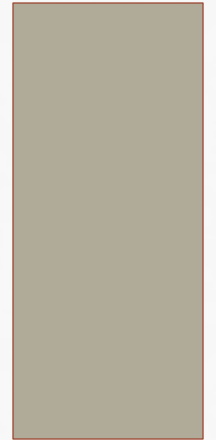


MIDWAY GENERAL PLAN

2023 REVIEW & REVISION



THE TOOLS

General Plan

“A practical vision for the future”



Zoning /Land Use Code

“Where the rubber meets the road”



The General Plan

- A practical vision and plan for the future
- Required by state code
 - Land use
 - Community Vision
 - Transportation
 - Moderate Income Housing
 - Water Conservation Plan
 - Sensitive Lands
 - Not required until 2025
- Not law - The plan is an advisory document or guide to aid land use authority in making decisions “small decisions lead to big results”



REQUIREMENTS OF THE GENERAL PLAN

- Present and future needs of the municipality
- Growth and development of all or any part of land within the municipality
- The municipality may determine the comprehensiveness, extent, and format of the general plan

ONLY ADVISORY

The general plan is an advisory guide for land use decisions unless otherwise provided in the local ordinance

MIDWAY GENERAL PLAN

- Created in 2010 and 2011
- Adopted in 2011
- Reviewed and revised in 2016
- Adopted in 2017
- Review and Revise in 2021 and 2022
- Adopt in 2023

GENERAL PLAN CHAPTERS

- Community Vision
- Land Use
- Transportation
- Moderate Income Housing
- Main Street
- Historic Preservation
- Parks, Recreation, and Trails
- Environment/Sensitive Lands
- Economic Development/Resort Areas
- Open Space

COMMUNITY VISION

- Promote water responsible landscaping and maintenance
- Encourage core area for small commercial uses and attainable housing
- Support of businesses through practical signage and parking requirements, and the provision of housing options for service workers, transit options for workers and customers

LAND USE

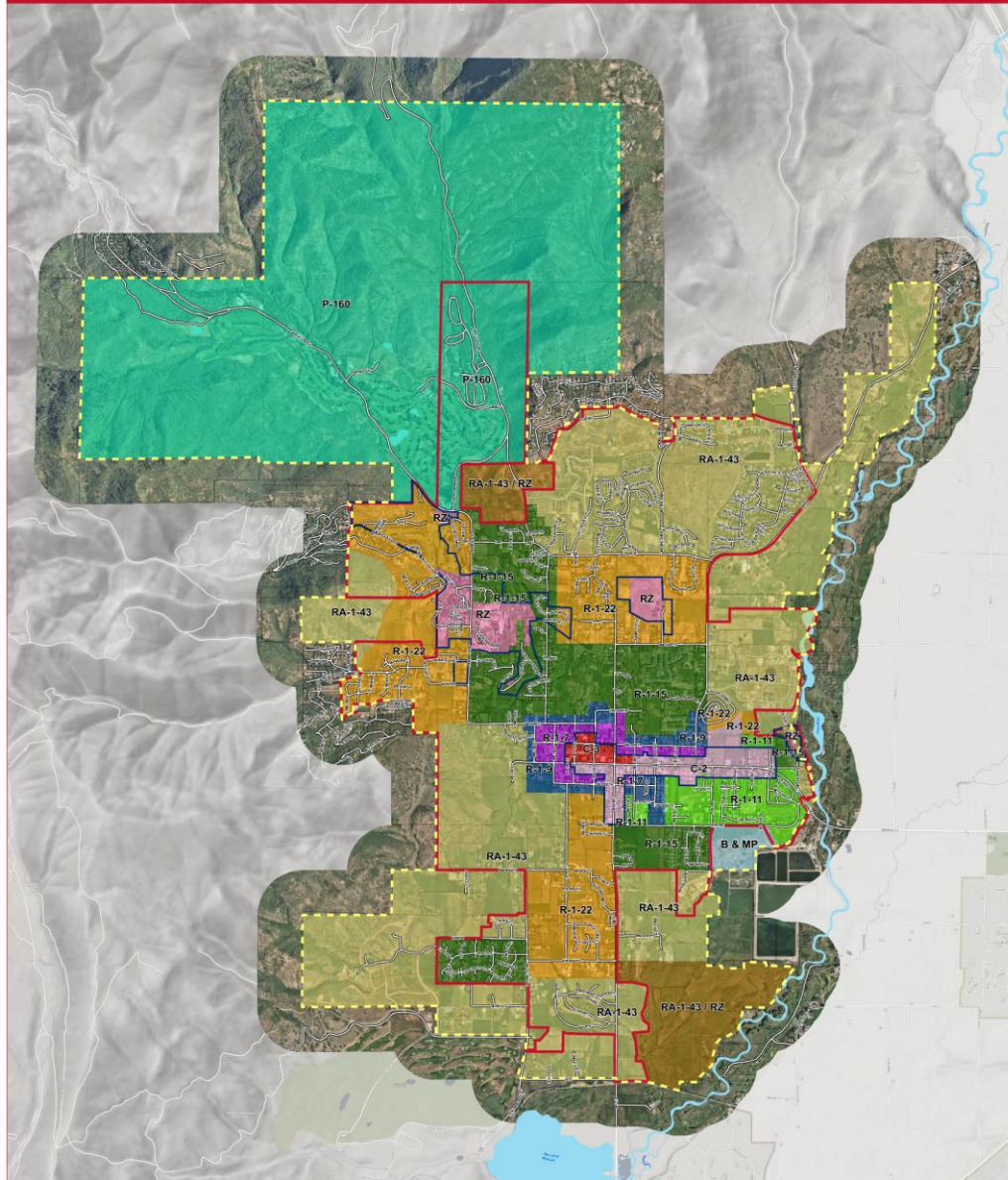
- Housing for a diverse populations, a full mix of building uses to meet the basic residents' needs, walkable streets, engaging public paces, civic facilities defining the City center, and accessible open spaces.
- Consider increasing the growth boundary to include the North Fields and area along River Road to the Hwy 40 intersection.
- R-1-7 and R-1-9: More development code options should be explored that will allow a variety of housing options that may include townhouses and other types of housing that will facilitate the ability to create attainable housing.

LAND USE

- Condominiums and apartments should be considered as part of a mixed-use development.
- Require open space areas between developments that are visible from roads.
- Protect commercial zones for commercial development.
- Parking in City owned rights-of-way should be for the public and not reserved residences.
- Keep rural feel.
- As much as possible, design the community for people, not cars.

Midway, Utah - Land Use

2/22/2022



Legend
Zoning

B & MP	R-1-15	RA-1-43	Midway City Boundary
C-2	R-1-22	RA-1-43 / RZ	Midway Growth Boundary
C-3	R-1-7	RZ	TROD
R-1-11	R-1-9	P-160	Roads



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ITEMS AMENDED BY THE PC

- Removed suggestions of limiting dwelling square feet and volume
- Removed references to explore adding external ADUs