



**PLANNING COMMISSION MEETING STAFF REPORT**

**DATE OF MEETING:** February 14, 2023  
**NAME OF PROJECT:** Springer Homestead  
**NAME OF APPLICANT:** Kayla and David Springer  
**OWNER:** Kayla and David Springer  
**AGENDA ITEM:** Preliminary/Final Approval  
**LOCATION OF ITEM:** 250 West Main  
**ZONING DESIGNATION:** R-1-7

**ITEM: 2**

Kayla and David Springer are requesting preliminary/final approval of a one-lot subdivision to be known as Springer Homestead. The one lot totals 0.62 acres and is located at 250 West Main Street and is in the R-1-7 zone.

**BACKGROUND:**

This request is for preliminary/final approval of a small-scale subdivision on 0.62 acres that will contain one lot. The proposed lot will obtain frontage along Main Street. The property is in the R-1-7 zone which is a primarily a residential zone. The lot complies with the minimum requirements of frontage, width, and acreage for a lot in the R-1-7 zone. The applicant will install all required infrastructure for the proposed subdivision

which includes installing the necessary laterals for culinary water, secondary water, and sewer service along with any private utilities that will service the lot.

The current use of the property is agriculture. There is a sewer main and culinary water main that have been installed on the property that will service this lot along with the adjacent Springer Village which is a mixed-use project with commercial residential and commercial uses.

The applicant has not identified any sensitive lands that are in the subdivision area.

#### **LAND USE SUMMARY:**

- 0.62-acre parcel
- R-1-7 zoning
- Proposal contains one lot
- Site of a future dwelling or any other permitted and conditional uses allowed in this zone
- Frontage on Main Street
- The lot will connect to the Midway Sanitation District's sewer line, Midway City's culinary water line, and Midway Irrigation Company's secondary water line

#### **ANALYSIS:**

*Existing Culinary and Sewer Mains* – In the previous year, the developer of the Springer Village installed a sewer main and culinary water main that will service this lot along with the adjacent Springer Village which is a mixed-use project with commercial residential and commercial uses. An easement that complies with Midway requirements for the culinary line and an easement for the sewer line that complies with Midway Sanitation District's (MSD) requirements will be recorded on the Springer Homestead plat. MSD also requires a separate easement document to be recorded that will appear on any title search of the property.

*Secondary Water Connection* – The property will continue to be connected to Midway Irrigation Company's water system. A secondary water meter will need to be installed as part of the subdivision approval process. The applicant will need to provide a will serve letter from Midway Irrigation Company before the City Council reviews the proposal.

*Sensitive Lands* – The applicant has not identified any sensitive lands that are in the subdivision area.

*Setbacks* – Any future construction will need to comply with the setback requirements for the zone where any future structures will be located.

*Fire Flow* - A fire hydrant will need to be located within 500’ of the structures, measured by the route of a fire hose from the fire hydrant to the future building sites.

*Access* – The proposed lot has frontage and direct access from Main Street.

**WATER BOARD RECOMMENDATION:**

The Water Board will review this proposal on the meeting scheduled for February 6, 2023.

**POSSIBLE FINDINGS:**

- The proposed lot does meet the minimum requirements for the R-1-7 zoning district.
- The proposal does meet the intent of the General Plan for the R-1-7 zoning district.
- The applicant will be required to install or bond for all unfinished required improvements prior to the plat being recorded.
- The duration of Preliminary/Final Approval shall be for one year from the date of approval of the development by the City Council. If the Final Plat is not recorded with the County Recorder within the one-year period of time, the development’s approval shall be voided, and both Preliminary and Final Approvals must be re-obtained to reinstate the project, unless, upon request by the applicant and on a showing of extenuating circumstances, the City Council extends the time limit for plat recording, with or without conditions. No more than three one-year extensions will be allowed. The granting or denying of any extension, with or without conditions, is within the sole discretion of the City Council, and an applicant has no right to receive such an extension.

**ALTERNATIVE ACTIONS:**

1. Recommendation of Approval (conditional). This action can be taken if the Planning Commission finds the proposal complies with the requirements of the Land Use Code.
  - a. Accept staff report
  - b. List accepted findings
  - c. Place condition(s) if needed
  
2. Continuance. This action can be taken if the Planning Commission finds that there are unresolved issues.
  - a. Accept staff report
  - b. List accepted findings
  - c. Reasons for continuance
    - i. Unresolved issues that must be addressed
  - d. Date when the item will be heard again
  
3. Recommendation of Denial. This action can be taken if the Planning Commission finds that the request does not comply with the ordinance.
  - a. Accept staff report
  - b. List accepted findings
  - c. Reasons for denial

**PROPOSED CONDITIONS:**

1. None

February 14, 2023

Midway City  
Attn: Michael Henke  
75 North 100 West  
Midway, Utah 84049  
(sent by E-mail)

**Subject: Springer Residence - 1 lot Subdivision – Preliminary / Final Approval**

Dear Michael:

Horrocks Engineers recently reviewed the Springer Residence one lot subdivision for Preliminary/Final approval. The following comments should be addressed prior to City Council approval.

General Comments

- The plan proposes one 0.62-acre lot and is located at approximately 258 West Main Street.

Water

- The proposed development will be served from the Gerber Mahogany pressure zone.
- A fire hydrant should be within 600' of the proposed home.
- The Springer Village Mixed Use development is installing an 8" water line across this property. A 20' public utility easement should be centered across the water line.

Roads

- Because the lot fronts the existing Main Street, no road improvements will be required for the proposed one lot subdivision.

Storm Drain

- With no curb & gutter along Main Street, the existing shoulder will contain the roadway drainage.

Trails

- No trails are shown to be constructed within the development. The development should participate in the cost to install a trail across their frontage and the funds shall be placed in the Midway City General Trial Fund.

Irrigation

- The proposed lot will be served by pressurized irrigation from Main Street.

Please feel free to call our office with any questions.

Sincerely,  
HORROCKS ENGINEERS



Wesley Johnson, P.E.  
Midway City Engineer

cc: Travis Nokes Developer, (sent by E-mail)

# Midway City Corporation



Midway

Mayor: Celeste T. Johnson  
City Council Members  
Lisa Christen • Jeffery Drury  
J.C. Simonsen • Steve Dougherty  
Kevin Payne

75 North 100 West  
P.O. Box 277  
Midway, Utah 84049  
Phone: 435-654-3223  
Fax: 435-654-4120  
[midwaycityut.org](http://midwaycityut.org)

## Springer Homestead Subdivision Preliminary Approval

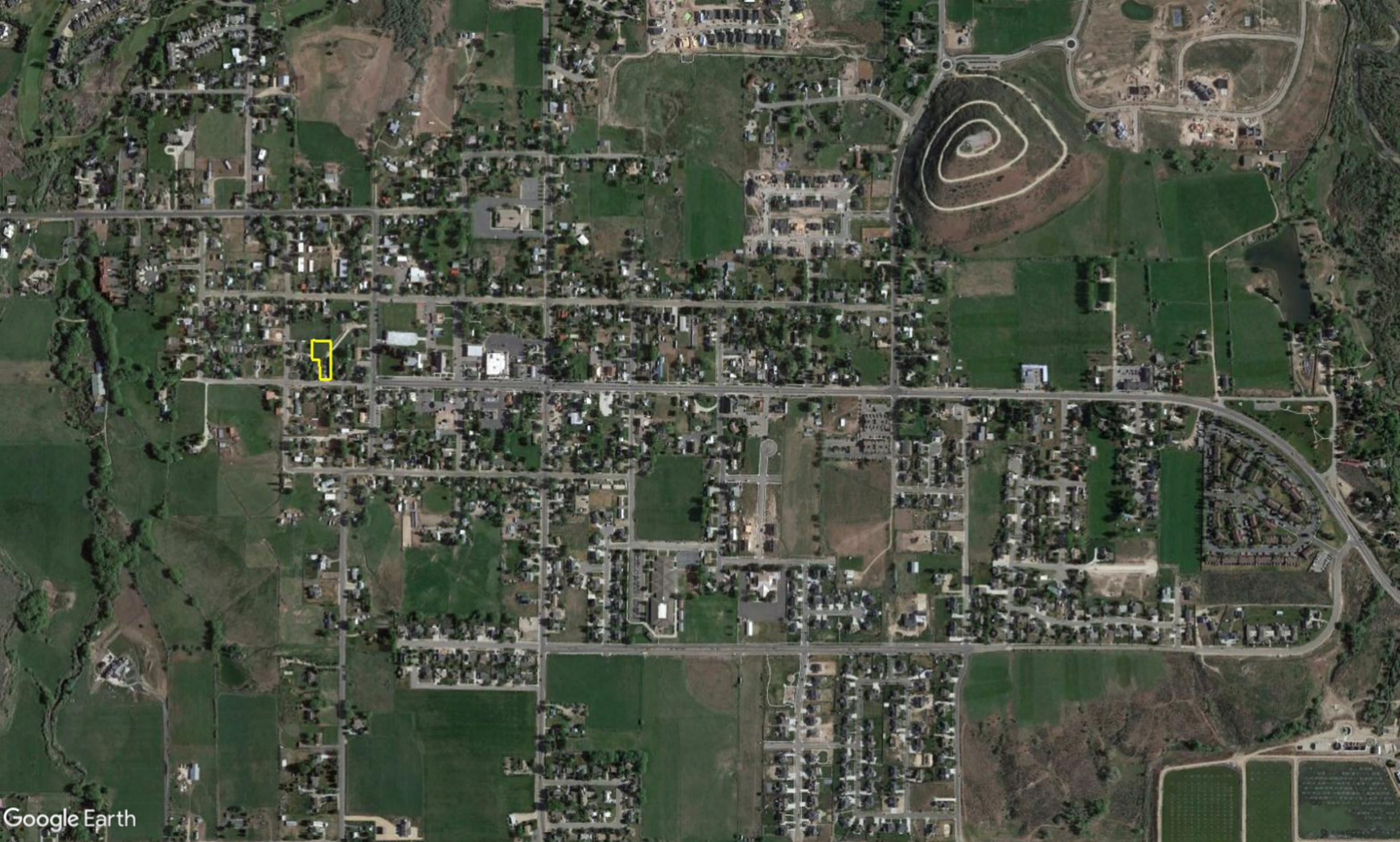
February 6, 2023

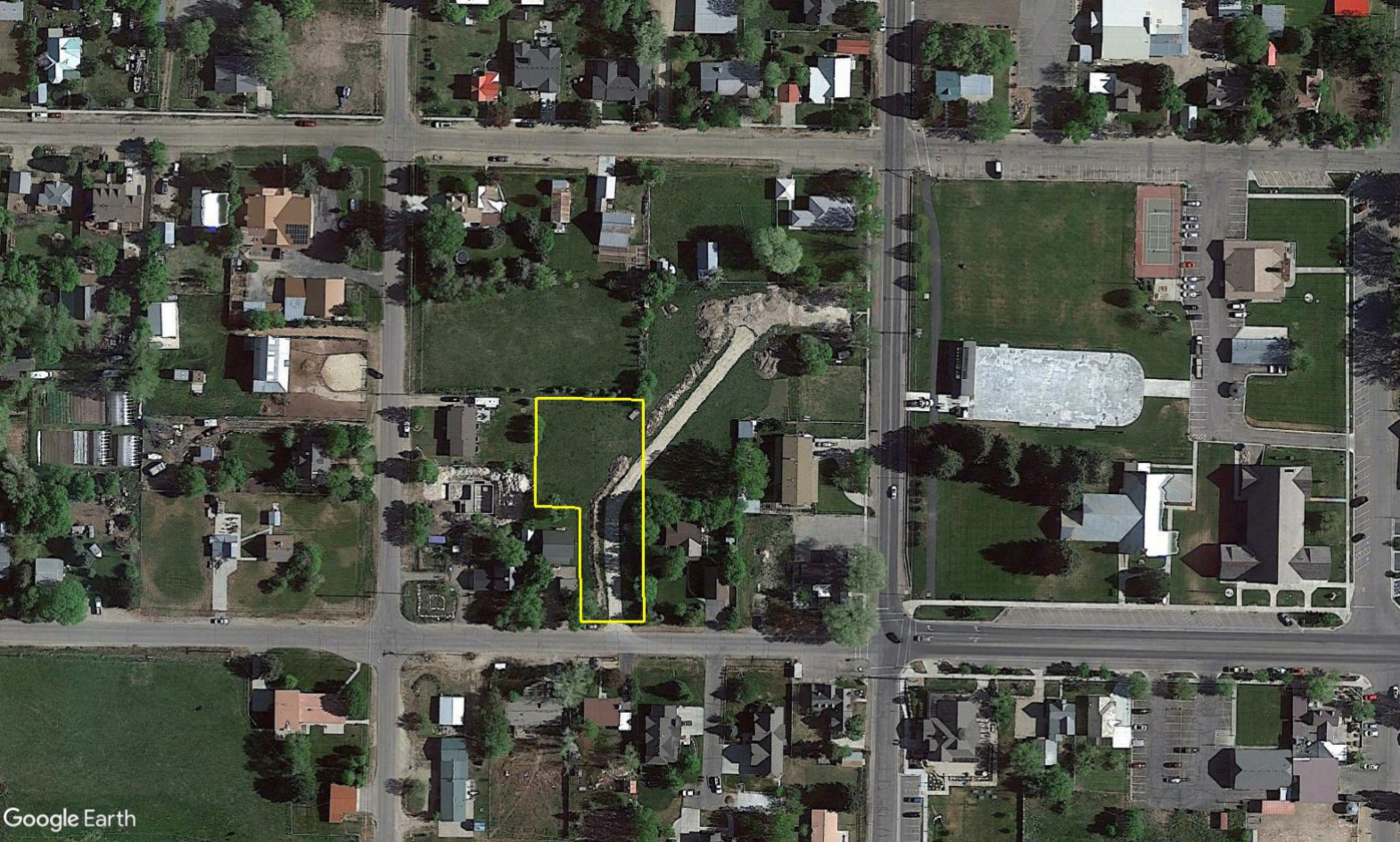
Michael Henke Midway City Planning Director,

I have reviewed the preliminary plans for Springer Homestead Subdivision for compliance with the 2018 International Fire Code (2018 IFC). The proposed plan meets the fire code requirements in the 2018 IFC including Appendix D for fire apparatus access. I have no fire code concerns with these preliminary plans that have already been approved by the Midway City Planning Commission and are now awaiting preliminary approval from the Midway City Council.

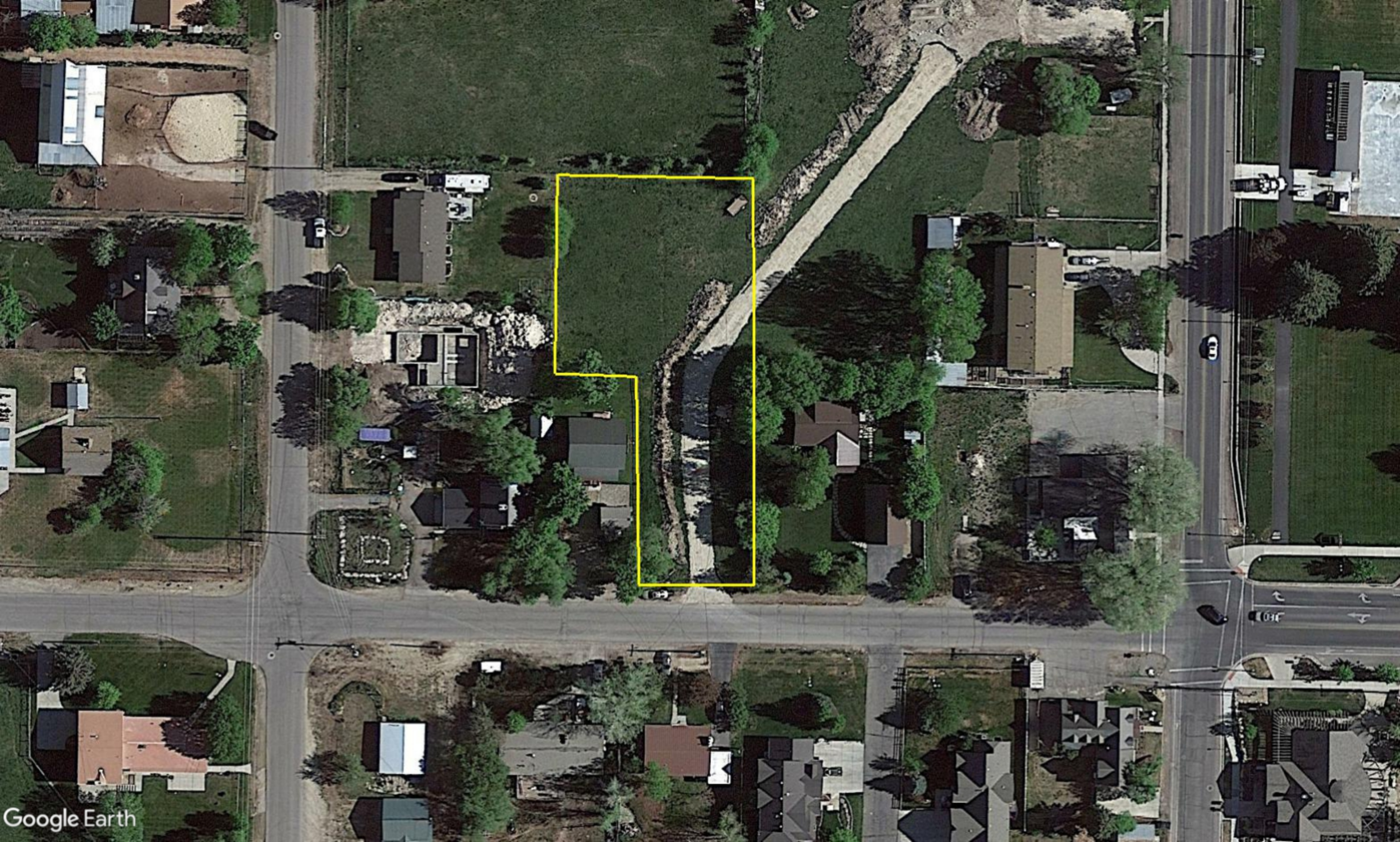
I will perform a final approval fire review of the Springer Homestead Subdivision plans prior to final approval.

Tex R. Couch CBO/MCP  
Midway City Building Official/Fire Marshal  
75 West 100 North  
Midway, Utah 84049  
[tcouch@midwaycityut.org](mailto:tcouch@midwaycityut.org)  
(435)654-3223 Ext. 107











# SPRINGER RESIDENCE

## 250 WEST MAIN STREET

### MIDWAY, UTAH 84049

#### VICINITY MAP



#### INDEX

- C-0 Cover Sheet
- C-1 Site Plan
- C-2 Grading Plan
- C-3 Utility Plan

OWNER  
 DAVID AND KAYLA G SPRINGER  
 DAVIDMICHAELSPRINGER@GMAIL.COM  
 (801) 889-5269

CIVIL ENGINEER  
 LEGEND ENGINEERING  
 CAL JOHNSON  
 52 WEST 100 NORTH  
 HEBER CITY, UTAH 84032  
 (435) 654-4828

CONTRACTOR  
 DISCOVER DESIGN CO.  
 TRAVIS NOKES  
 (801) 725-9900

SURVEYOR  
 LEGEND ENGINEERING  
 CORY NEERINGS  
 52 WEST 100 NORTH  
 HEBER CITY, UTAH 84032  
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ARCHITECT  
 ORDER ARCHITECTURE  
 PAUL NEILSON  
 4478 W DORENA LANE  
 SOUTH JORDAN, UTAH 84009  
 (801) 597-7641

#### LEGEND & ABBREVIATION TABLE

R.O.W./PROPERTY LINE		INVERT ELEVATION	IE
EASEMENT LINE		TOP BACK CURB	TBC
CENTER LINE		TOP ASPHALT	TA
PROPOSED TRAIL		TOP OF GRATE	TOG
PROPOSED WATER LINE		FINISHED GRADE	FG
PROPOSED PRESSURIZED IRRIGATION		TOP OF CONCRETE	TC
PROPOSED SEWER LINE		HIGH WATER ELEVATION	HWE
PROPOSED STORM DRAIN LINE		CATCH BASIN	
EXISTING SEWER LINE		EXISTING STREET LIGHT	
EXISTING WATER LINE		STORM DRAIN MANHOLE	
EXISTING STORM DRAIN LINE		EXISTING FIRE HYDRANT	
EXISTING CONTOUR		EXISTING WATER VALVE	
FINISHED CONTOUR		EXISTING WATER METER	
EXISTING CURB AND GUTTER		EXISTING SEWER MANHOLE	
PROPOSED CURB AND GUTTER		PROPOSED FIRE HYDRANT	
		PROPOSED WATER VALVE	
		PROPOSED WATER METER	
		PROPOSED SEWER CLEANOUT	
		PROPOSED SEWER MANHOLE	

**LEGAL DESCRIPTION:**  
 Beginning at the Southeast corner of Lot 2, Block 9, Midway Survey of building lots, said point being North 89°04'39" East 1051.08 feet and North 1832.17 feet from the South Quarter corner of Section 34, Township 3 South, Range 4 East, Salt Lake Base and Meridian;  
 Thence North 89°51'16" West 71.99 feet;  
 Thence North 1°22'45" West 133.03 feet;  
 Thence North 87°26'50" West 59.40 feet to the East line of the Lance Subdivision Plat 2;  
 Thence North 0°08'44" East 128.53 feet along the East line of the Lance Subdivision Plat 2 and the Lance Subdivision;  
 Thence South 89°06'12" East 134.23 feet to the Northeast corner of Lot 3 of Block 9;  
 Thence South 262.24 feet to the Point of Beginning.

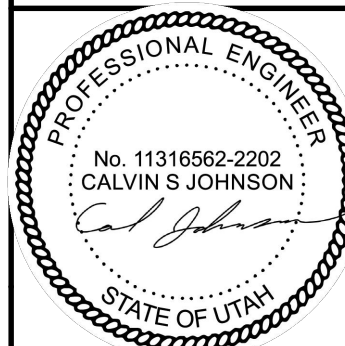
Contains 0.624 Acres or 27,201 Square Feet, more or less

NO.	REVISIONS	BY	DATE

LEGEND ENGINEERING  
 52 WEST 100 NORTH  
 HEBER CITY, UT 84032  
 PHONE: 435-654-4828  
 www.legendengineering.com

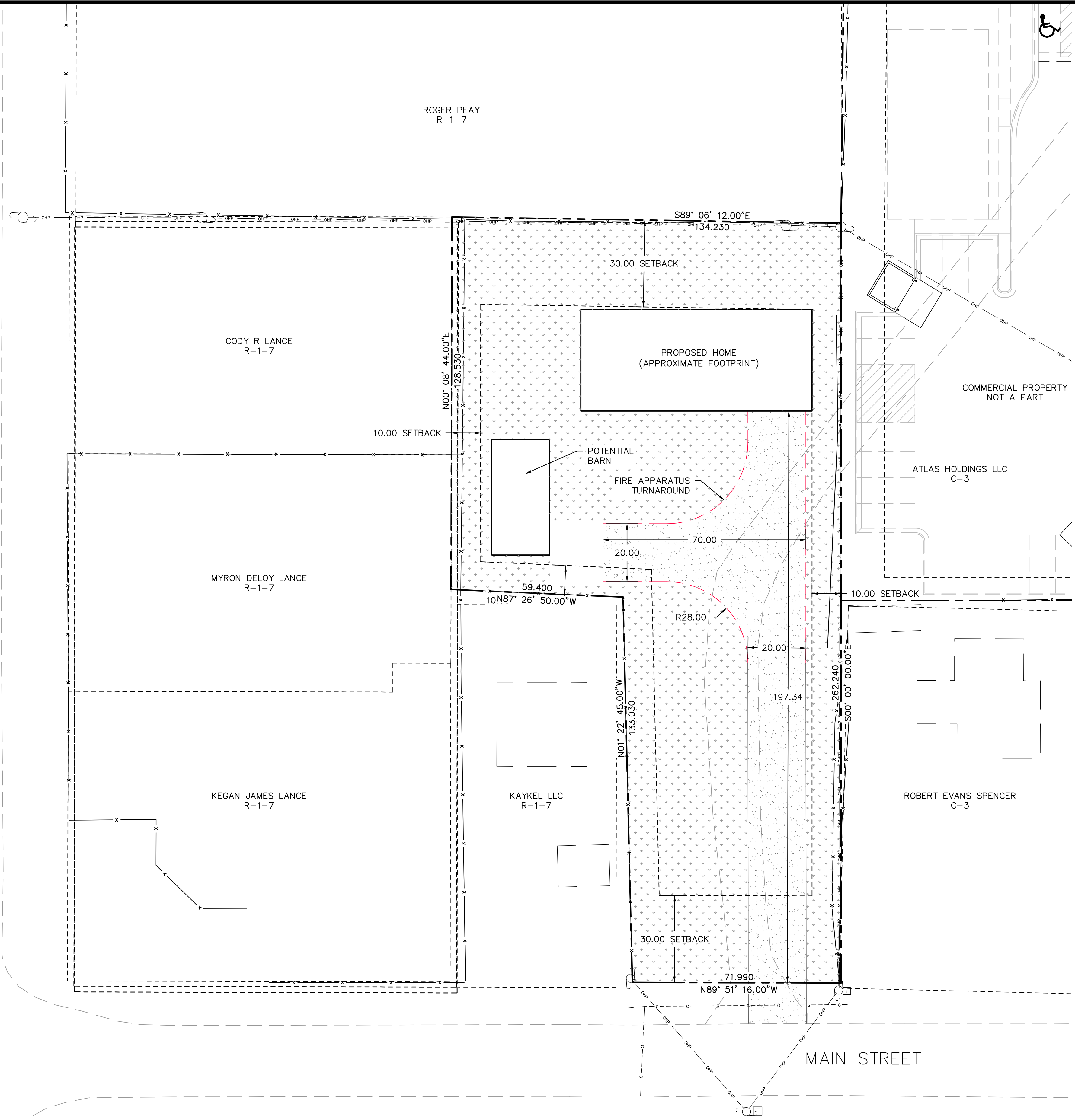


SPRINGER RESIDENCE  
 COVER SHEET  
 250 WEST MAIN STREET, MIDWAY, UTAH 84049



SHEET:  
**C-0**

300 WEST



- LOT LINES (PROPERTY)
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- SETBACK LINE
- EXISTING FENCE
- LANDSCAPE AREA
- PAVED AREA

**SITE DATA**

LOT AREA:	27,201	SF (0.62 ACRES)
ROOF AREA:	3,691	SF± 13.6%
PAVEMENT AREA:	5,560	SF± 20.4%
LANDSCAPE AREA:	17,950	SF± 66.0%

**BUILDING DATA**

ZONE: R-1-7

SETBACKS:

FRONT YARD:	30'
SIDE YARD:	10'
REAR YARD:	30'

- GENERAL NOTES:**
- CONTRACTOR SHALL CALL 811 PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES AND STRUCTURES PRIOR TO CONSTRUCTION.
  - ALL PROPOSED WATER LINES SHALL HAVE A MINIMUM OF 5' OF COVER.
  - ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL AS PER CITY STANDARDS.
  - ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES SHALL BE REPLACED IN KIND.
  - SEE UTILITY PLAN FOR CONSTRUCTION OF SEWER AND WATER LINES.
  - ALL WORK SHALL BE ACCORDING TO CITY STANDARDS.

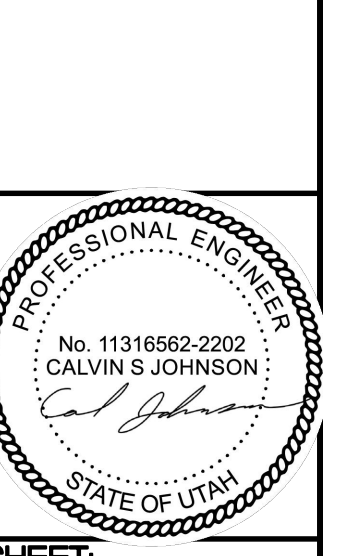
1" = 20'  
Scale in Feet

NO.	REVISIONS	BY	DATE

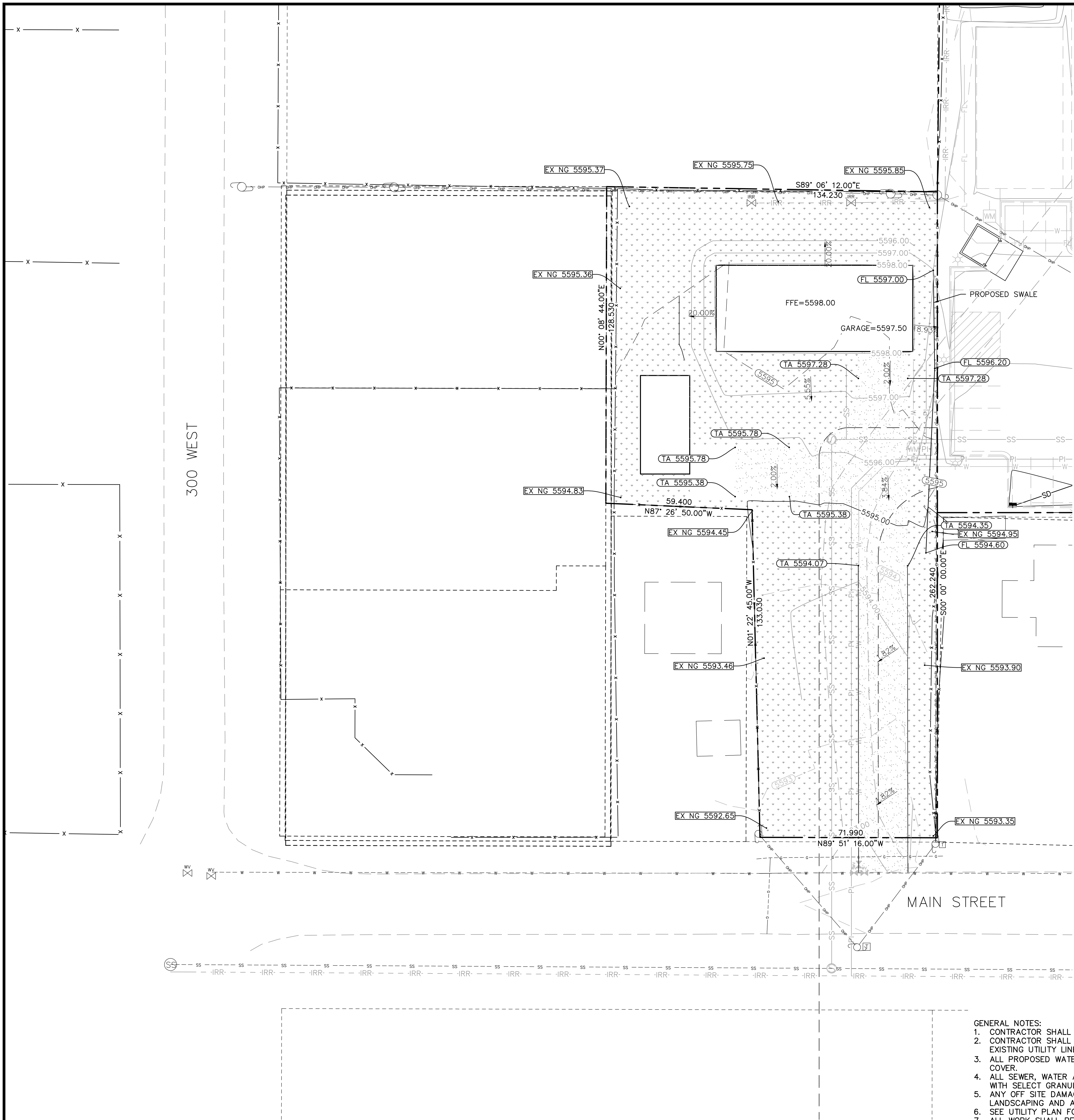
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**SPRINGER RESIDENCE  
 SITE PLAN  
 250 WEST MAIN STREET, MIDWAY, UTAH 84049**

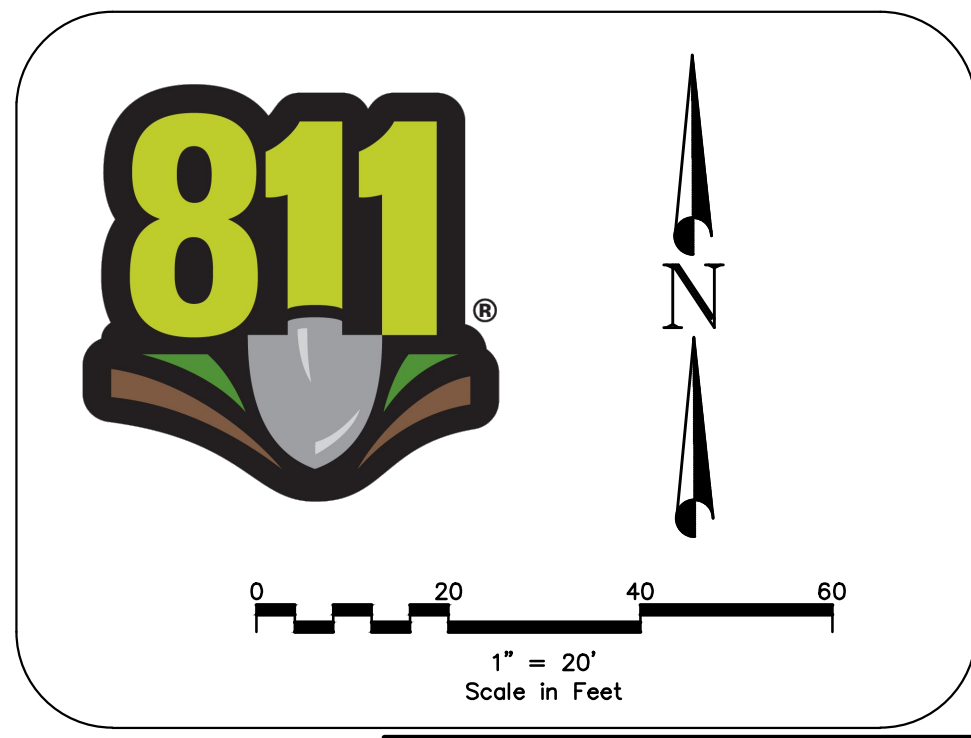


SHEET: **C-1**  
 DATE: 1/6/2023



LEGEND	
LOT LINES (PROPERTY)	---
EXISTING CURB AND GUTTER	---
PROPOSED CURB AND GUTTER	---
PROPOSED STORM DRAIN LINE	SD
EXISTING STORM DRAIN LINE	-SD-
PROPOSED SEWER LINE	SS
EXISTING SEWER LINE	-SS-
PROPOSED WATER LINE	W
EXISTING WATER LINE	-W-
EXISTING FENCE	-X-
GRADE BREAK	GRADE BREAK
FINISH GRADE CONTOUR LINES	4960
EXISTING GRADE CONTOUR LINES	4960
FINISH GRADE SLOPE	SLOPE
GRADE BREAK	GB
INVERT ELEVATION	IE
TOP OF GRATE	TOG
TOP OF ASPHALT	TA
TOP BACK OF CURB	TBC
PROPOSED	PROP
EXISTING	EX
FINISHED GRADE	FG
FINISHED FLOOR ELEVATION	FFE
BACK OF SIDEWALK	BOW
LANDSCAPE AREA	[Pattern]
PAVED AREA	[Pattern]

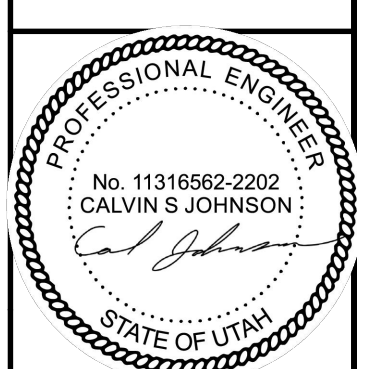
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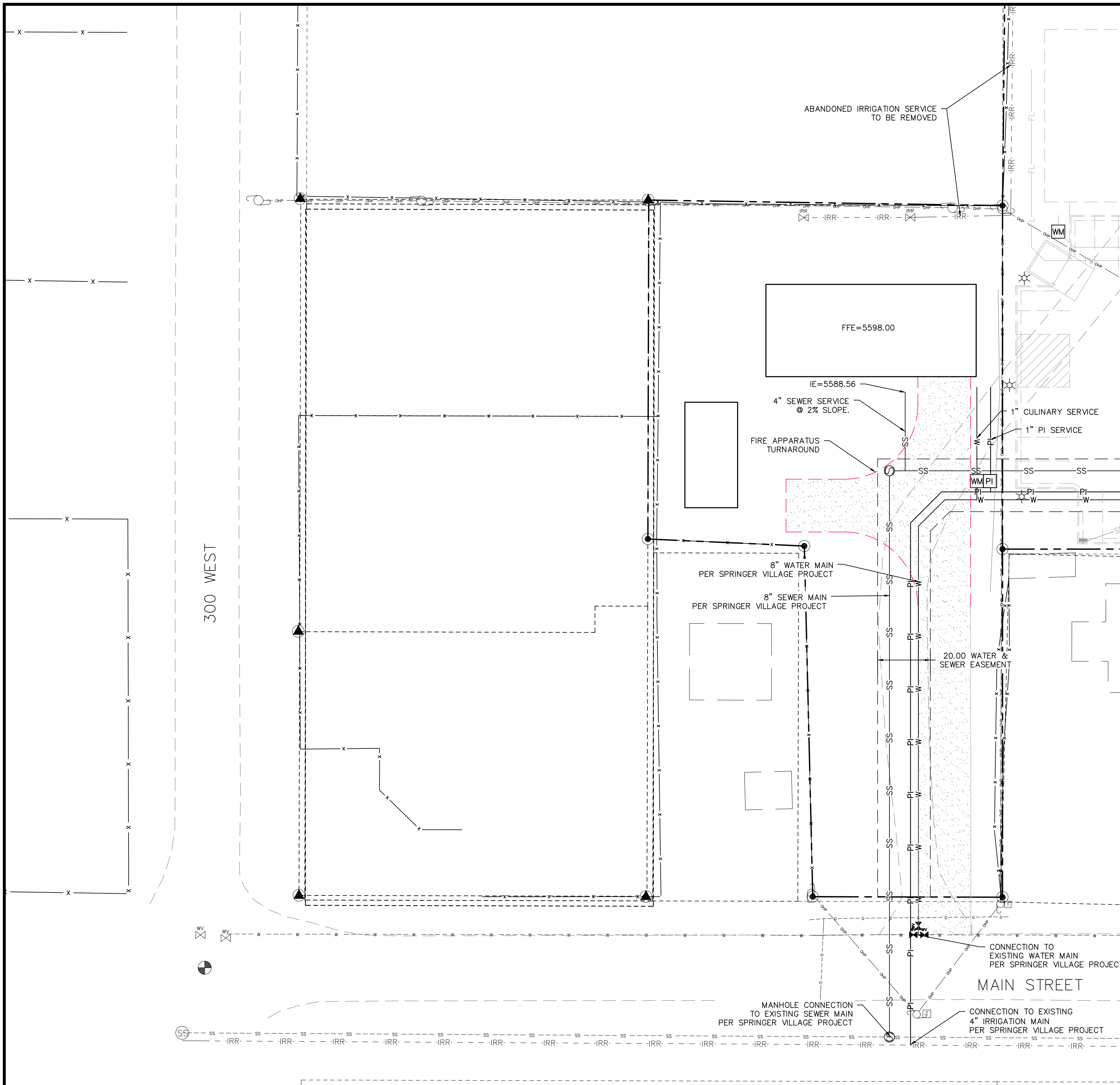
NO.	REVISIONS	BY	DATE

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SPRINGER RESIDENCE  
 GRADING AND DRAINAGE PLAN  
 250 WEST MAIN STREET, MIDWAY, UTAH 84049

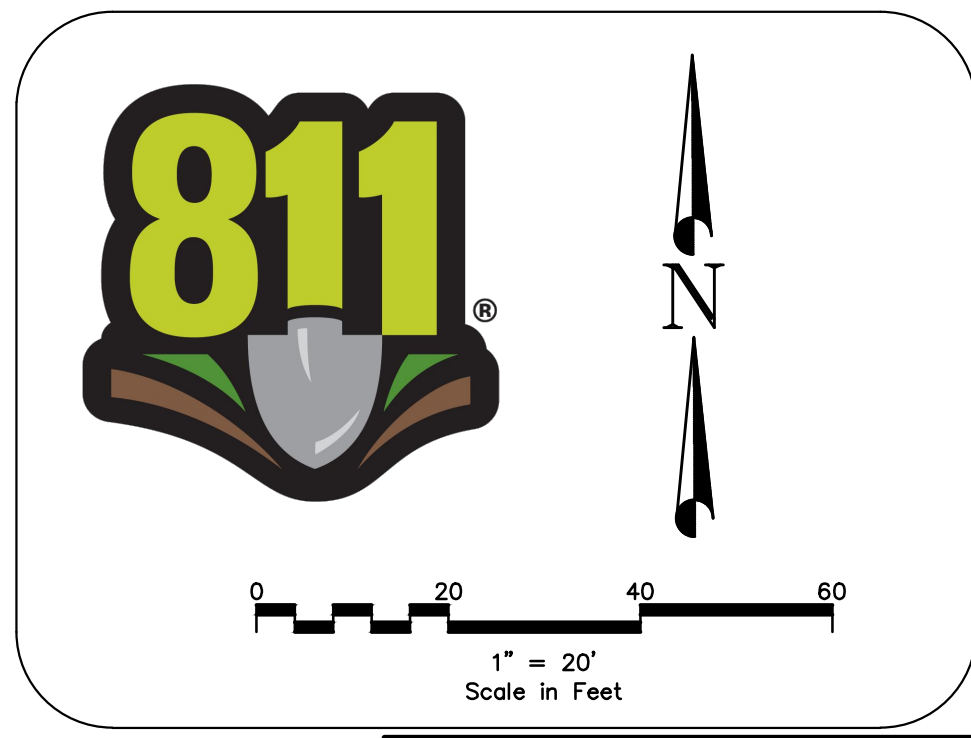


SHEET: **C-2**  
 DATE: 1/6/2023



PROPERTY/ROW LINE	---
EXISTING CURB AND GUTTER	====
PROPOSED CURB AND GUTTER	====
PROPOSED STORM DRAIN LINE	-SD-
EXISTING STORM DRAIN LINE	-SD-
PROPOSED SEWER LINE	-SS-
EXISTING SEWER LINE	-SS-
PROPOSED WATER LINE	-W-
EXISTING WATER LINE	-W-
EXISTING GAS LINE	-G-
INVERT ELEVATION	IE
PROPOSED	PROP
FINISHED FLOOR ELEVATION	FFE
EXISTING FIRE HYDRANT	⊗
EXISTING WATER VALVE	⊗
EXISTING WATER METER	⊗
EXISTING SEWER MANHOLE	⊗
PROPOSED FIRE HYDRANT	⊗
PROPOSED WATER VALVE	⊗
PROPOSED WATER METER	⊗
PROPOSED SEWER CLEANOUT	⊗
PROPOSED SEWER MANHOLE	⊗

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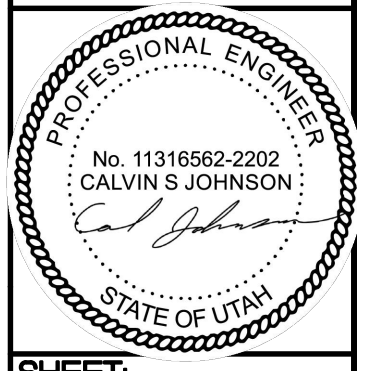


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SPRINGER RESIDENCE  
 UTILITY PLAN  
 250 WEST MAIN STREET, MIDWAY, UTAH 84049



SHEET:  
**C-3**

DATE: 1/6/2023

FINAL SUBDIVISION

ENGINEER: CJ  
 CHECKED BY: LR