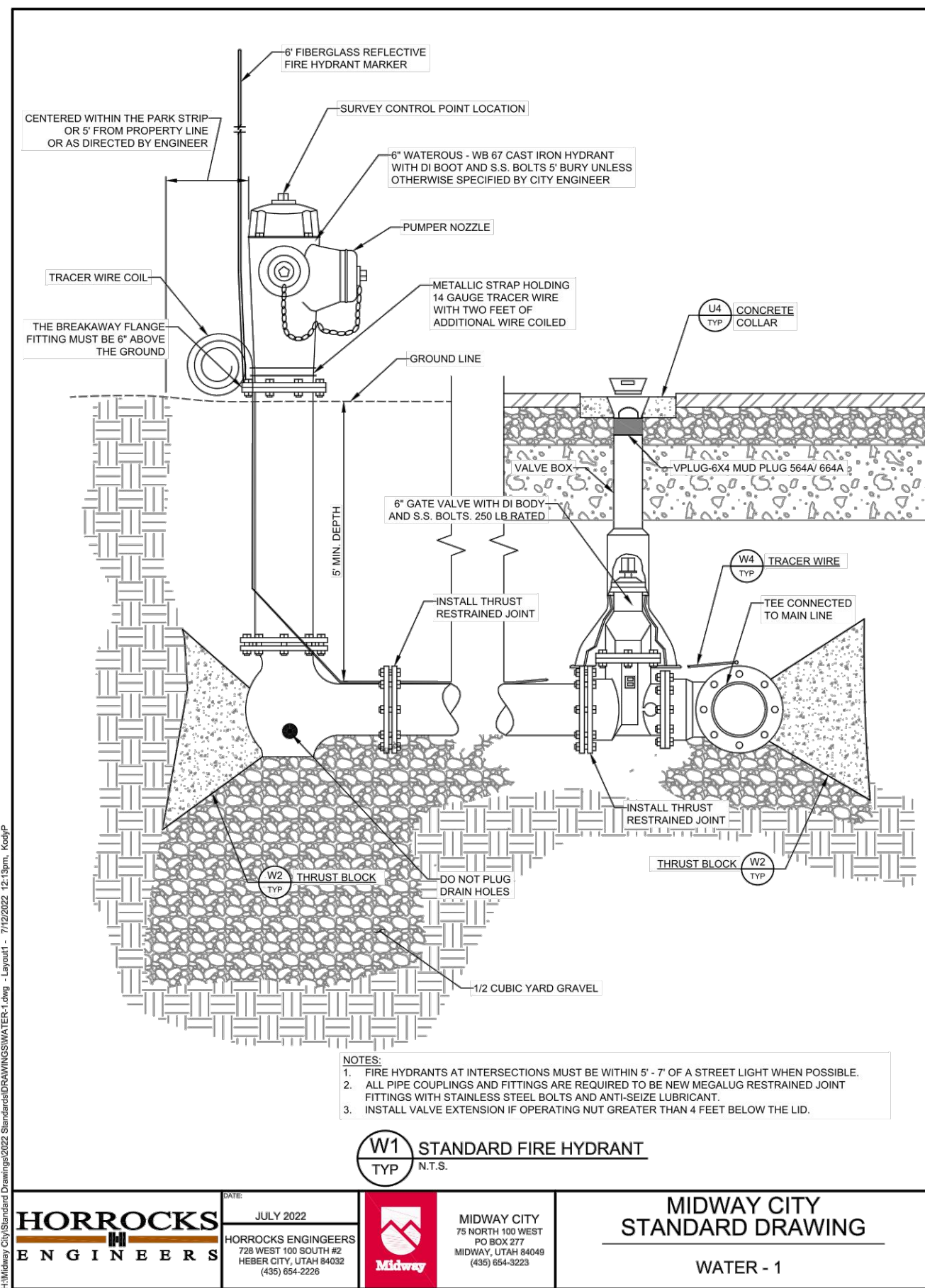
STILL WATER HOLDINGS LLC
KAYS LANDING
WATER & PI PLAN



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PAUL D. BERG P.E.
SERIAL NO. 295595
DATE: 11 JAN 2022

DESIGN BY: PDB DATE: 11 JAN 2023 SHEET
DRAWN BY: SW REV: 9



STILL WATER HOLDING LLC
KAYS LANDING

WATER & PI CONSTRUCTION DETAILS

BERG ENGINEERING
380 E Main St. Suite 204
Midway, Ut 84049
ph 435.657.9749

DESIGN BY: PDB
DRAWN BY: DEJ

DATE: 11 JAN 2023
REV:

SHEET
10

path: \\p:\midway\Draws\Items\Water (Utility)\WATER - PI CONSTRUCTION DETAILS.dwg | plot date: January 11, 2023 | plotted by: ROGER-PC

Kay's Landing Storm Drain Calculations

Kay's Landing Subdivision Summary

Subdivision	11.14 acres	
Drainage Easment	0.72 acres	does not drain into basin
Drainage Area	10.42 acres	
Road ROW	1.53 acres	
Homes and Driveways	0.91 acres	(assumed 8,000 sf per lot)
Landscaped Yard	14.13 acres	

Storm water from the cul-de-sac will be collected in a retention pond on Lot 5. 100 Year will be retained in the retention pond. Percolation rate of 2.0 inches per hour used for DCA soils per Heber Valley Soils. No groundwater was encountered per geotechnical study.

Table 1 - Runoff Coefficient for Subdivision

Drainage Basin	Drainage Area (acres)	C=0.75 Road Right-of-Way (acres)	C=0.95 Buildings (acres)	C=0.20 Landscaped Yard (acres)	Composite Runoff Coefficient
A	10.42	1.53	0.91	7.98	0.35

Table 2 - 100 Year Storm Peak Runoff and Volume

Time Period (min)	100 Year Rainfall Intensity (in/hr)	Area (acres)	Developed Runoff Coefficient	Peak Runoff Rate (cfs)	Total Runoff Volume (cf)
15	4.08	10.42	0.35	14.72	13,249
30	2.76	10.42	0.35	9.96	17,925
60	1.71	10.42	0.35	6.17	22,211
120	0.96	10.42	0.35	3.46	24,938
180	0.65	10.42	0.35	2.35	25,328
360	0.35	10.42	0.35	1.26	27,276
720	0.21	10.42	0.35	0.76	32,732
1440	0.13	10.42	0.35	0.47	40,525

Table 3 - Retention Pond

Time Period (min)	Total Runoff Volume (cf)	Soil Percolation Rate (inch/hour)	1 - 10' Sump Volume (cf)	Percolation from Sump (cf)	Storage Needed in Pond (cf)
15	13,249	2.0	1,176	28	12,045
30	17,925	2.0	1,176	56	16,693
60	22,211	2.0	1,176	112	20,923
120	24,938	2.0	1,176	223	23,539
180	25,328	2.0	1,176	335	23,817
360	27,276	2.0	1,176	670	25,431
720	32,732	2.0	1,176	1,339	30,217
1440	40,525	2.0	1,176	2,678	36,671

Table 4 - Retention Pond Volume

Pond Depth (ft)	Pond Area (sf)	Pond Volume (cf)	Pond Volume (acre-ft)
5462	12	0	0.00
5463	10,026	5,019	0.12
5464	11,549	15,807	0.36
5465	13,129	28,146	0.65
5466	14,766	42,093	0.97
5467	16,459	57,706	1.32

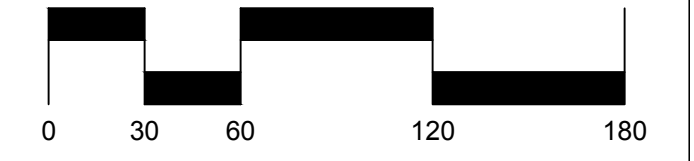
Contains 100 year storm 1' of Freeboard

AREA TOTAL PROJECT AREA 11.14 ACRES

- LEGEND**
- NON-BUILDABLE AREA (25%+ SLOPES)
 - EXISTING SEWER
 - EXISTING WATER
 - PROPOSED SEWER
 - PROPOSED WATER
 - PROPOSED STORM
 - PROPOSED PRESSURIZED IRRIGATION

STORM DRAIN SYSTEM NOTE:
 • ALL STORM DRAIN CONSTRUCTION TO MEET MIDWAY CITY

EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE LOCATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR BLUE STAKING OF ALL ON-SITE UTILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF DIFFERENCES BETWEEN BLUE STAKED LOCATIONS AND THOSE SHOWN ON THIS PLAN.



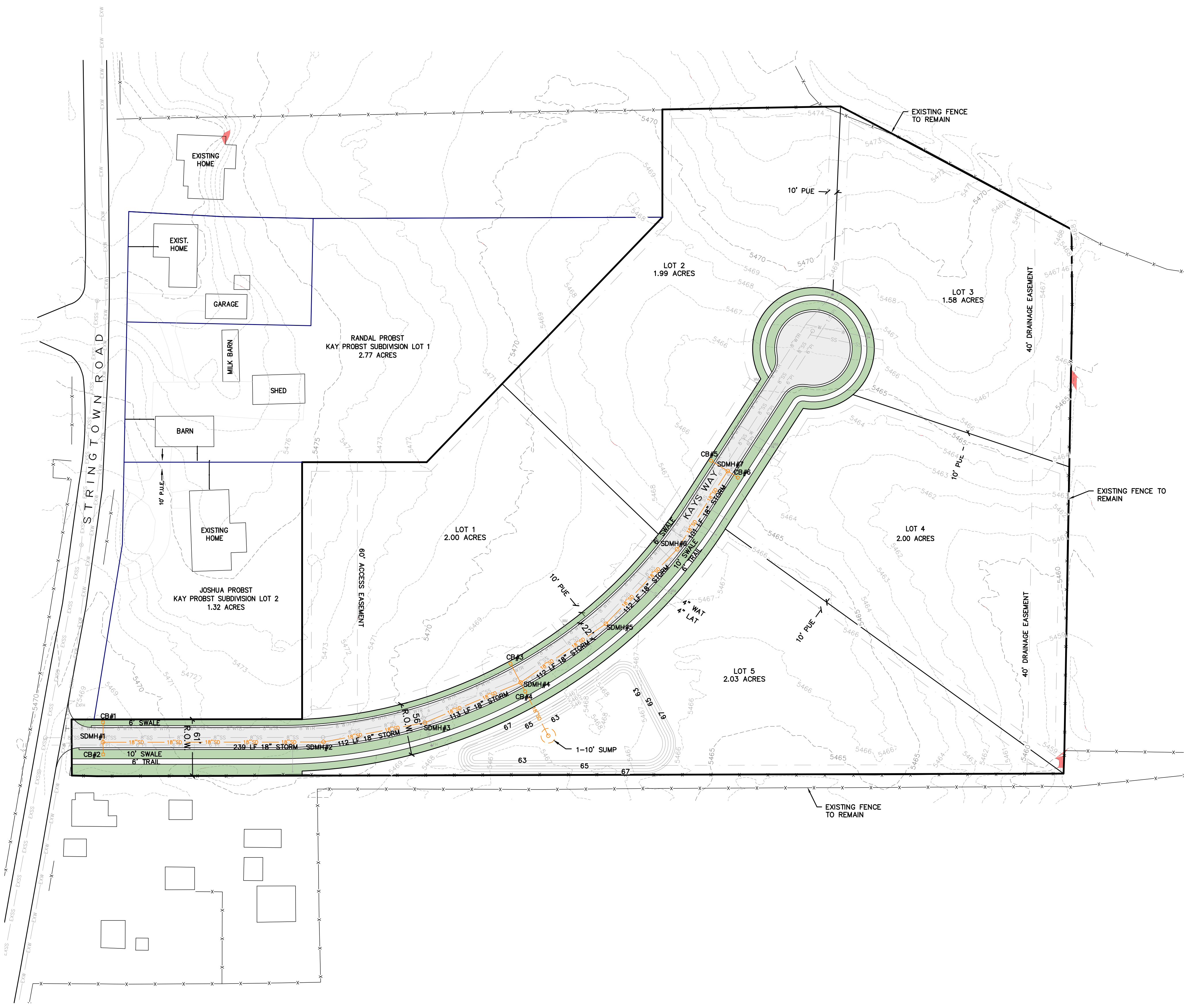
SCALE: 1"=60'

STILL WATER HOLDINGS LLC
 KAYS LANDING
STORM DRAIN PLAN



DESIGN BY: PDB DATE: 11 JAN 2023 SHEET 11
 DRAWN BY: SW REV:

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 PAUL D. BERG P.E.
 SERIAL NO. 295595
 DATE: 11 JAN 2023



STREET CROSS SECTION
SEE SHEET 5: ROAD CONSTRUCTION DETAILS

BLUE STAKE NOTE:

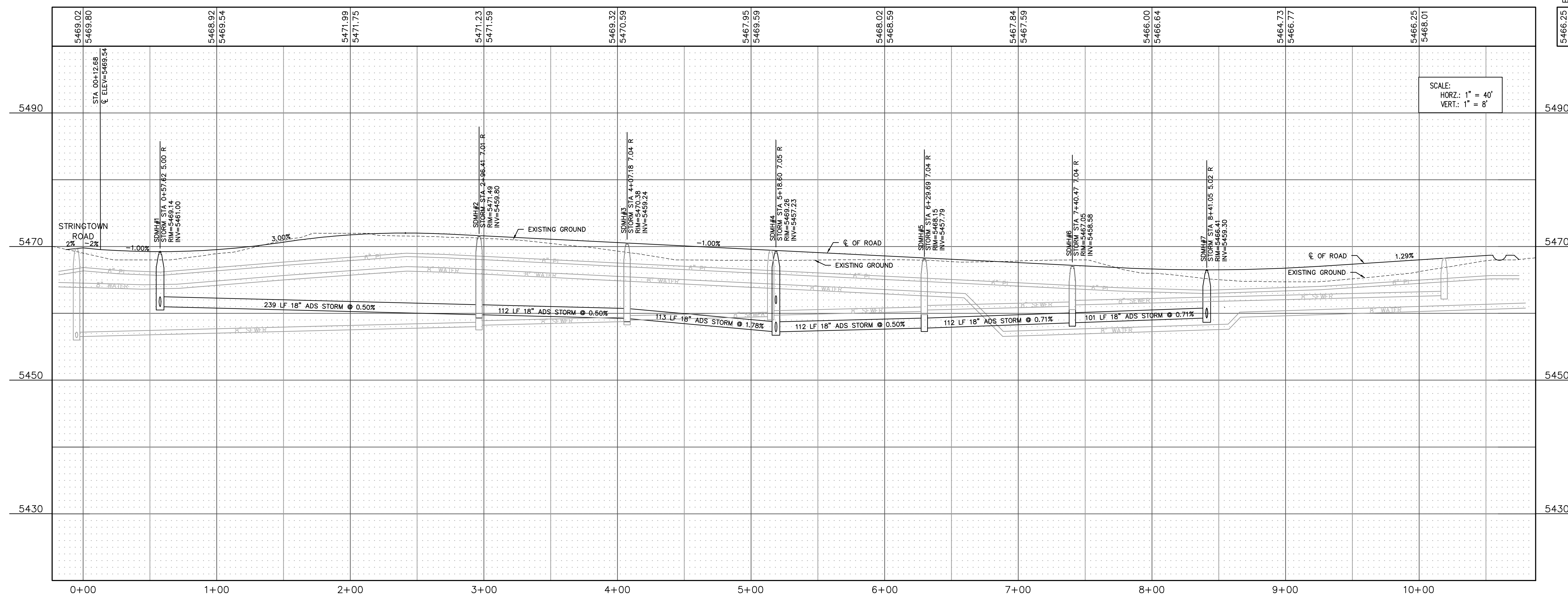
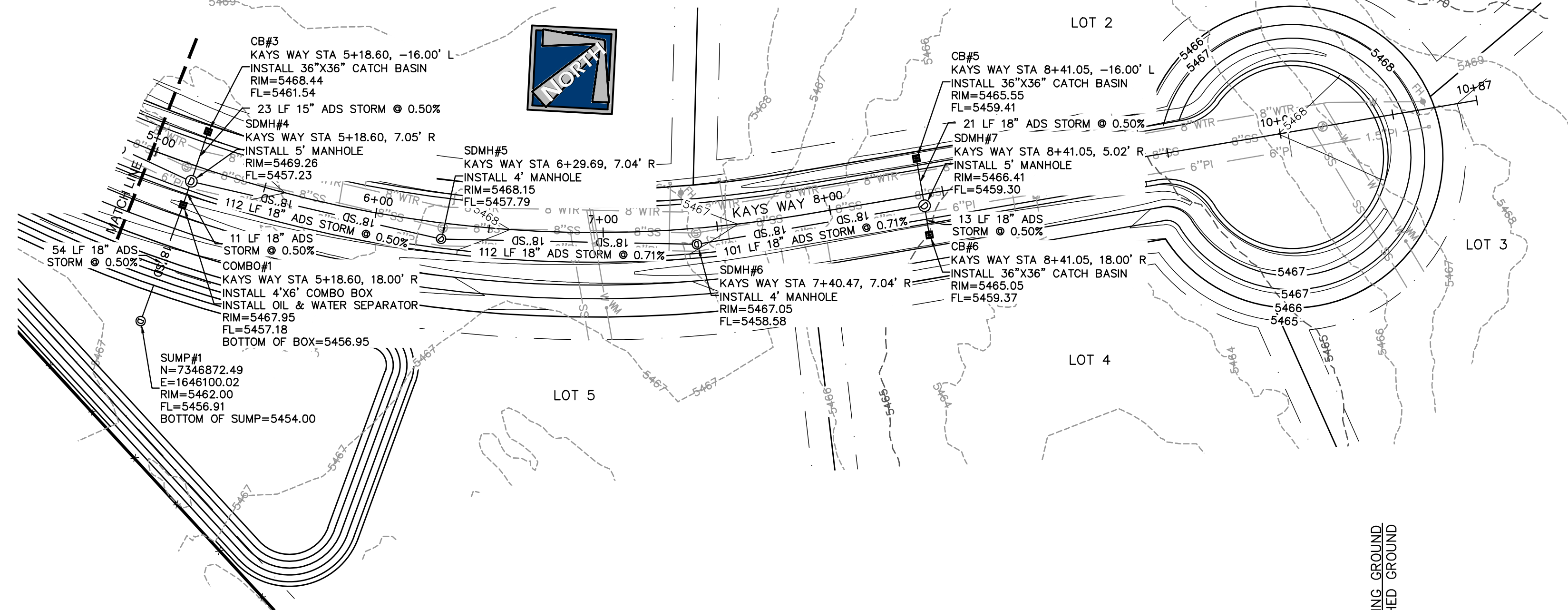
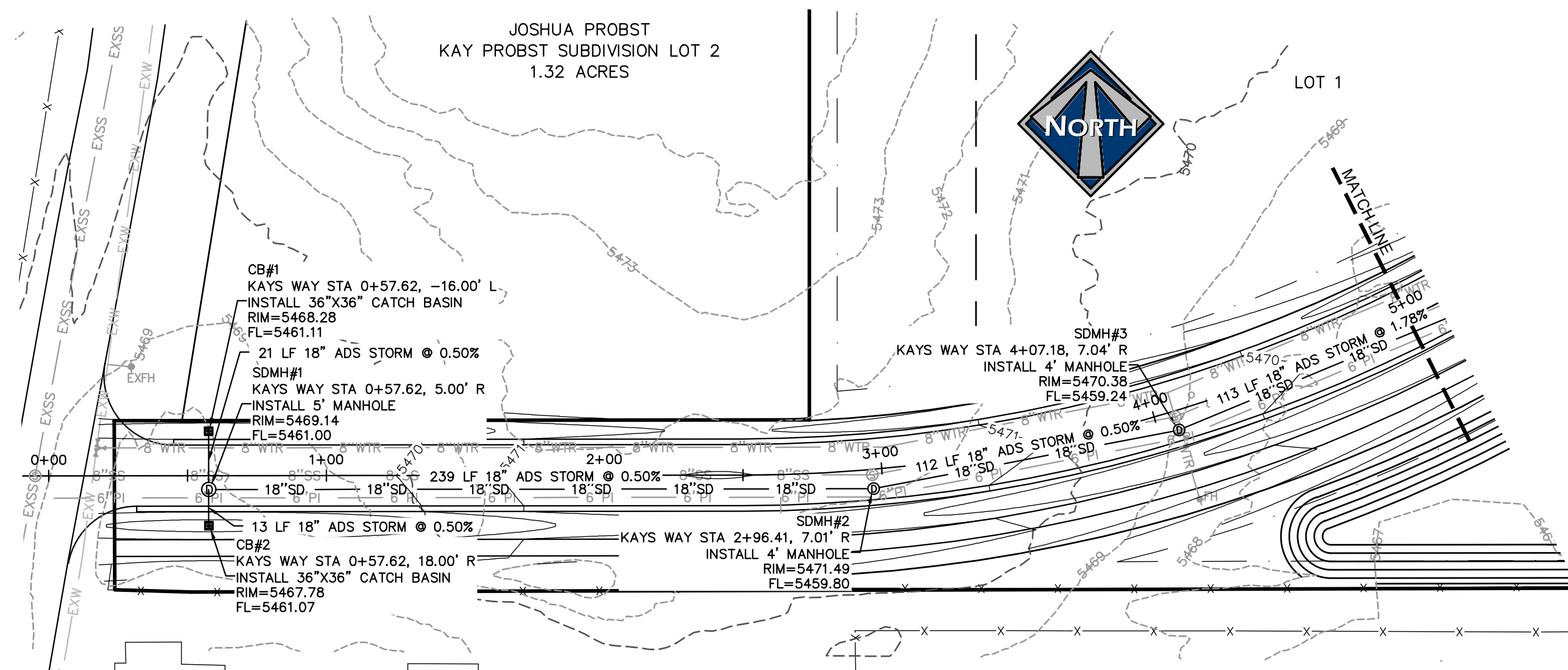
- LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.

STORM DRAIN CONSTRUCTION NOTE:

- ALL STORM DRAIN CONSTRUCTION SHALL MEET MIDWAY CITY STANDARDS AND SPECIFICATIONS.

LEGEND

- EXSS — EXISTING SEWER
- 8"SS — PROPOSED 8" SEWER
- EXB"W — EXISTING 8" WATER
- 8"WTR — PROPOSED 8" WATER
- EXP I — EXISTING PRESSURIZED IRRIGATION
- PI — PROPOSED PRESSURIZED IRRIGATION
- SD — PROPOSED STORM DRAIN



EXISTING GROUND
FINISHED GROUND

SCALE:
HORIZ: 1" = 40'
VERT: 1" = 8'

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PAUL D. BERG P.E.
SERIAL NO. 295595
DATE: 11 JAN 2023



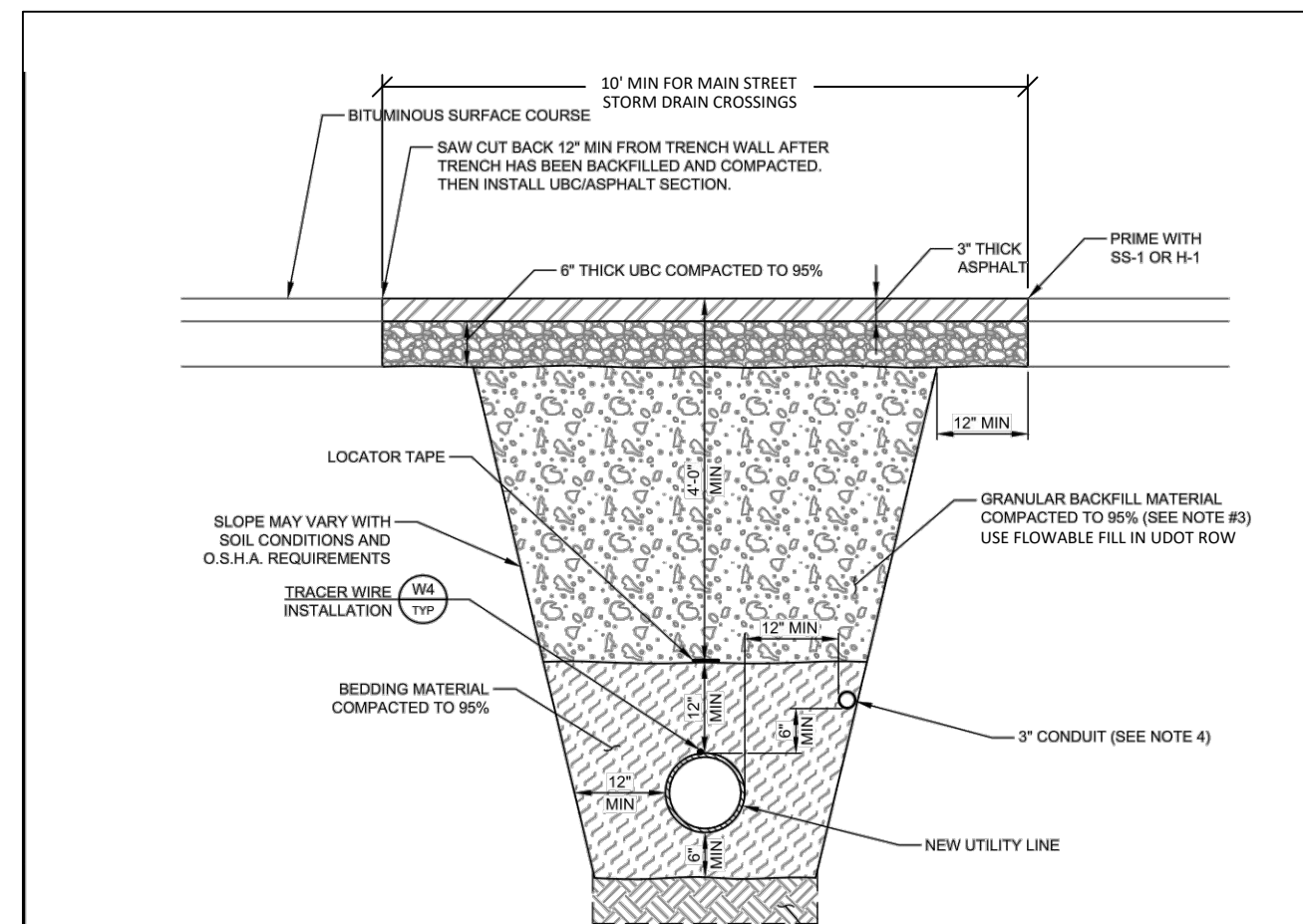
SCALE: 1"=40'

STILL WATER HOLDINGS LLC
KAYS LANDING

STORM DRAIN PLAN AND PROFILE



DESIGN BY: PDB DATE: 11 JAN 2023
DRAWN BY: SW REV: SHEET 12



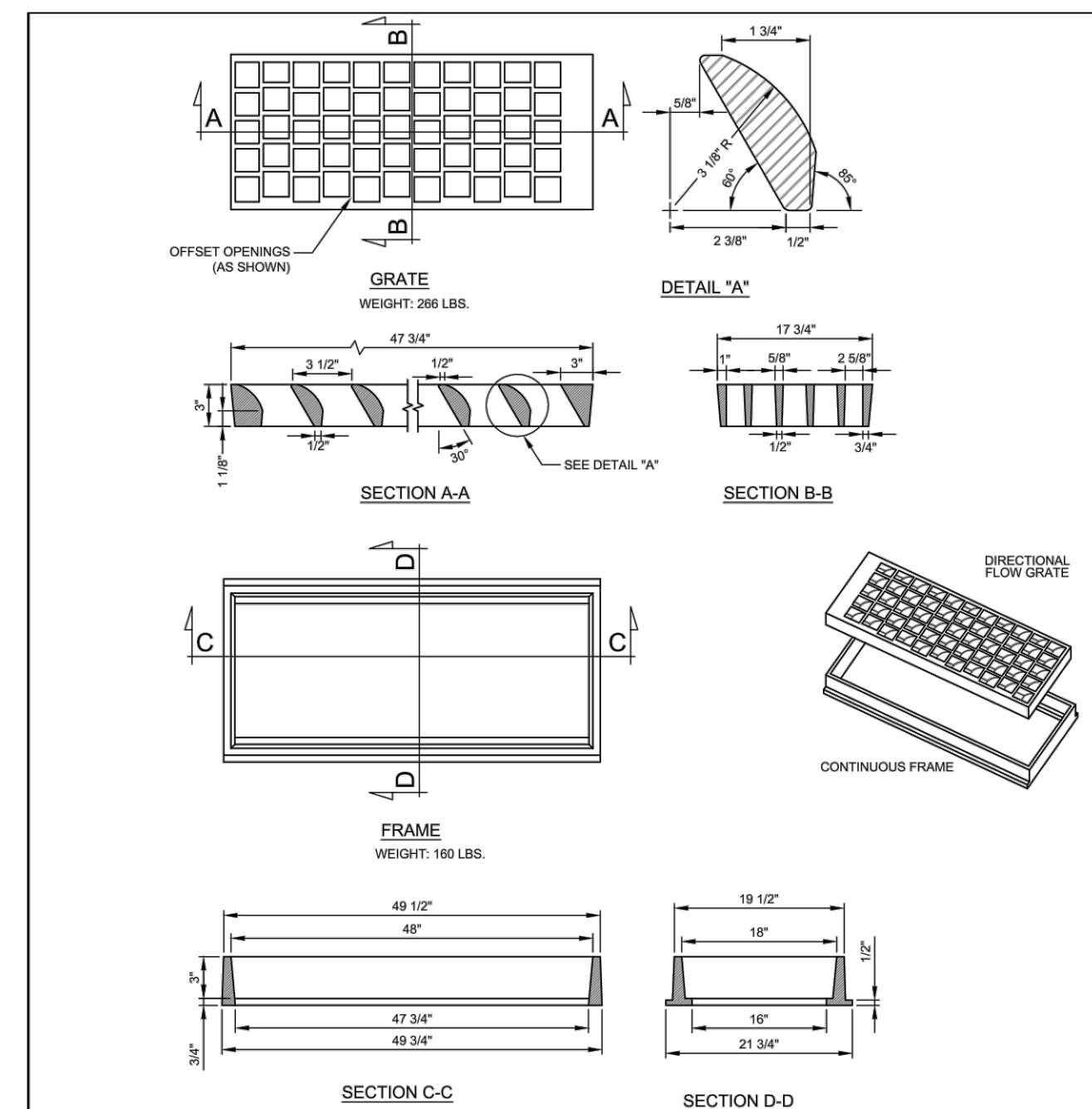
- NOTES:**
1. COMPACTED BEDDING MATERIAL SHALL CONSIST OF SAND, OR WELL GRADED CRUSHED ROCK 1/2" MINIMUM 3/4" MAXIMUM MATERIALS. METHODS AND COMPACTION SHALL BE APPROVED BY ENGINEER. PEA GRAVEL IS PROHIBITED EXCEPT WHEN APPROVED BY ENGINEER. USE PROPER MANHOLE TAPES APPROVED BY ENGINEER.
 2. REFER TO SECTION 5225-3.08 FOR COMPACTION DETAILS.
 3. MIDWAY CITY MAY CHOOSE AT THE CITY'S EXPENSE TO INSTALL 3" CONDUIT WITHIN TRENCH FOR FUTURE USE.

U1 UTILITY INSTALLATION IN EXISTING ROADWAY
TYP. N.T.S.

HORROCKS ENGINEERS JULY 2022
 79 NORTH 100 STREET
 728 WEST 100 SOUTH #2
 HERRI CITY, UT 84002
 (435) 654-2228

MIDWAY CITY
 79 NORTH 100 STREET
 PO BOX 277
 MIDWAY, UT 84048
 (435) 654-3223

MIDWAY CITY STANDARD DRAWING
 UTILITY - 1



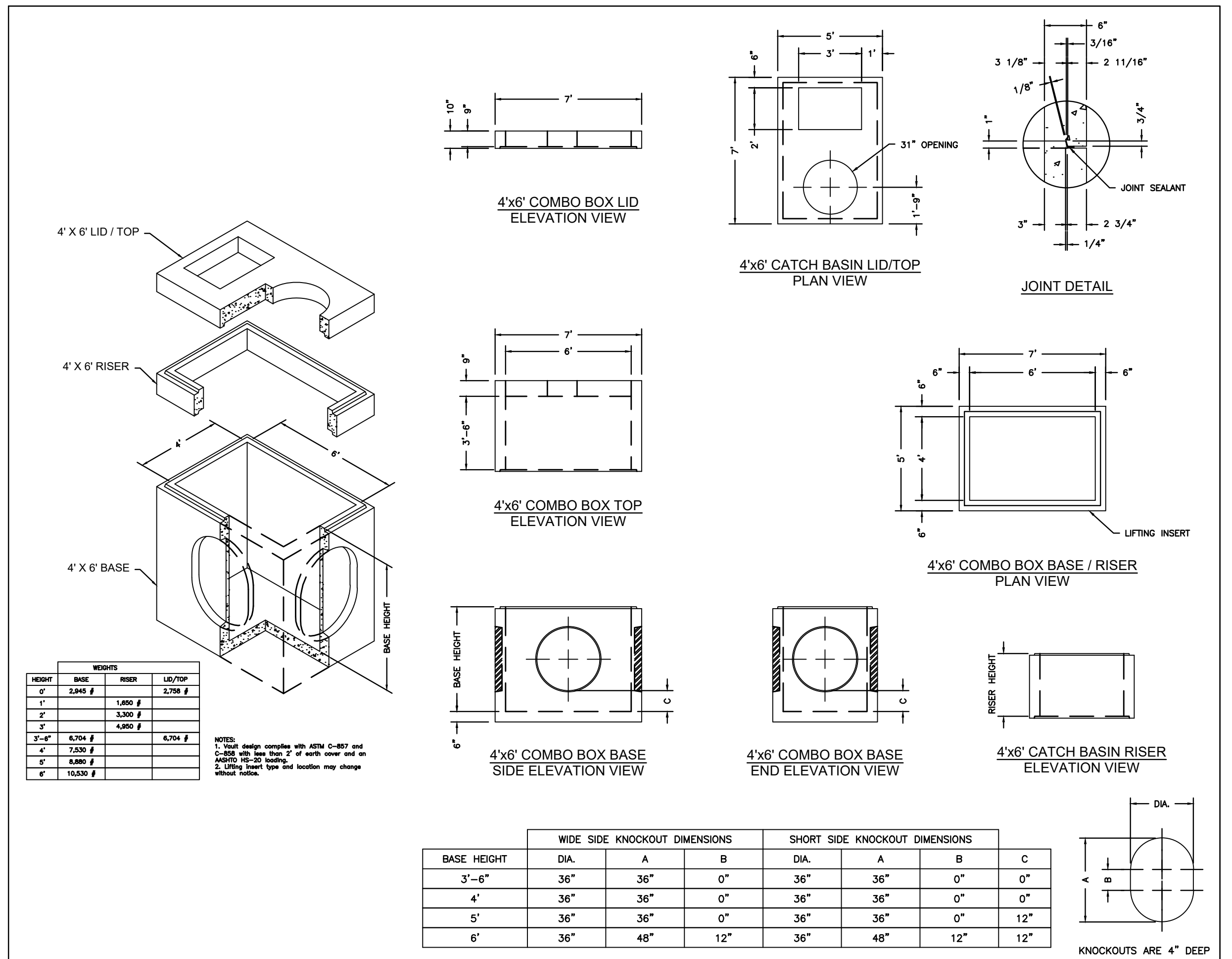
- NOTES:**
1. ALL DIMENSIONS ARE INCHES (I) UNLESS OTHERWISE NOTED.
 2. GRATE AND FRAME MAY BE FURNISHED IN EITHER DUCTILE IRON (ASTM A-536 GRADE 60) OR CAST GRAY IRON: AASHTO M-105, CLASS 30 B (ASTM A-48).
 3. GRATE & FRAME SHALL BE DIAL 1-1803 OR APPROVED EQUAL.
- DESIGN DATA:**
 MS 18 (MS-20) OR INTERSTATE ALTERNATE LOADING IN ACCORDANCE WITH CURRENT AASHTO AND INTERIM SPECIFICATIONS.
 DUCTILE IRON AND STRUCTURAL STEEL:
 f_y = 138 MPa

SD2 GRATE AND FRAME
TYP. N.T.S.

HORROCKS ENGINEERS JULY 2022
 79 NORTH 100 STREET
 728 WEST 100 SOUTH #2
 HERRI CITY, UT 84002
 (435) 654-2228

MIDWAY CITY
 79 NORTH 100 STREET
 PO BOX 277
 MIDWAY, UT 84048
 (435) 654-3223

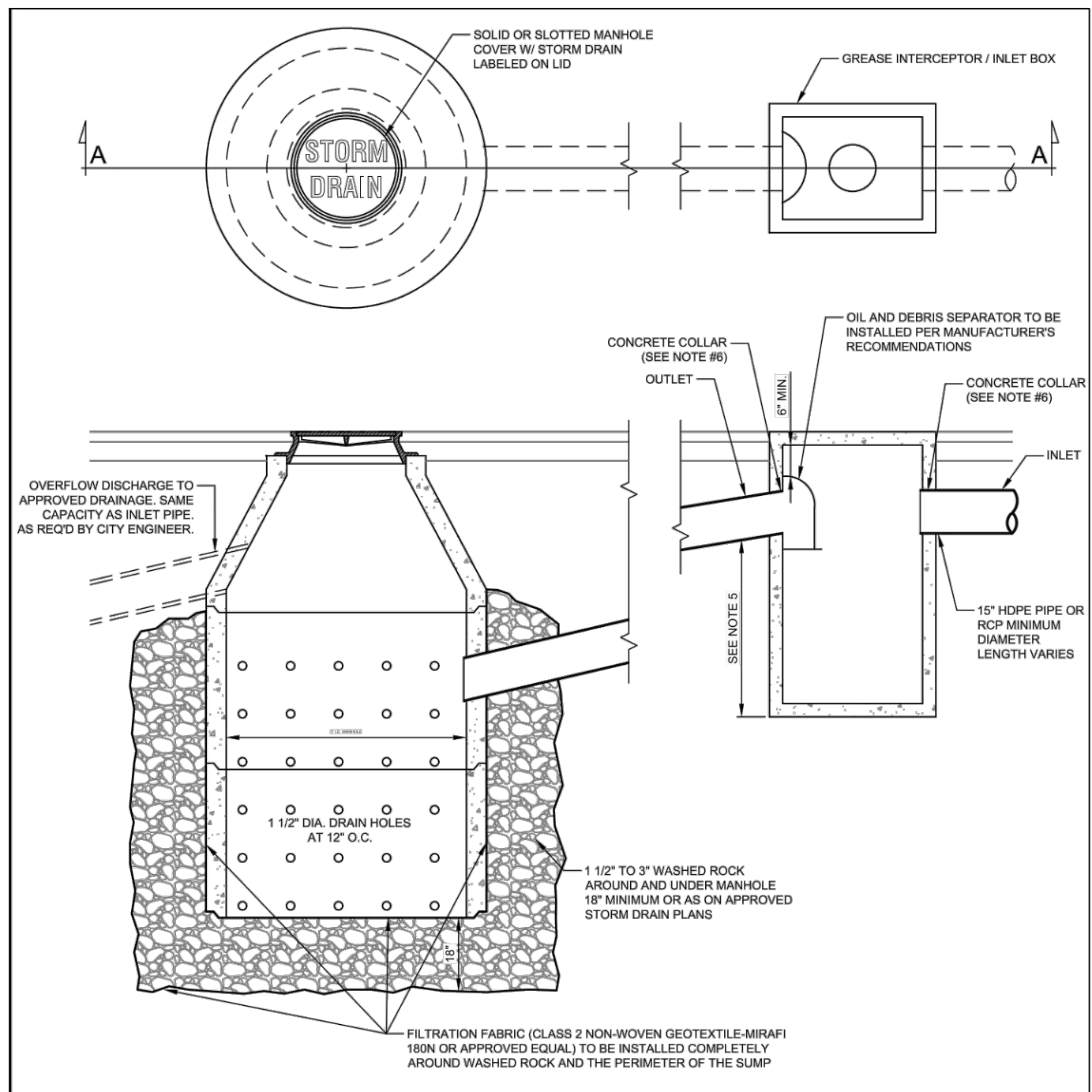
MIDWAY CITY STANDARD DRAWING
 STORM DRAIN - 2



WIDE SIDE KNOCKOUT DIMENSIONS

SHORT SIDE KNOCKOUT DIMENSIONS

KNOCKOUTS ARE 4" DEEP



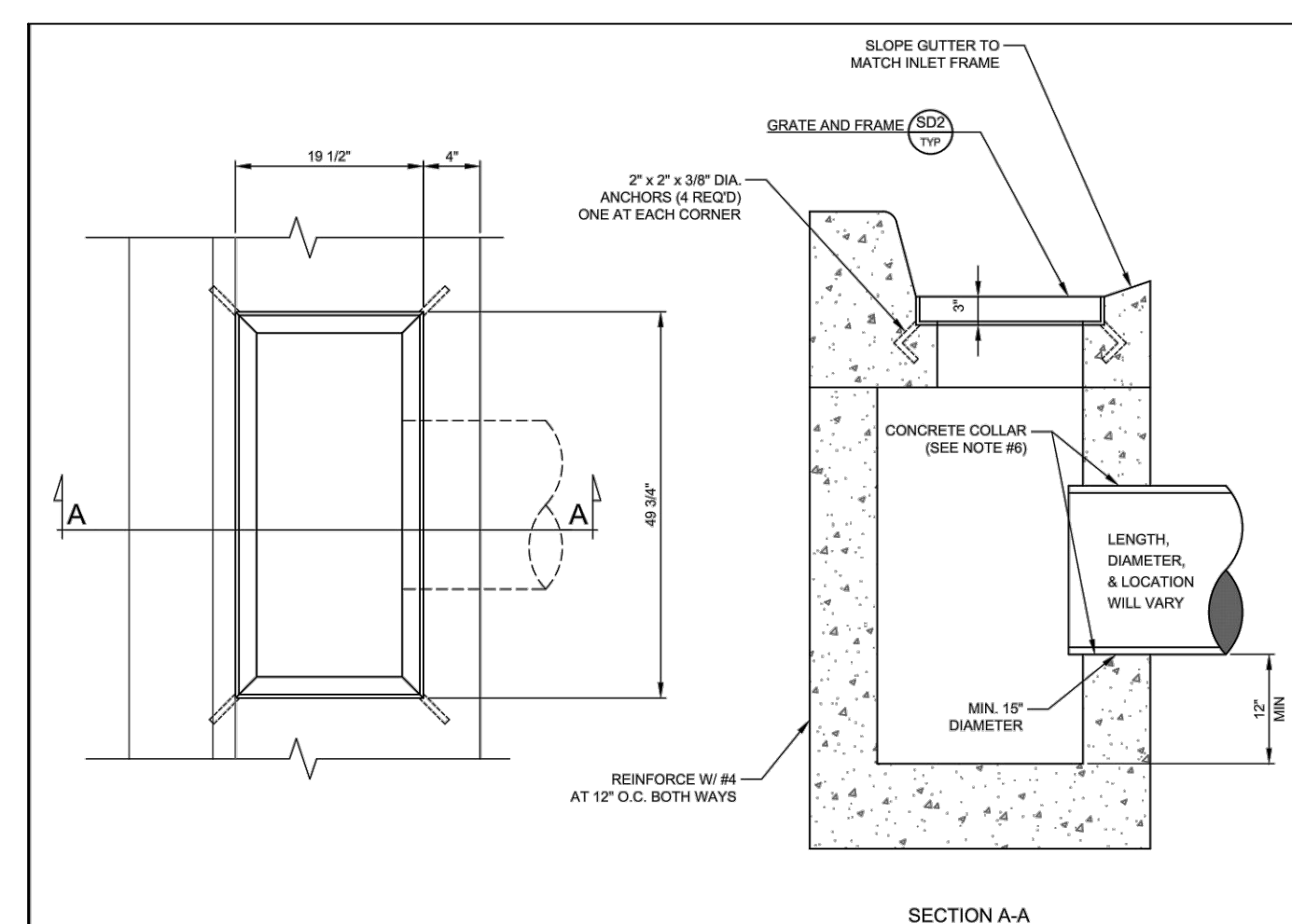
- NOTES:**
1. CONSTRUCT DROP INLET BOX TO MATCH WIDTH OF CURB & GUTTER. MATCH INSIDE OF BOX TO INSIDE OF FRAME.
 2. D & L 1.5018 WITH ADJUSTABLE CURB BOX.
 3. STANDARD CAST IRON MANHOLE RINGS & LID.
 4. OIL SEPARATOR TO BE INSTALLED PRIOR TO SUMP.
 5. INLET BOX DEPTH SHALL BE 30" FOR OUTLET DIA. 12" AND SMALLER. FOR OUTLET DIA. 15" AND LARGER, SUMP DEPTH SHALL EQUAL 2.5 TO 3.0 TIMES THE DIA. OF THE OUTLET PIPE.
 6. CONCRETE COLLARS ARE REQUIRED AT ALL STORM DRAIN PIPE CONNECTIONS TO MANHOLES OR INLETS. THE CONCRETE COLLAR SHALL SEAL THE STORM DRAIN PIPE TO MANHOLE OR INLET.

SD3 SUMP DISPOSAL
TYP. N.T.S.

HORROCKS ENGINEERS JULY 2022
 79 NORTH 100 STREET
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 HERRI CITY, UT 84002
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MIDWAY CITY
 79 NORTH 100 STREET
 PO BOX 277
 MIDWAY, UT 84048
 (435) 654-3223

MIDWAY CITY STANDARD DRAWING
 STORM DRAIN - 3



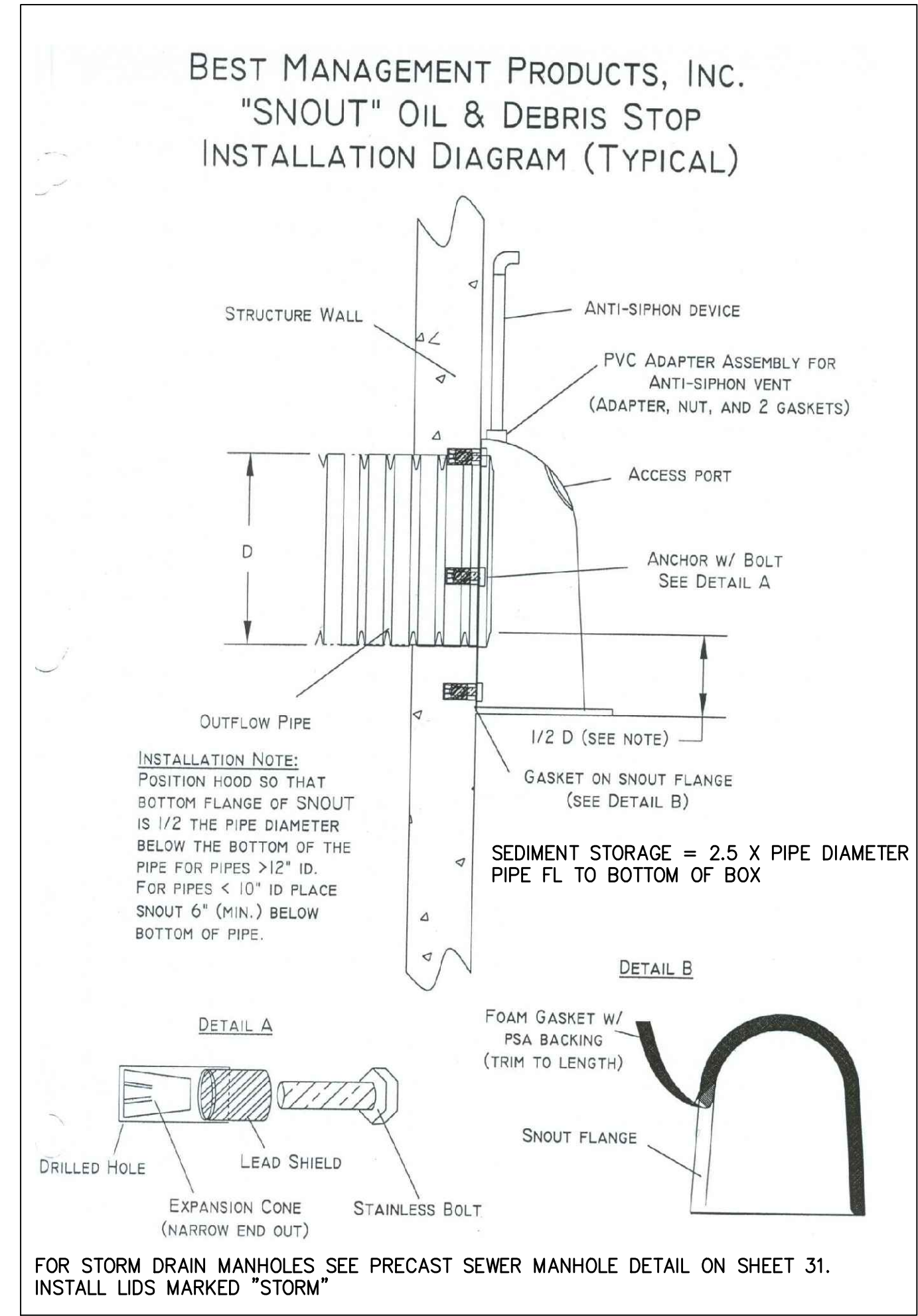
- NOTES:**
1. ALL FRAMES & GRATES TO BE CAST IRON.
 2. CONSTRUCT BOX (WALL THICKNESS) TO MATCH EXISTING OR NEW TYPE OF CURB AS SHOWN.
 3. INLET BOX SPACING SHALL NOT EXCEED 800 FEET UNLESS APPROVED BY THE CITY ENGINEER.
 4. A SNOUT OR APPROVED EQUAL SHALL BE USED WHERE THE STORM WATER IS LEAVING THE STORM WATER SYSTEM AND ENTERING A SUMP, RETENTION / DETENTION POND, OR DISCHARGE POINT.
 5. IF SNOUT IS INSTALLED, SUMP DEPTH SHALL BE 30" FOR OUTLET DIA. 12" AND SMALLER. FOR OUTLET DIA. 15" AND LARGER, SUMP DEPTH SHALL EQUAL 2.5 TO 3.0 TIMES THE DIA. OF THE OUTLET PIPE.
 6. CONCRETE COLLARS ARE REQUIRED AT ALL STORM DRAIN PIPE CONNECTIONS TO MANHOLES OR INLETS. THE CONCRETE COLLAR SHALL SEAL THE STORM DRAIN PIPE TO MANHOLE OR INLET.
 7. ALL MANHOLES, CATCH BASINS, VALVE BOXES AND VERTICAL STRUCTURES SHALL BE COMPACTED USING A JUMPING JACK TYPE DEVICE WITH MAXIMUM LIFTS NOT TO EXCEED 8 INCHES OR AS RECOMMENDED BY JUMPING JACK MANUFACTURERS. DENSITY TESTS SHALL BE TAKEN AT EVERY MANHOLE, CATCH BASIN, VALVE BOX AND VERTICAL STRUCTURES.

SD1 CURB DROP INLET BOX
TYP. N.T.S.

HORROCKS ENGINEERS JULY 2022
 79 NORTH 100 STREET
 728 WEST 100 SOUTH #2
 HERRI CITY, UT 84002
 (435) 654-2228

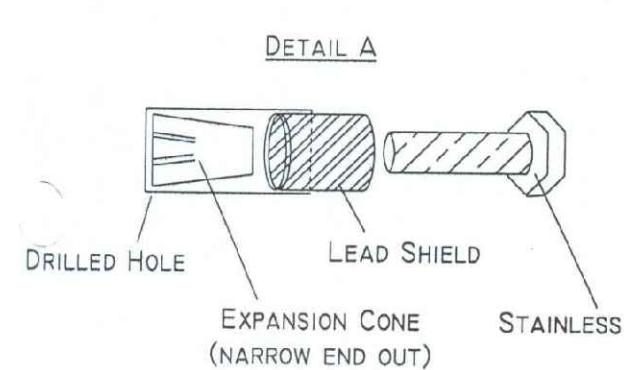
MIDWAY CITY
 79 NORTH 100 STREET
 PO BOX 277
 MIDWAY, UT 84048
 (435) 654-3223

MIDWAY CITY STANDARD DRAWING
 STORM DRAIN - 1



INSTALLATION NOTE:
 POSITION HOOD SO THAT BOTTOM FLANGE OF SNOUT IS 1/2 THE PIPE DIAMETER BELOW THE BOTTOM OF THE PIPE FOR PIPES > 12" ID. FOR PIPES < 10" ID PLACE SNOUT 6" (MIN.) BELOW BOTTOM OF PIPE.

SEDIMENT STORAGE = 2.5 X PIPE DIAMETER PIPE FL TO BOTTOM OF BOX



FOR STORM DRAIN MANHOLES SEE PRECAST SEWER MANHOLE DETAIL ON SHEET 31. INSTALL LIDS MARKED "STORM"

STILL WATER HOLDINGS LLC
 KAYS LANDING
 STORM DRAIN
 CONSTRUCTION DETAILS

BERG ENGINEERING
 380 E Main St. Suite 204
 Midway, Ut 84049
 ph 435.657.9749

DESIGN BY: PDB DATE: 11 JAN 2023
 DRAWN BY: DEJ REV: SHEET 13