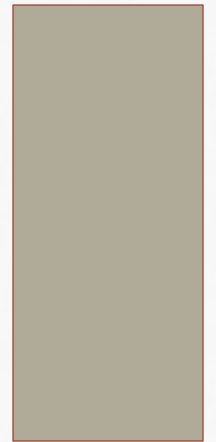


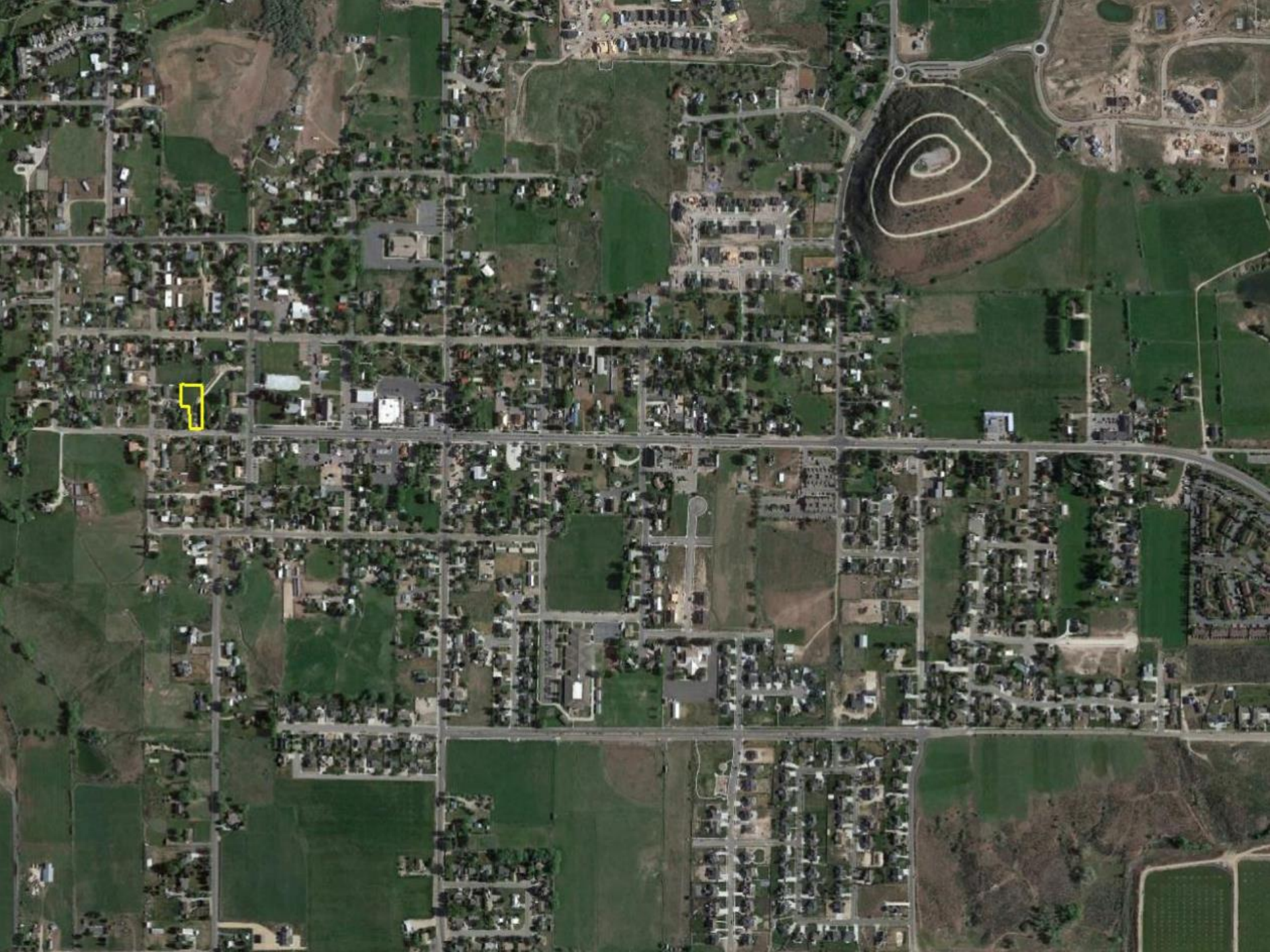
# SPRINGER HOMESTEAD

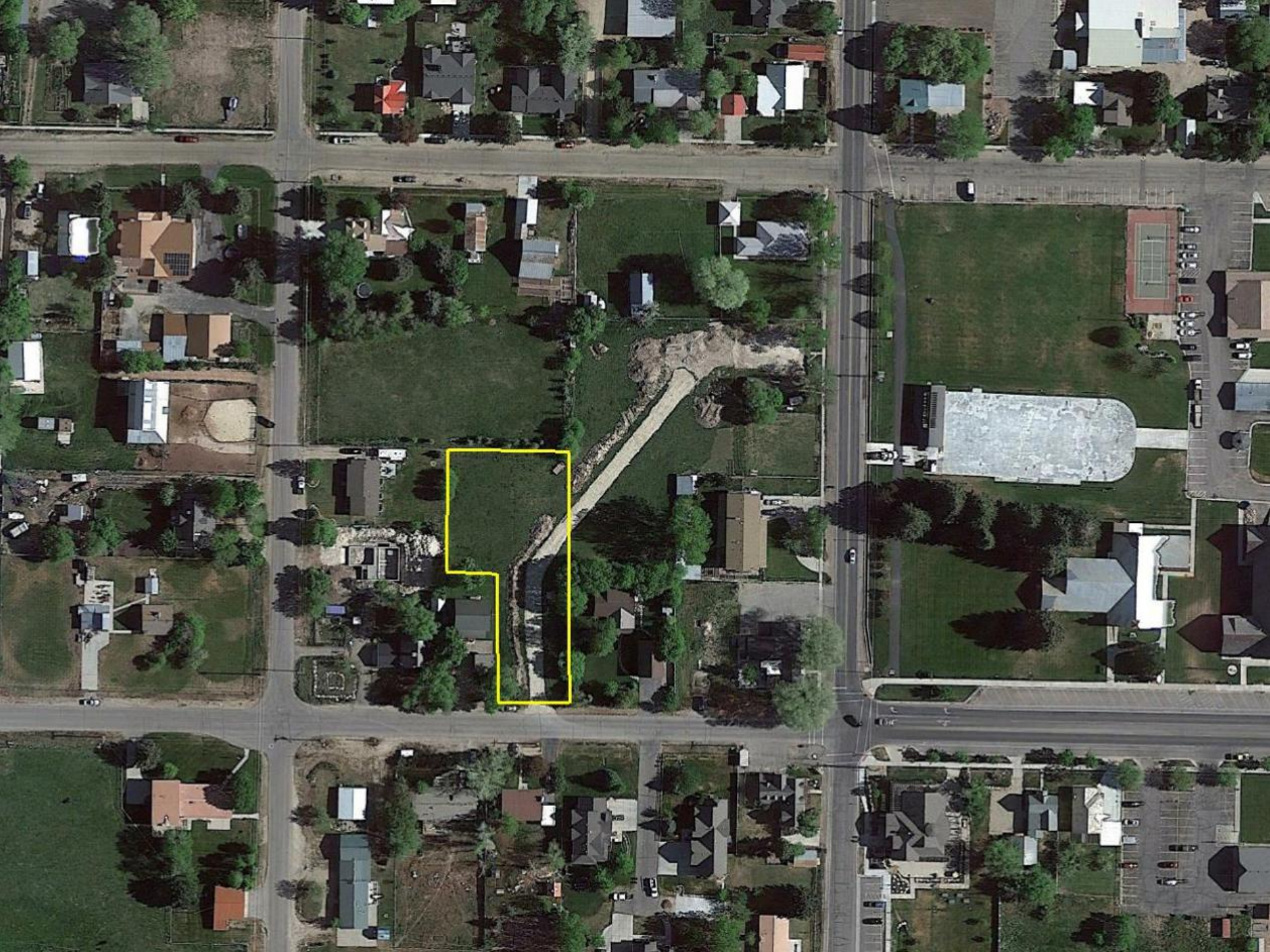
SMALL-SCALE SUBDIVISION

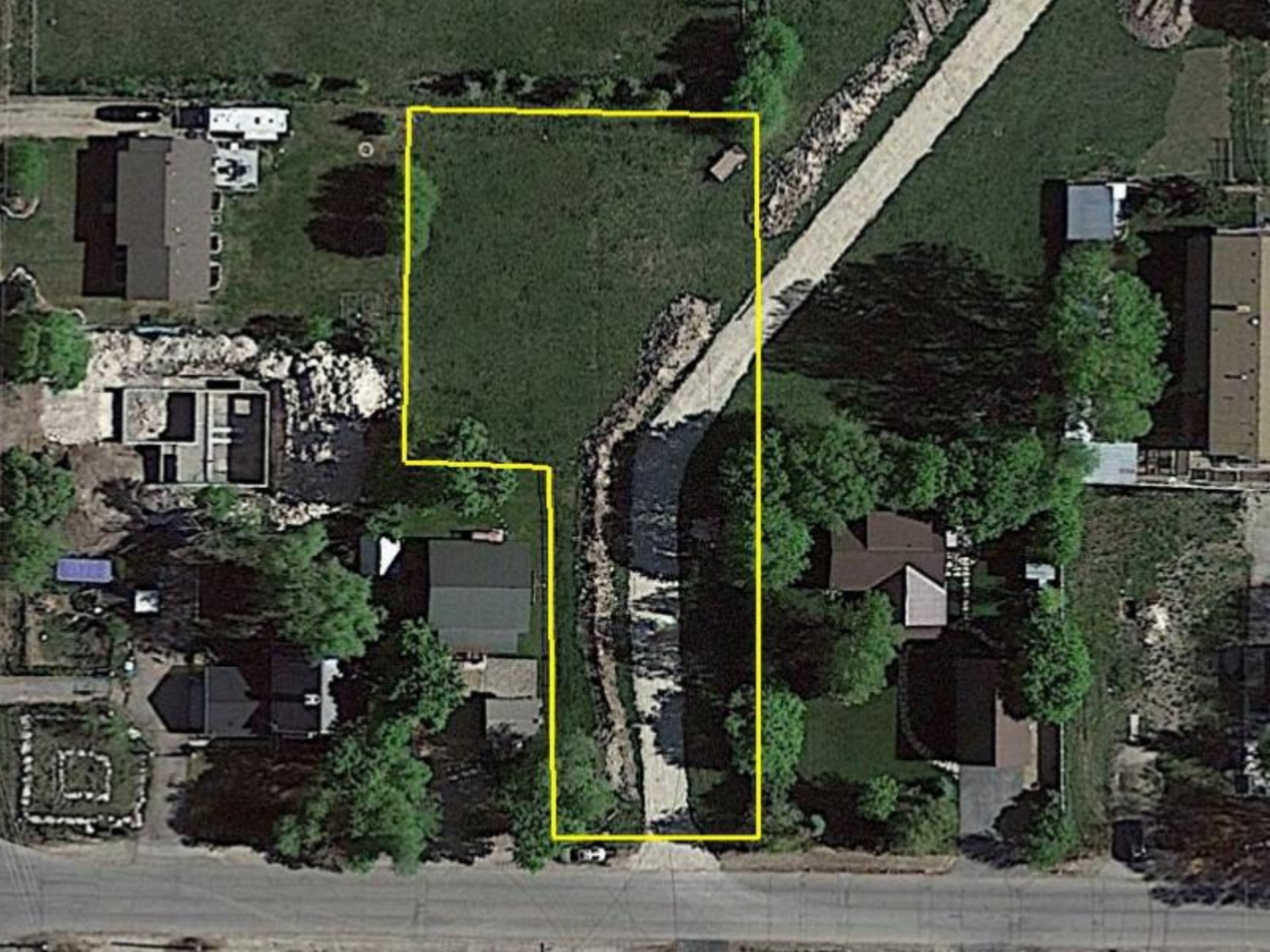


# LAND USE SUMMARY

- 0.62-acre parcel
- R-1-7 zoning
- Proposal contains one lot
- Site of a future dwelling or any other permitted and conditional uses allowed in this zone
- Frontage on Main Street
- The lot will connect to the Midway Sanitation District's sewer line, Midway City's culinary water line, and Midway Irrigation Company's secondary water line

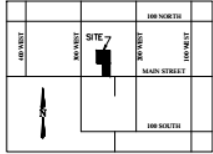






# SPRINGER HOMESTEAD SUBDIVISION

PART OF BLOCK 9, MIDWAY SURVEY, LOCATED IN THE SOUTHEAST  
 QUARTER OF SECTION 34, TOWNSHIP 3 SOUTH, RANGE 4 EAST EAST,  
 SALT LAKE BASE AND MERIDIAN  
 MIDWAY, WASATCH COUNTY, UTAH



VICINITY MAP  
(SHEET 2)

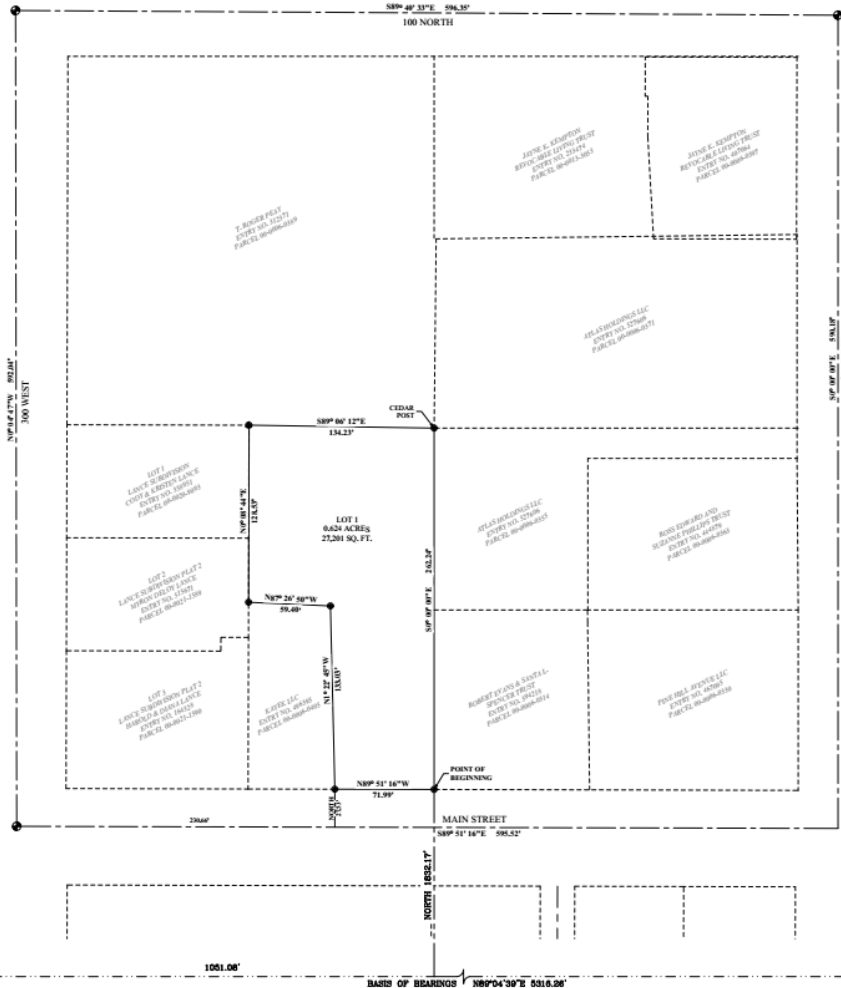


### LEGEND

- SET REBAR/CAP MARKED "LEGEND ENGINEERING PL5183760"
  - FOUND BRASS CAP STREET MONUMENT
- BOUNDARY LINE  
 TITLE LINES

FOUND WASATCH COUNTY  
 BRASS CAP MONUMENT FOR  
 THE SOUTH QUARTER CORNER,  
 SECTION 34, T3S, R4E, S34M

FOUND WASATCH COUNTY  
 BRASS CAP MONUMENT FOR  
 THE SOUTH QUARTER CORNER,  
 SECTION 35, T3S, R4E, S34M



**BOUNDARY DESCRIPTION**

BEGINNING AT THE SOUTHEAST CORNER OF LOT 4, BLOCK 4, MIDWAY SURVEY OF BUILDING LOTS, SAID POINT BEING NORTH 89°04'30" EAST 86.14 FEET AND NORTH 89°11'18" EAST FROM THE SOUTH QUARTER CORNER OF SECTION 34, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN;  
 THENCE NORTH 89°04'30" EAST 71.60 FEET;  
 THENCE NORTH 89°04'30" WEST 71.60 FEET;  
 THENCE NORTH 89°04'30" WEST 71.60 FEET TO THE EAST LINE OF THE LANCE SUBDIVISION PLAT 2;  
 THENCE NORTH 89°04'30" WEST 134.23 FEET ALONG THE EAST LINE OF THE LANCE SUBDIVISION PLAT 2 AND THE LANCE SUBDIVISION TO THE NORTHEAST CORNER OF LOT 1 OF THE LANCE SUBDIVISION;  
 THENCE SOUTH 89°04'30" EAST 134.23 FEET TO THE NORTHEAST CORNER OF LOT 1 OF SAID BLOCK 9;  
 THENCE SOUTH 12.624 FEET TO THE POINT OF BEGINNING.

CONTAINS 1 LOT  
 8.624 ACRES  
 27,281 SQUARE FEET, MORE OR LESS.

**BASIS OF BEARINGS**

THE BASIS OF BEARINGS FOR THIS SURVEY WAS ESTABLISHED AS NORTH 89°04'30" EAST FROM THE SOUTH QUARTER CORNER OF SECTION 34 AND SECTION 35, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN.

**SURVEYOR'S CERTIFICATE**

IN ACCORDANCE WITH SECTION 48-6-6(4) OF THE UTAH CODE, I, CURRY & NEERSON, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR HOLDING LICENSE NUMBER 12106 IN ACCORDANCE WITH TITLE 48, CHAPTER 21, OF THE PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS LICENSING ACT, AND I HAVE PERSONALLY CONDUCTED THIS SURVEY AND I HEREBY CERTIFY THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THE PLAT IN ACCORDANCE WITH SECTION 48-6-6(4) OF THE UTAH CODE, AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT.

**OWNER'S DEDICATION**

KNOW ALL MEN BY THESE PRESENTS THAT WE, THE UNDERSIGNED (OWNER(S)) OF THE TRACT OF LAND SHOWN AND DESCRIBED ON THIS SUBDIVISION, HAVING CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS AND EASEMENTS TO BE HEREAFTER KNOWN AS THE SPRINGER HOMESTEAD SUBDIVISION, DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HAND THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

DAVID & KAYLA SPRINGER

PRINT NAME \_\_\_\_\_ PRINT NAME \_\_\_\_\_  
 SIGNATURE \_\_\_\_\_ SIGNATURE \_\_\_\_\_  
 DATE \_\_\_\_\_ DATE \_\_\_\_\_

**ACKNOWLEDGEMENT**

STATE OF UTAH )  
 COUNTY OF UTAH )

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY OF \_\_\_\_\_, IN SAID STATE OF \_\_\_\_\_, THE SIGNERS OF THE ABOVE OWNER'S DEDICATION, WHO AFTER BEING FULLY SHOWN, ACKNOWLEDGED TO ME THAT THEY SIGNED THE OWNER'S DEDICATION FREELY AND VOLUNTARILY FOR THE PURPOSES MENTIONED.

NOTARY PUBLIC COMMISSIONED IN UTAH \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

PRINT NAME \_\_\_\_\_ RESIDING IN \_\_\_\_\_ COUNTY \_\_\_\_\_

**ACCEPTANCE BY MIDWAY CITY**

THE CITY COUNCIL OF MIDWAY CITY, WASATCH COUNTY, STATE OF UTAH, HEREBY APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL LOTS, STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

APPROVED: MAYOR \_\_\_\_\_ ATTEST: CLERK-RECORDER (SEE SEAL BELOW)  
 APPROVED: CITY ENGINEER (SEE SEAL BELOW) APPROVED: CITY ATTORNEY \_\_\_\_\_

**PLANNING APPROVAL**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_, BY THE MIDWAY CITY PLANNING COMMISSION:

PLANNING DIRECTOR \_\_\_\_\_ CHAIRMAN \_\_\_\_\_

**COUNTY SURVEYOR**

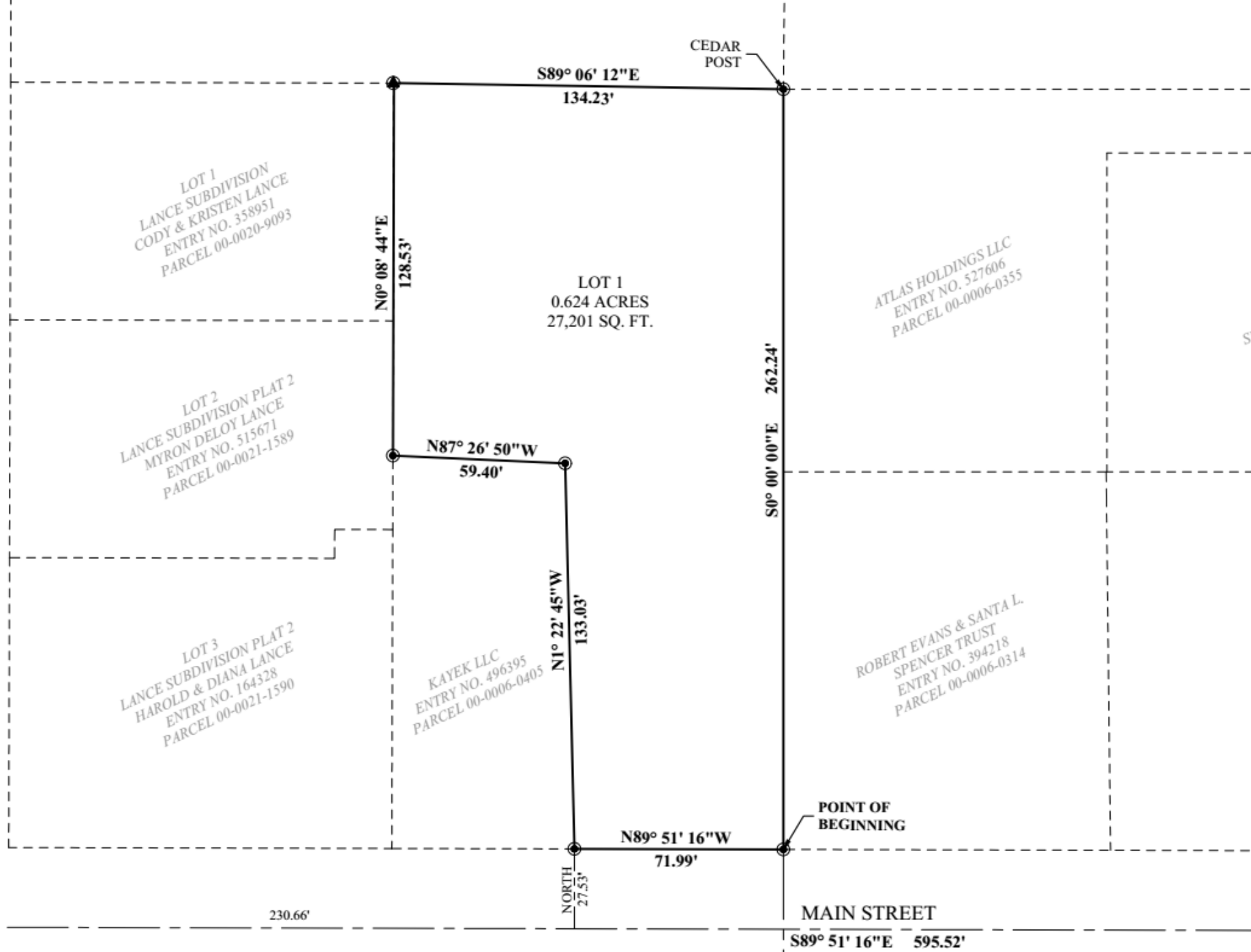
MIDWAY SANITATION DISTRICT DATE \_\_\_\_\_ APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.  
 MIDWAY DEDICATION COMPANY DATE \_\_\_\_\_ R.O.L.S. \_\_\_\_\_ COUNTY SURVEYOR \_\_\_\_\_

**SURVEYOR SEAL** **CITY ENGINEER SEAL** **CLERK/RECORDER SEAL**

**LEGEND ENGINEERING**  
 52 WEST 100 NORTH  
 HERRIS CITY, UT 84632  
 PHONE: 435-854-4828  
 www.legendengineering.com

Recorder DATE: 1/10/23  
 SCALE: 1"=40'  
 PAGE: 1 OF 1  
 PROJECT: S22-026

REVIEW COPY







# RECOMMENDED WATER REQUIREMENT

- 0.62-acre parcel (27,007.2 sq. ft.)
  - Impervious area for dwelling, accessory structures, hard surfaces
    - 0.18 acres (8,000 sq. ft.)
  - Irrigated acreage
    - 0.44 acres x 3 = 1.32 acre feet
- 1 New culinary connection for new dwelling
  - 0.8 acre feet
- 2.12 acre feet requirement

# POSSIBLE FINDINGS

- The proposed lot does meet the minimum requirements for the R-1-7 zoning district.
- The proposal does meet the intent of the General Plan for the R-1-7 zoning district.
- The applicant will be required to install or bond for all unfinished required improvements prior to the plat being recorded.
- The duration of Preliminary/Final Approval shall be for one year from the date of approval of the development by the City Council.