

Midway City Council
17 January 2023
Regular Meeting

Ameyalli Resort,
Phase 1 /
Final Approval



CITY COUNCIL MEETING STAFF REPORT

DATE OF MEETING: January 17, 2023
NAME OF PROJECT: Ameyalli Resort Development
NAME OF APPLICANT: Midway Mtn. Spa LLC
AUTHORIZED REPRESENTATIVE: Chuck Heath
AGENDA ITEM: Ameyalli Resort Phase 1 Final
LOCATION OF ITEM: Approximately 800 North 200 East
ZONING DESIGNATION: Recreational and Resort Zone (RZ)

ITEM: 6

Chuck Heath, representative for Midway Mtn Spa LLC, has submitted a final application for Phase 1 of Ameyalli Resort on 28.87-acres. The final plan includes 24 duplex units and 2 family lodges, private road, public and private trails, and other resort related amenity improvements. The property is located at approximately 800 North 200 East and is in the Resort Zone.

BACKGROUND:

Chuck Heath of Midway Mtn Spa LLC is requesting final approval of Phase 1 of the Ameyalli Resort master plan (FKA Mt. Spa). The master plan includes a resort building, hotel rooms, cottage units, duplex units, family lodges, public and private trails, and other resort related amenities. The applicant will be bringing utilities into the property as well as constructing a connector road to Burgi Lane and to 600 North. Phase 1 includes approximately 16 acres. This phase includes 24 duplex units, two family lodges, private and public trails, open space, and other resort related amenity improvements. Phase 1 includes a major infrastructure improvement which is the road from 600 North to Burgi

Lane. The main road connecting Burgi Lane to 600 North will need to be constructed along with phase 1 to comply the access requirements for the phases. The resort core is 28.87-acres in size and is being developed in four phases. All roads in the development will be private roads. There will be 15.95-acres (55.2%) of open space included in the development. There will also be a mix of public and private trails throughout the development.

The applicant has stated that the intent is that all units are rentable, including duplex units and family lodges in phase 1. The City has received a preliminary plat, which is required for final approval, and the proposed plat will be a planned unit development plat with building pads for each of the units. The applicant has stated that, through Ameyalli's Codes, Covenants, and Restrictions (CC&Rs), the units will not be lived in year-round but will be vacation properties that are put into a rental pool when not being used by the owners. Because hotel rooms and nightly rentals are a benefit to the community in various ways (resort tax, transient room tax, patrons for restaurants and commercial businesses), the resort zone limits residential units that allow stays of 30 days or longer to 10% of the gross master plan floor area. The total building square footage of the property is 212,445 square feet which limits the number of duplexes units that could be lived in more than 30 days to about 16 units. The rest of the units in the resort which includes the eight other duplexes, two family lodges, all the cottages, hotels, and presidential suite would need to be rented on a less than 30-day basis.

The Mountain Spa was established in the 1880s and operated as a resort focused on pools, using the geothermal water found on site, and as a gathering area for the community. The resort was active until the 1980s and then shut down. The site has gone into disrepair and the recreational facilities and buildings are now dilapidated.

There has been interest in developing the property since that time. One of the most recent proposals that received approvals from the City was in 2008 when a large resort was proposed on the property. The approved resort included hotels, promenade, bungalows, and the Old Mountain Spa Village. The approval also included a planned unit development (PUD) in the area zoned R-1-22 which was approved for 63 units. Since the approval, the entitlement for the resort has lapsed until in the past few years when a collaboration was formed between Chuck Heath, Summit Land Conservancy, Midway, and Wasatch County. The four entities all worked together and were able place conservation easements on roughly 46 acres (Lot 2 and Lot 4 of the Mountain Spa Rural Preservation Subdivision and an 8.81 parcel in the center of the resort core).

The Mountain Spa property itself is fascinating because of the natural environment features found on the property. The property has geothermal springs and craters filled with warm water. There is a large area of pot rock around the springs and craters which are considered a major geologic feature area by Midway City and protected as part of the sensitive lands code. There are also wetland areas on the property along with agricultural area that includes about 15 acres of irrigated field and a large pasture located on the north end of the property (now preserved with a conservation easement). Because of these features and because of the Mountain Spa's prominent location on the north end of

Midway, the City has planned for trails to cross the property in two locations. There is a large linear park trail that is planned to connect from the Valais Park in the north to the Watts Remund Farms PUD in the south. This trail will connect the north end of the City down to Main Street and will create a trail that will generally not parallel roads and will create a safe environment for pedestrians to travel from one area of the Midway to another. The City has also planned a trail along River Road and has recently installed a temporary trail in the River Road right-of-way. It is anticipated that with this proposal a new trail will be constructed on the Mountain Spa property along the River Road right-of-way that will be farther from the road and will create a safer pedestrian experience for the trail. The City has also secured an easement and funding to connect the River Road trail with the linear park trail on the property that would run east and west across the southern boundary of Lacy Lane Estates.

The property fronts two of the busiest roads in Midway which includes River Road and Burgi Lane. These two roads act as the entry into Midway and by preserving the properties as open space, Midway has ensured a beautiful and natural entry corridor to the City that benefits residents and tourists alike.

The Mountain Spa resort is an important heritage landmark in Midway. The Mountain Spa can be an important economic driver in Midway for both economic activity that has a residual impact on other businesses but also an important tax revenue source for the City which, in turn, helps keep property taxes low which is a benefit to all residents of Midway.

Sensitive land area located on the property will be left undisturbed as required by the land use ordinance. These sensitive lands include 25% and greater slopes, hot pots and pot rock outcroppings. There is also a small section of the 25' wetland buffer from the wetlands located on the property that was part of the rural preservation subdivision that protrudes into this property. That will need to be accounted for and no building will be allowed within that buffer.

LAND USE SUMMARY:

- Resort Zone (RZ)
- Phase 1 approximately 16 acres (28.87 acres total)
- 11.87 acres of open space (15.95 acres of open space in entire master plan)
 - 8.81 acres are preserved in a conservation easement
- 12 duplexes (24 units), two family lodges, and amenities

- Public trails from 600 North to Burgi Lane, River Road to resort core, and crater loop trail. Trails will be 8’ with a paved surface except for the hot pot trail will be a soft surface trail.
- Private roads and storm drain system will be maintained by the property owner
- New improvements will connect to the Midway Sanitation District sewer and to the City’s culinary water line.
- Sensitive lands on the property include hot pots, rock outcroppings and 25% and greater slopes.

ANALYSIS:

Open Space – The code requires 55% open space which is being met with 16.06 acres of which 11.87 acres are in phase 1. Only areas that are a minimum of 100’ in width qualify as open space, these areas shall not be developed except for uses specifically permitted in the code. The open space areas that will be noted on the plat will include the 100’ setback area along the adjoining property boundaries.

Density – The proposed development includes the following types and quantities of density (Items in **bold** are in phase 1):

- 80 Hotel Rooms – 41,270 SF
 - 23 Cottages – 40,020 SF
 - One Presidential Suite - 3,210 SF
 - Resort Building/Spa - 48,510 SF
 - **24 Duplex Units - 66,393 SF**
 - **Two Family Lodges - 10,542 SF**
 - Farm Kitchen - 2,500 SF
- Total: 212,445 SF
 Total Bedrooms: 237 EA

Building Area –The proposed plan includes a gross building floor area of 212,445 square feet (250,000 square feet is the maximum allowed by the Memorandum of Understanding). The resort zone requires 20% of the gross floor area to be designated as commercial (42,489 square feet). Of that 20%, 25% must be uses such as retail, restaurants, clubs/taverns, or art galleries/showrooms (10,622 square feet).

Access – The development has three access points, two of which will be built to City standards, one from Burgi Lane, one from 600 North via 200 East. The third is an emergency access from Sunflower Lane. The roads will be private except the existing public road of 200 East which extends about 650’ north of 600 North.

Traffic Study – The developer has submitted a traffic study which Horrocks Engineers has reviewed. Please see the attached letter from Horrocks for their comments.

Public Participation Meeting – The developers held a public participation meeting on May 4, 2022, as required by the ordinance for master plan applications. This requirement is to give the developers an opportunity to present the development to the surrounding residents of the proposed development.

Sensitive Lands – The property does contain some sloped areas and geologic sensitive lands that cannot be disturbed through the development process. The craters are defined as a “major geologic feature” in the sensitive lands ordinance and cannot be developed or disturbed, although the Crater has been developed in several ways over the past century. The developer is limited in use of the area which basically means that the pot rock cannot be modified in any way. There is also an area of the property that contains “minor geologic features” which is an area that is developable except for pot rock outcroppings over three feet in height. A few trails are planned in the craters area which must be constructed within the guidelines of the sensitive land ordinance.

Public Trails – There is an 8’ paved public trail that is planned to connect from the Burgi Hill Park in the north to the Watts Remund Farms PUD in the south. This trail will connect the north end of the City down to Main Street and will create a trail that will generally not parallel roads and will create a safe environment for pedestrians to travel from one area of the Midway to another. The City has also planned an 8’ paved public trail along River Road and has recently installed a temporary trail in the River Road right-of-way. It is anticipated that in the future, the City will rebuild the River Road trail in the public trail easement that has been dedicated to the City as part of the Mountain Spa Rural Preservation Subdivision with the funds the developer has already given to the City. The future River Road trail will be constructed in the trail easement along the River Road right-of-way that will be farther from the road and will create a safer pedestrian experience. The City has also secured a public trail easement and funding to connect the River Road trail with the linear park trail on the property that would run east and west on an easement along the Lacy Lane Estates’ southern boundary. This trail will be a soft surface trail. A log fence will also be built along the north side of the trail by funds already paid to the City by the developer. There is also a soft-surface public trail that will connect from the linear park trail that will circle the hot pot area in the conservation easement.

Private Trails – There are many 6’ private trails in the development. These trails will be used by the guests to travel from lodging areas to amenity areas. The plan specifies that the trails will either be concrete or asphalt which will work better than soft-surface trails which would not be as feasible in the varied climate of Midway.

Architecture Theme – Typically, the architectural theming for new structures in the Resort Zone must comply with the Swiss-European guidelines outlined in Section 16.13.37 of the land use code. In Chapter 16.15 (Resort Zone), the building design guideline section (16.15.4 (G) (3)) states that the building design shall reflect “The community’s architectural character choices emphasizing Swiss/European Alpine themes (or other themes as approved by the City Council after a recommendation from the Visual Architectural Committee (VAC) and Planning Commission).” The applicant proposed a theme that some may interpret as a departure from the typical Swiss/European Alpine themes. With the approval of the master plan, the developer’s proposed theming was approved for the resort. Individual buildings will be presented to the VAC for their review before building permits are submitted.

Setbacks – The proposed development is designed with the setbacks from the Resort Zone code. The code requires 100’ setbacks from all boundary lines surrounding the original Mountain Spa property. This includes the areas along the southern boundary, Sunflower Farms, property to the west that fronts Center Street, and along the boundary with the Lacy Lane Estates. The four Mountain Spa Rural Preservation lots that were developed by the applicant and were part of the original Mountain Spa Resort property, all have minimal setbacks because those properties are part of the master proposal and are considered part of the resort property as approved in the previous plan (2008 master plan approval). Internal road setbacks are as approved by the City Council. Most of the units are setback from the private road about 15-20 feet but there are two buildings that have a minimal setback of about 10’ from the edge of the private road. The two-family lodges are setback about 12’.

Height of structures – Structures cannot exceed 35’ in height measured from natural grade. The code does allow specific architectural elements to reach a maximum height of 52.5’.

Building Area Dimensional Limitations – The code requires that building coverage not exceed 12,000 square feet per acre or greater than 27.5% of an acre. The applicant has submitted a plan that states that the average building coverage 212,445 square feet (4.88 acres) per acre which is 16.9% per acre.

Memorandum of Understanding requirements – Summit Land Conservancy and Chuck Heath entered into a Memorandum of Understanding (MOU) regarding development of the Mountain Spa Property. The MOU dictates previously mentioned items such as building footprint area and height. It also requires the following:

- Restore and maintain the historic “Mountain Spa” pole sign.
- Construct the previously mentioned trails.
- Restore natural hot spring water to at least one of the craters in the protected pot rock area.
- Demolish and clean up the old buildings and derelict swimming pools in and around the protected pot rock area, leaving the two-story historic stone building intact.

- Provide for the preservation of wildlife habitat, particularly the wetland areas on the northwest of the property.

Parking in Phase 1 – 13 parking stalls will be built in front of the family pool area. Each of the duplex units and family lodges will include a 2-car garage. Because of the minimal setbacks for some of the structures, there will not be room to park in the driveway areas in front of the garages for some of the units.

Water Rights – Master plans require that water rights be held in escrow with the City before the master plan agreement can be recorded. The required water rights per phase are then dedicated to the City before the recording of each plat. The Water Advisory Board reviewed the project on May 2, 2022, to preliminarily determine the water required for the proposal. In that meeting, the Water Board recommended that 119.62 acre feet (106.72 culinary and 12.97 outside irrigation) will be required for the entire project which includes culinary connections and outside irrigation. Since that meeting, plans have been revised and updated so the current recommendation is no longer accurate. On October 3, 2022, the Water Board reviewed and made a recommendation that 124.85 acre feet (92.23 culinary and 25.62 outside irrigation) must be held in escrow for the entire master plan. They also recommended to the City Council that 36.5 acre feet are dedicated for Phase 1 (26 culinary connections, water features, and 3.16 acres of irrigated area).

Landscaping Plan – A detailed landscaping plan has been submitted which shows irrigated areas, ground covers, and types and quantities of trees. The code requires 15 trees per acre for non-hard-surface common areas. Based on the plan, 326 trees are required. Phase 1 includes 257 of the required 326 trees. All trees in Phase 1 comply with requirements that evergreens are at least 6' tall and deciduous trees have a caliper of at least 2". One area of attention is in the north end of the resort where the private road makes a 90 degree turn next to Lacy Lane Estates. This area is of concern because of the potential light nuisance that is created by vehicles leaving the resort and heading to Burgi Lane. The lights from the vehicle will shine directly into the back of couple of Lacy Lane homes and will affect several others unless the nuisance is mitigated. The developer, staff and Lacy Lane Estates HOA, and residents of Lacy Lane have held several meetings to work on a landscape plan and stone wall plan that works for all parties. It is unknown if all the residents of Lacy Lane agree on the plan but the feedback that staff has received has all been positive on the proposed plan.

Off-Site Storm Drain Basin – Part of creating a landscaping plan that helps shield residents of Lacy Lane from light and noise nuisances created by Ameyalli, and part of creating the space necessary for the landscaping required rerouting of the proposed public trail. To create the spacing for both, a solution developed that placed Ameyalli's storm water basin in the common area of Lacy Lane. This plan is currently being voted on the HOA and, if approved, an easement will need to be granted by the HOA to Ameyalli for access and maintenance purposes. If the vote fails, then Ameyalli will return to their original plan of an on-site storm drain basin

but the trail and landscaping on Ameyalli will need to be modified from the proposed plans.

Geotechnical Report – The City has received a geotechnical report for the property that was prepared by Earthtec which has been reviewed by Horrocks Engineers. The City has also received a report on ground penetrating radar of the site.

WATER BOARD RECOMMENDATION:

The Water Advisory Board reviewed the project on October 3, 2022, to determine the water required for the proposal. They recommended that 124.85 acre feet (99.23 culinary and 25.62 outside irrigation) will be required for the entire project which includes culinary connections and outside irrigation. They also recommended to the City Council that 36.5 acre feet are dedicated for Phase 1 (26 culinary connections, water features, and 3.16 acres of irrigated area).

PLANNING COMMISSION RECOMMENDATION:

Motion: Commissioner Garland: I make a motion that we recommend approval of the final application for Phase 1 of Ameyalli Resort on 28.87-acres. The final plan includes 24 duplex units and 2 family lodges, private road, public and private trails, and other resort related amenity improvements. The property is located at approximately 800 North 200 East and is in the Resort Zone. We accept the staff report and findings, along with the condition listed in the staff report. With the addition of the trail easement to be included as a condition.

Seconded: Commissioner Simons

Chairman Nicholas: Any discussion on the motion?

Chairman Nicholas: All in favor.

Ayes: Commissioners: Nokes, Osborne, Wardle, Garland and Simons

Nays: None

Recused: None

Motion: Passed

POSSIBLE FINDINGS:

- The proposal will benefit the City financially by creating a greater tax base.
- The proposal will help the City better comply with State requirements regarding the ability to collect resort tax.
- The public trail system in the development will benefit the entire community by creating public trails across the property.

- Amenities will be created that will be accessible year-round which will invite more tourists to visit the resort in all seasons.

ALTERNATIVE ACTIONS:

1. Approval (conditional). This action can be taken if the City Council finds the proposal complies with code and master plan requirements.
 - a. Accept staff report
 - b. List accepted findings
 - c. Place condition(s) if needed
2. Continuance. This action can be taken if the City Council finds that there are unresolved issues.
 - a. Accept staff report
 - b. List accepted findings
 - c. Reasons for continuance
 - i. Unresolved issues that must be addressed
 - d. Date when the item will be heard again
3. Denial. This action can be taken if the City Council finds that the request does not comply with code and master plan requirements.
 - a. Accept staff report
 - b. List accepted findings
 - c. Reasons for denial

PROPOSED CONDITION:

1. The off-site storm drain easement and trail easement must be recorded before the plat is recorded for Phase 1.

September 13, 2022

Michael Henke
Midway City Planner
75 North 100 West
Midway, Utah 84049
(Sent by Email)

Subject: Ameyalli – Phase 1 Preliminary Review

Dear Michael:

Horrocks Engineers recently reviewed Phase 1 of the Ameyalli Resort for Preliminary approval. The proposed resort is located within the recently plated Mountain Spa Rural Preservation development and is located at approximately 800 North and 200 East. Phase 1 consists of 24 duplex units located within 12 structures and 2 family lodges located within 2 structures. Phase 1 has a total of 108 bedrooms. The proposed resort is located within 28.87 acres. The following issues should be addressed with Preliminary approval.

General Comments

- To allow Phase 1 to operate as a self-sustaining phase, the road must be constructed from 600 North to Burgi Lane.
- Snow removal and trash collection should be addressed.

Water

- Phase 1 will be served from the Gerber / Mahogany pressure zone.
- To provide the adequate fire flow, the proposed 8” water line will connect to the existing 10” Gerber zone water line within Burgi Lane, the existing 10” water line in Sunflower Lane, and the proposed upsized 8” water line in 200 East.
- The proposed 8” water lines within the development will provide fire flows of approximately 2,000 gpm. To provide these fire flows all water lines should be installed with phase one.

Roads

- Roads within the proposed Phase 1 will connect to both Burgi Lane and 200 East at 600 North, with a third emergency access connecting to Sunflower Lane. Each road will be built to Rural City Street standard. The proposed cross-section is 22’ of asphalt with two 2’ concrete ribbon curbs, for a total width of 26’
- The roads within the resort will be private roads with a public easement.
- Each of the improvements within 200 East, road, water, irrigation, and any private improvements will be installed and paid for by the Ameyalli Resort.
- The existing power line along 200 East should be buried as part of the Ameyalli Phase 1 improvements.
- A traffic study has been submitted and reviewed and accepted.

Pressure Irrigation

- The resort will be serviced by Midway Irrigation. To date a design for the booster pump has not been provided to the developer.

- Prior to Phase 1 receiving Final approval the design for the irrigation pumping system should be submitted to and accepted by the Developer. This should be both the pump design and the pump and pipeline location.

Trails

- An 8' paved public trail running north to south from Burgi Lane through the development and connecting to 600 North is shown on the proposed plans. This trail will provide connectivity from existing trails on Burgi Lane, and 600 North to the Valais Park. The trail will be a valuable link to the Midway City trails system. The trail is shown to be completed as part of Phase 1.

Storm Drain

- The storm drain system will be a private. The system will collect and retain all storm water onsite through catch basins and retention basins. The storm drain system will be a private system maintained by the owner.

Sewer

- All units within this development will be serviced by Midway Sanitary District.

Please feel free to call our office with any questions.

Sincerely,
HORROCKS ENGINEERS



Wesley Johnson, P.E.
Midway City Engineer

cc: Berg Engineering (Sent by Email)

Midway City Corporation

Mayor: Celeste T. Johnson
City Council Members
Lisa Christen • Jeffery Drury
J.C. Simonsen • Steve Dougherty
Kevin Payne



75 North 100 West
P.O. Box 277
Midway, Utah 84049
Phone: 435-654-3223
Fax: 435-654-4120
midwaycityut.org

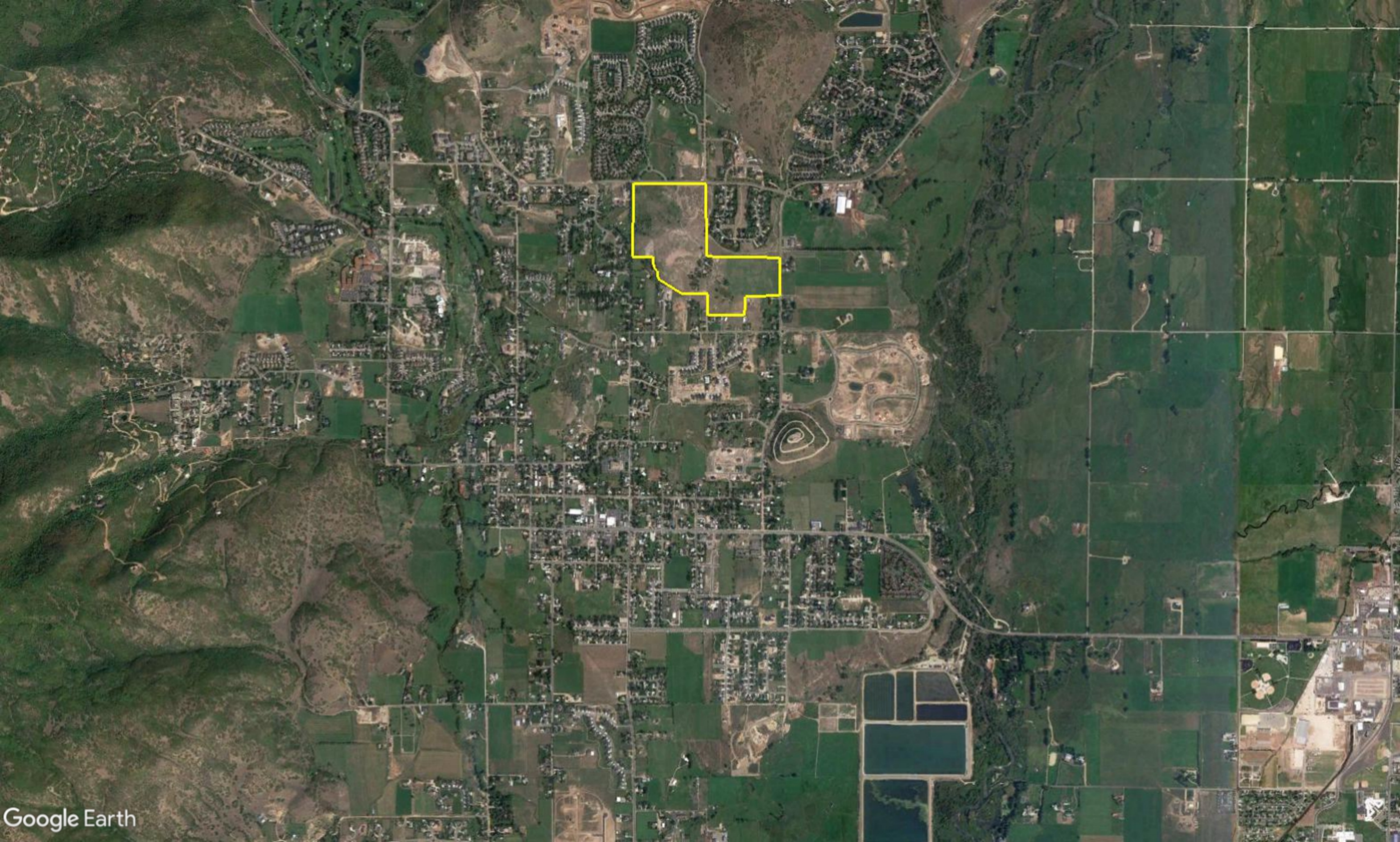
Ameyalli Master Plan Approval

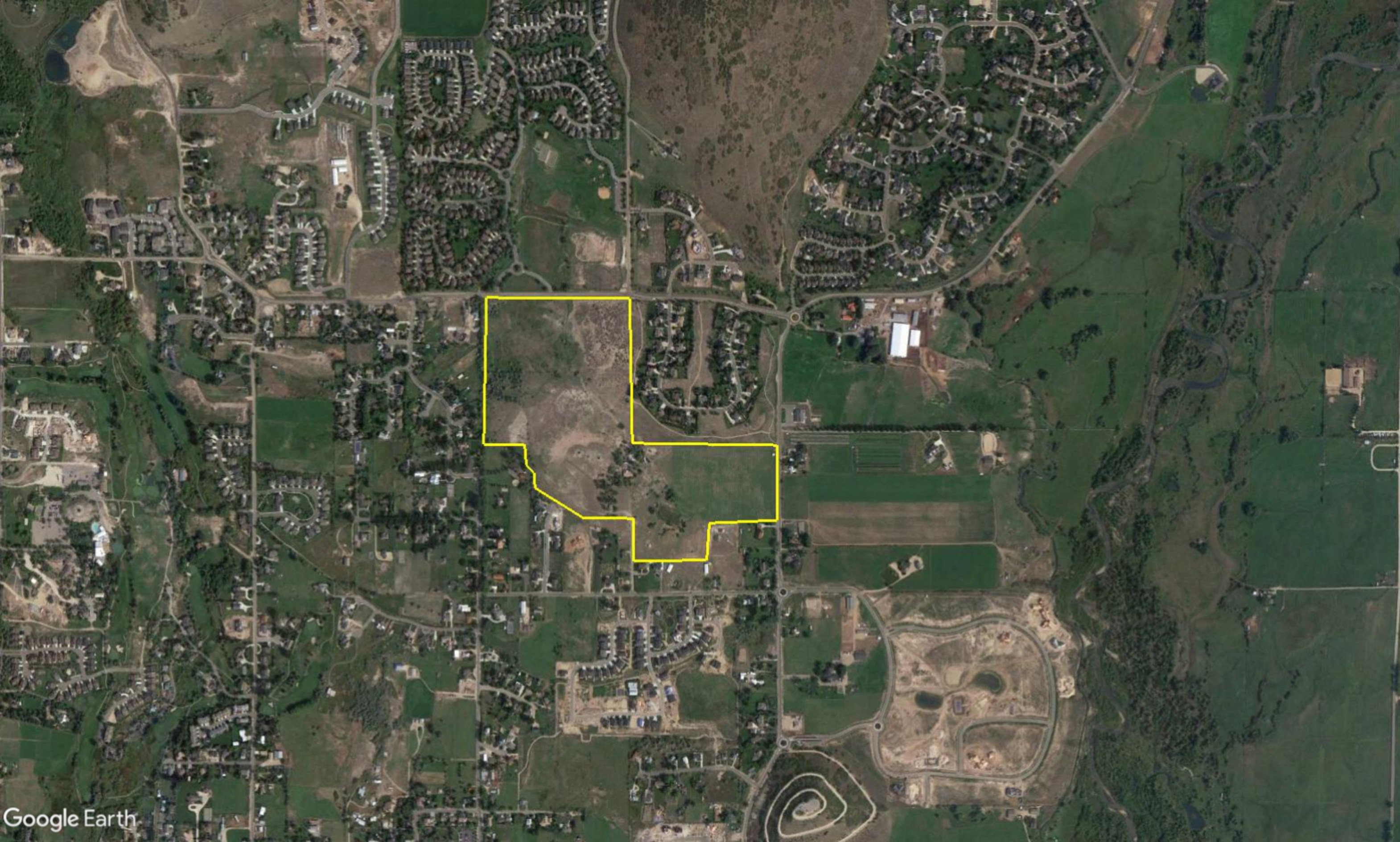
July 6, 2022

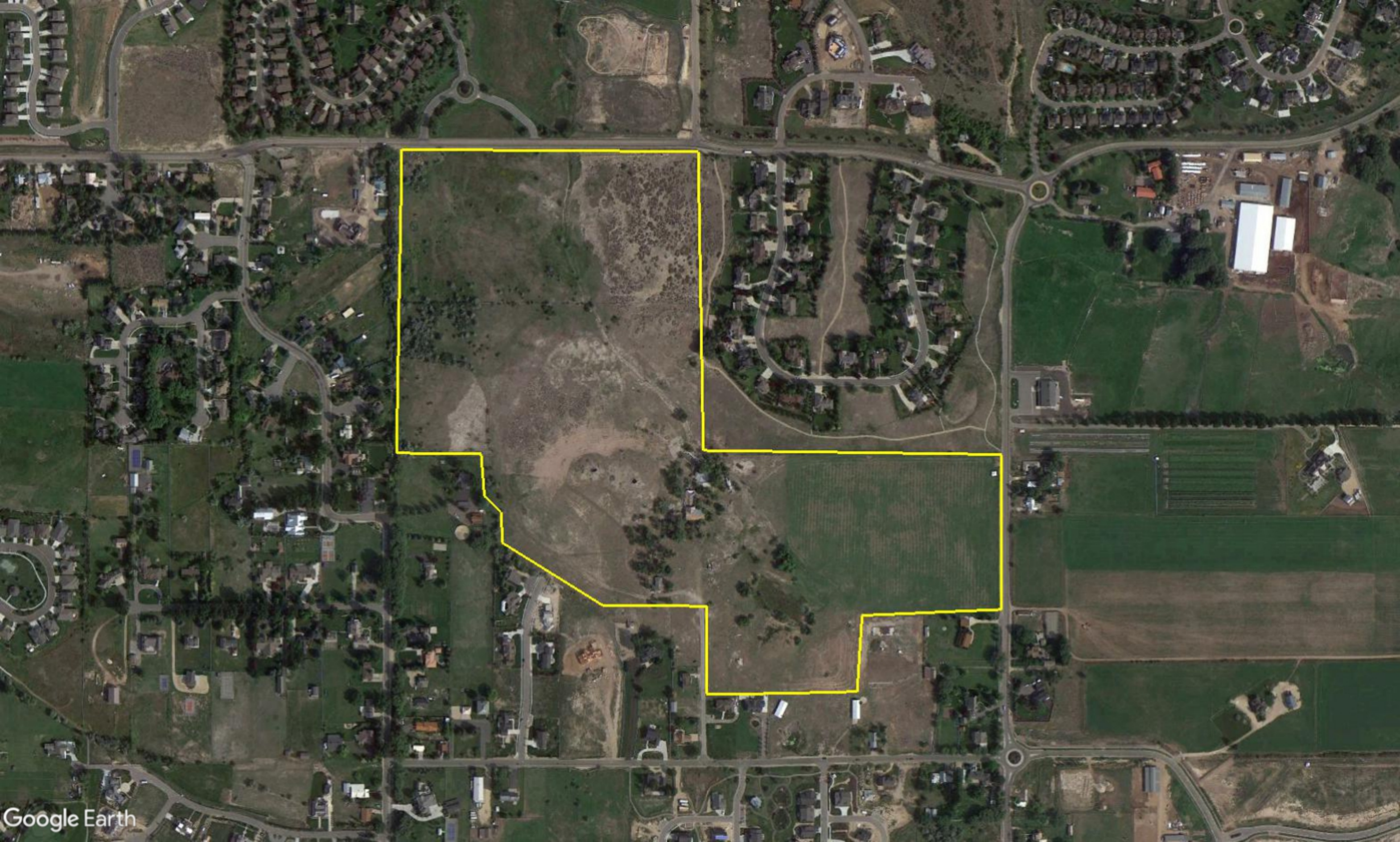
Michael Henke Midway City Planning Director,

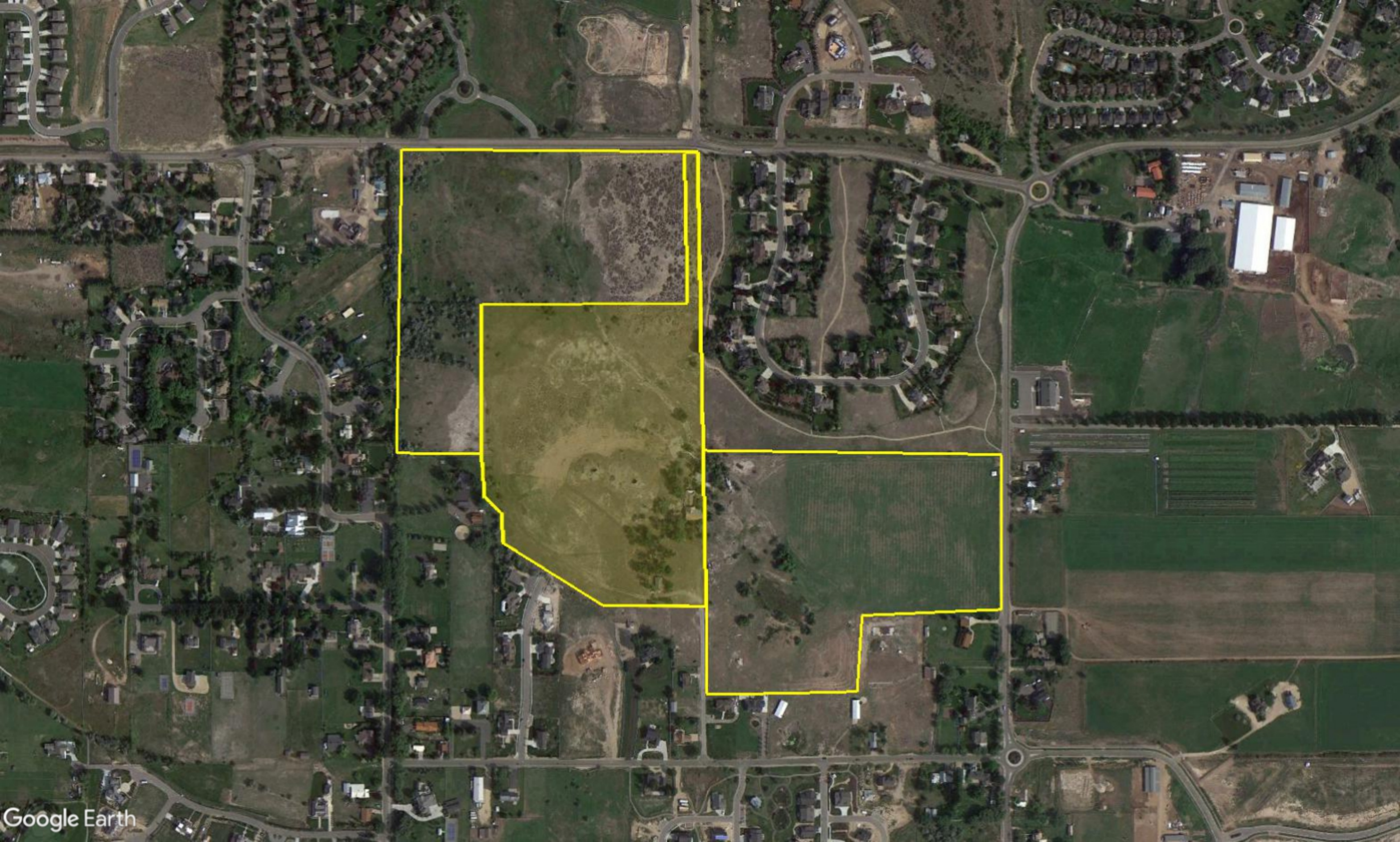
I have reviewed the master plan proposal for Ameyalli for compliance with the 2018 International Fire Code (2018 IFC). The only concern I have with the current plan proposal, the main road going between Burgi Lane and 200 East be fully connected and be asphalted, or concrete prior to allowing combustible construction activities. I have no other fire code concerns currently. Once more detailed plans are available, I will review this development for 2018 IFC code compliance verify proper hydrant location & distances from structures, road widths, etc.

Tex R. Couch CBO/MCP
Midway City Building Official/Fire Marshal
75 West 100 North
Midway, Utah 84049
tcouch@midwaycityut.org
(435)654-3223 Ext. 107









Ameyalli Vision Statement

Ameyalli's main goal is to bring Mountain Spaa and Luke's Hot Pots back to life. Historically, this land was a stronghold for both visitors and residents, but it has since been reduced to rubble. With the creation of Ameyalli, this sanctuary will be illuminated in a fresh, but connective and reminiscent way.

Another intention is that we hope to bridge the site's distinctive history and beauty simultaneously. We have taken inspiration from famous Swiss Architects like Peter Zumthor for our design, and it is important that we incorporate Midway's Swiss design while respecting the site's noteworthy topography. Our buildings will amalgamate the natural Hot Pot stone layering the area, thus having a very natural and refreshing look. Moreover, the earth-like tones and grass roofs make the development nearly disguised from the road or aerial views to enhance the site's individual landscape, instead of covering it. The 45-acres of land donated to the Summit Land Conservancy also creates a charming buffer between resident and resort property.

We hope to do justice to the site's history by paying our utmost respect to those who have used the site; from residents in recent years to Indigenous Peoples using the waters as a sacred meeting point—we want to remind everyone of its important history. We will be restoring the old Mountain Spaa sign and hopefully restoring one of the original stone buildings. We also plan to educate visitors on the site's history by posting stories, information, and experiences on our website, menus, and brochures.

A significant benefit is that Ameyalli Resort will bring in visitors from across the globe. With five-star spa amenities, mountain views, healing hot spring minerals, and an exceptional location, Ameyalli will create a world-class destination for the city of Midway. The development will have 131 units that visitors can have the opportunity to rent, ranging from large family lodges to hotel rooms perfect for couples.

Along with bringing in new tourism, Ameyalli will also be an oasis for residents of Midway. Anyone will be able to come in for the day to enjoy a spa treatment, swim in the mineral water, hike through the trail system, or have dinner at the restaurant overlooking the Wasatch Mountain Range. We've had communications with some residents of Midway, and many individuals spent their childhood at Mountain Spaa. We would love to bring this space back for them and their families to enjoy as well.

We have put extensive research into what will make this project a reality. We've divided our financials into three phases and have already raised the money needed to start developing. We raised our money through private equity to keep control and flexibility, and we have estimated the project to cost around \$89 million and take five years' time. We have additionally divided up the building into four phases: 1) Family Duplexes 2) Spa/Core Building 3) Hotel Rooms and 4) Cottages.

Our dream is for Ameyalli to become a staple of Midway. We are excited to work with Midway's city, residents, and businesses to create the best project possible. We want to bring this site back to life after being abandoned for so long. This site is very special to us, and we can't wait to open it back up to the public.

AMEYALLI RESORT DEVELOPMENT
Proposed Plan Conditions
Preliminary Resort Plan October 4, 2022

LIGHT MITIGATION STRATEGIES

All future site lighting will comply with Midway Municipal code 5.02.080 outdoor lighting and glare to help mitigate the potential impact on the surrounding residents. Please refer to page 7 of the submitted Preliminary City Application Package.

LIGHT NUISANCE STRATEGIES

On Saturday, September 17, 2022, at 9:00 am, Chuck Heath met with Bill McDonald, Lacy Lane Estates Homeowners Association President, Vice President Doug Gray, and Secretary Gary Otteson. The objective of the meeting was to collaborate on strategies to help reduce the light nuisance from cars leaving the resort and shining on homes on Lacy Lane Estates. One highly favored approach would be for the developer to build a 40' x 5' HT stone wall with evergreens behind it. Furthermore, other evergreens would be planted on HOA's property, thus helping reduce the light nuisance.

AMEYALLI RESORT

PHASE 1 FINAL APPLICATION

SHEET INDEX

CIVIL ENGINEERING

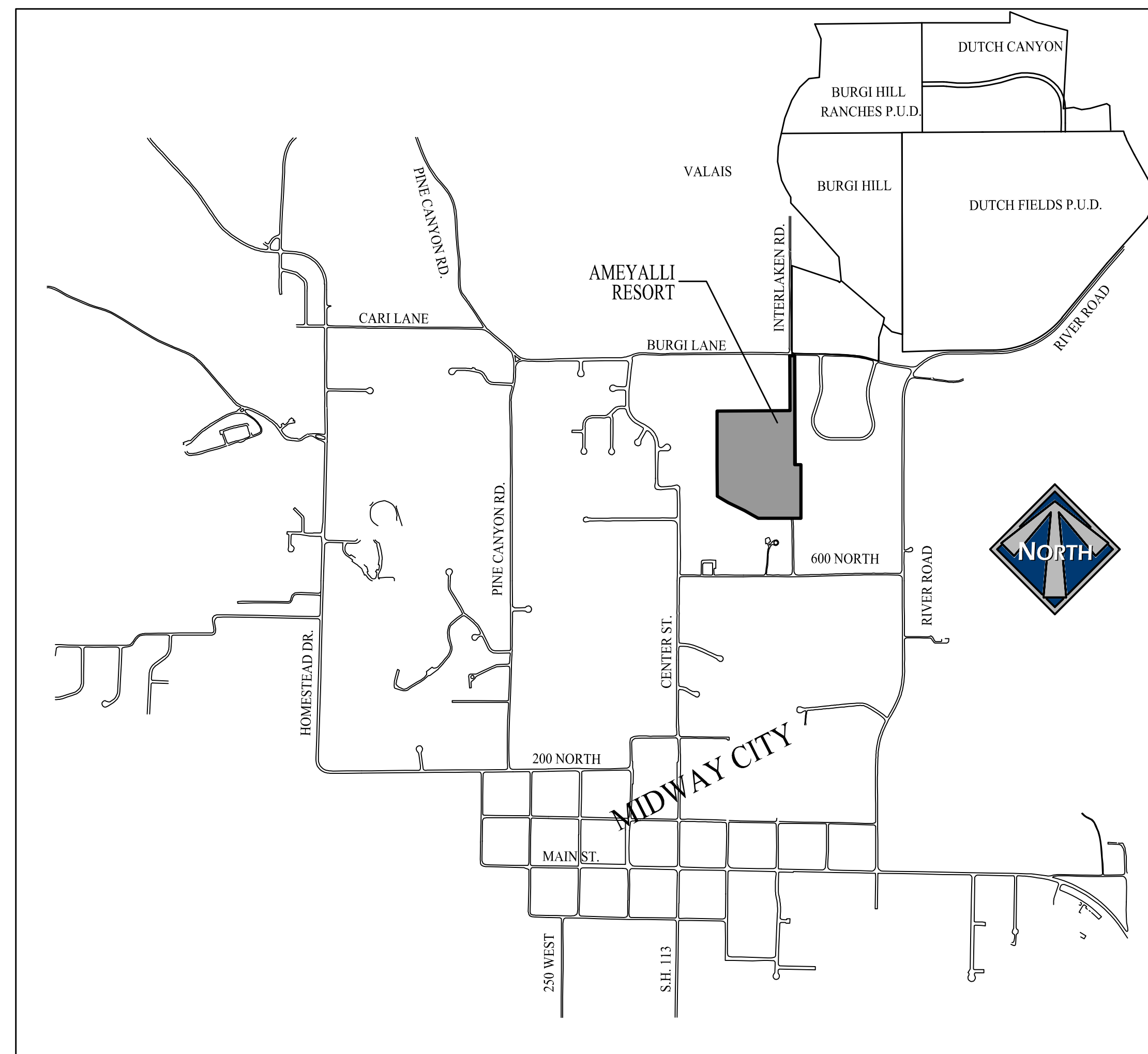
1. EXISTING CONDITIONS
2. MASTER PLAN
3. UTILITY MASTER PLAN
4. STORM DRAIN MASTER PLAN
5. PHASE 1 PLAN
6. PHASE 1 PLAT
7. 200 EAST WELLNESS DRIVE PLAN AND PROFILE 0+00 - 10+00
8. WELLNESS DRIVE PLAN AND PROFILE STA 10+00 - 20+00
9. WELLNESS DRIVE PLAN AND PROFILE STA 20+00 - 30+00
10. AMEYALLI DRIVE PLAN AND PROFILE STA 0+00 - 10+00
11. AMEYALLI DRIVE PLAN AND PROFILE STA 10+00 - 12+00
12. ROAD CONSTRUCTION DETAILS
13. PHASE 1 UTILITY PLAN
14. SUNFLOWER LANE SEWER PLAN AND PROFILE
15. WELLNESS DRIVE SEWER PLAN AND PROFILE STA 9+81 - 20+00
16. WELLNESS DRIVE SEWER PLAN AND PROFILE STA 20+00 - 30+50
17. AMEYALLI DRIVE/OFFSITE SEWER PLAN AND PROFILE STA 7+00 - 10+00
18. SEWER CONSTRUCTION DETAILS
19. WELLNESS DRIVE STORM DRAIN PLAN AND PROFILE STA 8+00 - 10+00
20. WELLNESS DRIVE STORM DRAIN PLAN AND PROFILE STA 13+00 - 15+00
21. WELLNESS DRIVE STORM DRAIN PLAN AND PROFILE STA 20+00 - 30+50
22. AMEYALLI DRIVE STORM DRAIN PLAN AND PROFILE STA 4+00 - 12+00
23. STORM DRAIN CONSTRUCTION DETAILS
24. PHASE 1 WATER PLAN
25. PHASE 1 PRESSURIZED IRRIGATION PLAN
26. WATER AND PRESSURIZED IRRIGATION CONSTRUCTION DETAILS
27. STORM WATER POLLUTION PREVENTION PLAN

LANDSCAPE ARCHITECTURE


- L00. LANDSCAPE NOTES & LANDSCAPE SCHEDULE
- L01. LANDSCAPE PLAN - PHASE 1
- L02. TREE PLANTING PLAN 1 of 2
- L03. TREE PLANTING PLAN 2 of 2
- L04. SHRUB PLANTING PLAN 1 of 3
- L05. SHRUB PLANTING PLAN 2 of 3
- L06. SHRUB PLANTING PLAN 3 of 3
- L07. ROOF PLANTING PLAN - DUPLEX A & B
- L08. ROOF PLANTING PLAN - FAMILY LODGE
- L09. LANDSCAPE DETAILS
- L10. SITE DETAILS
- L11. GRADING PLAN SHEET 1 of 4
- L12. GRADING PLAN SHEET 2 of 4
- L13. GRADING PLAN SHEET 3 of 4
- L14. GRADING PLAN SHEET 4 of 4

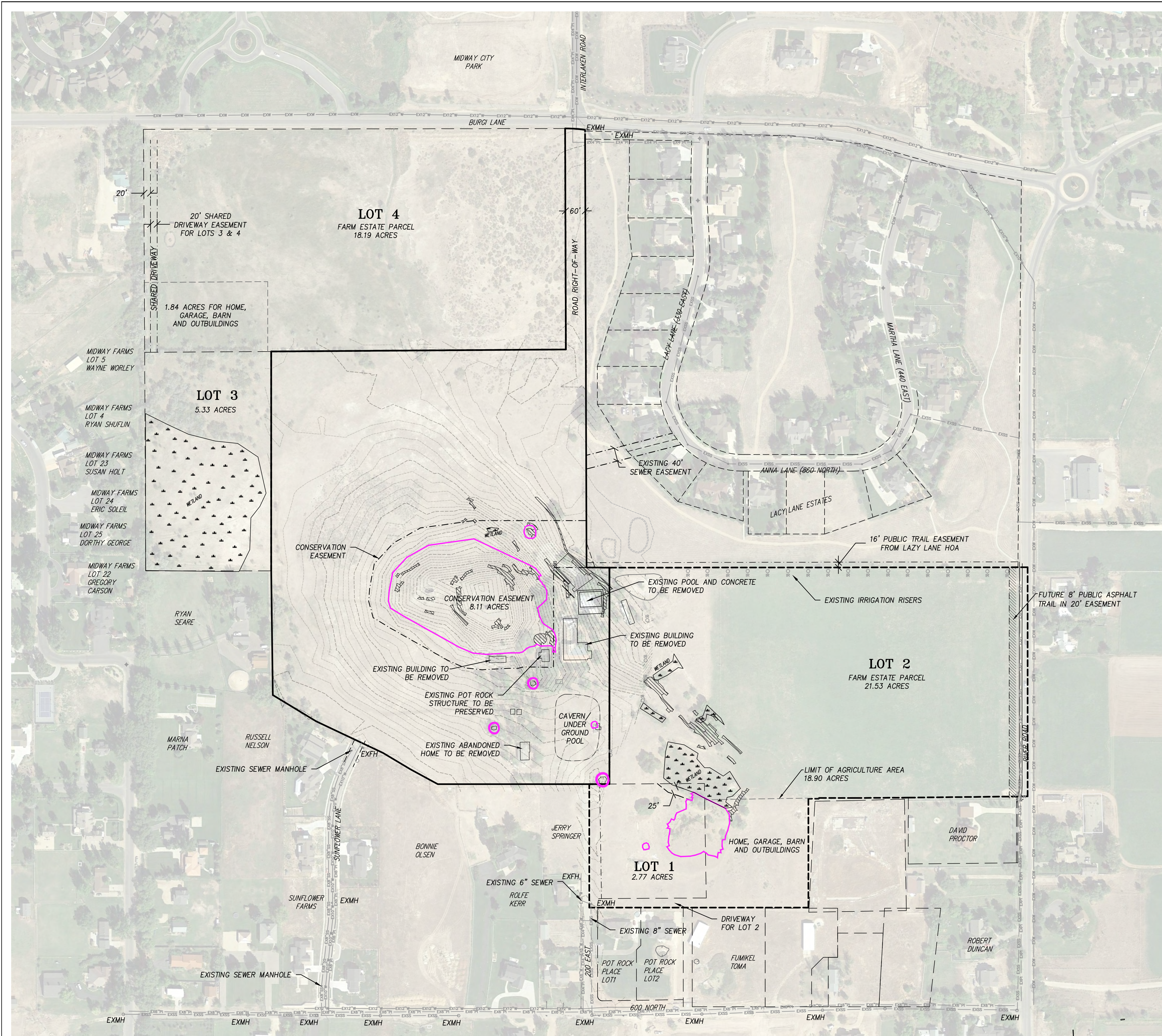
ARCHITECTURE

- A1. DUPLEX A
- A2. DUPLEX B
- A3. FAMILY REUNION LODGE

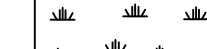







VICINITY MAP

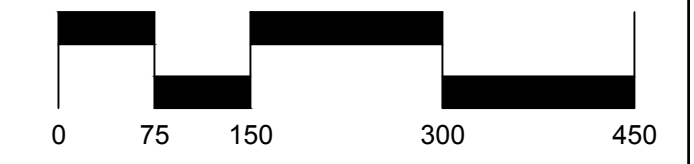
CHUCK HEATH AMEYALLI PHASE 1		
COVER		
		
DESIGN BY: PDB	DATE: 14 NOV 2022	SHEET
DRAWN BY: DEJ	REV:	0



LEGEND

-  WETLANDS (3.75 ACRES)
-  SLOPES > 25% (0.33 ACRES OUTSIDE OF HOT POT/CRATER)
-  HOT POT/CRATER SENSITIVE LANDS (3.52 ACRES)
-  EXISTING PRESSURIZED IRRIGATION
-  EXISTING WATER
-  EXISTING SEWER

BLUE STAKE NOTE:
 LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.



SCALE: 1"=150'
 Scale 1" = 300' for 11x17

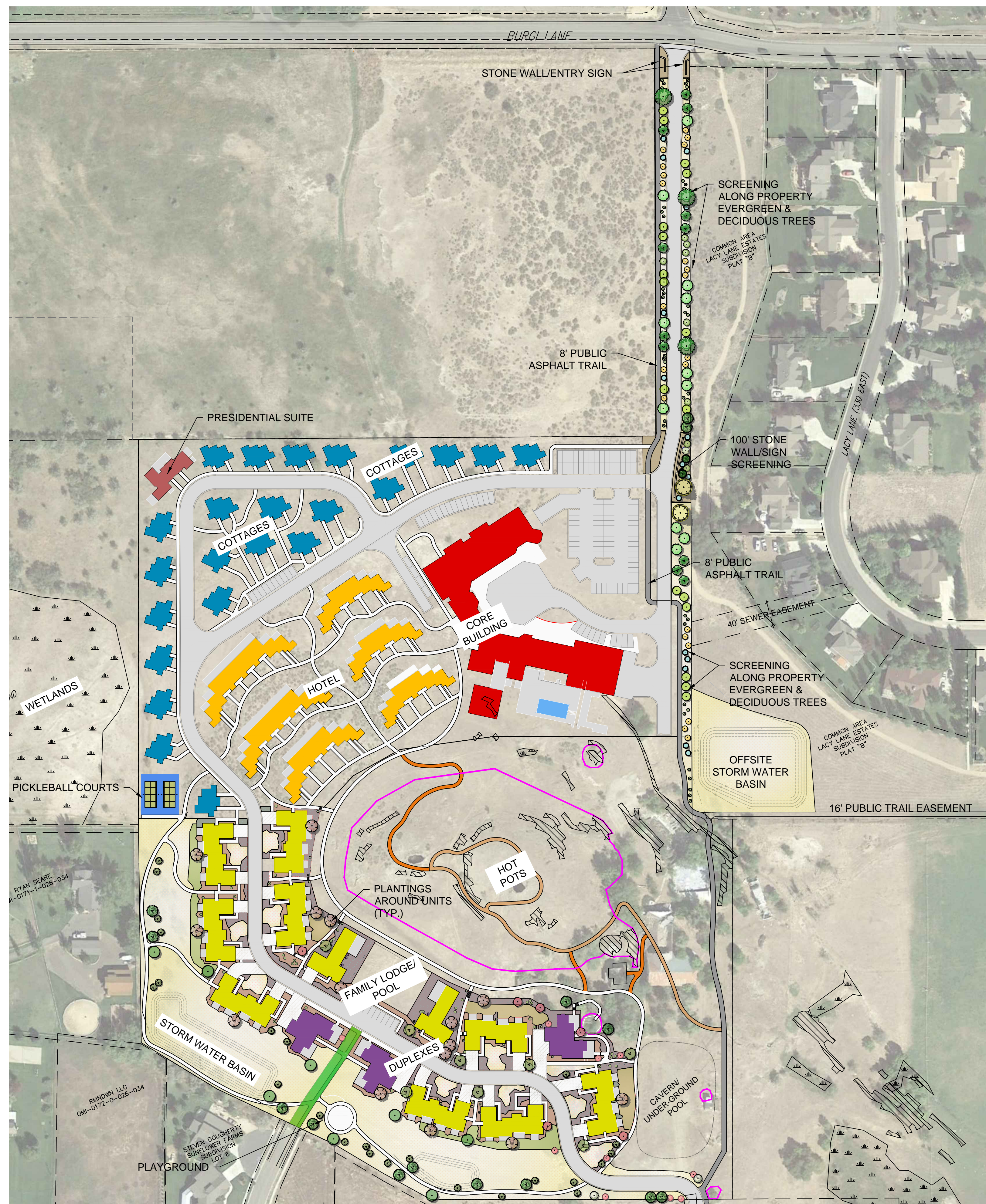
CHUCK HEATH
 AMEYALLI - PHASE 1
 EXISTING CONDITIONS



BERG ENGINEERING
 380 E Main St. Suite 204
 Midway, UT 84049
 ph 435.657.9749

THIS DOCUMENT IS INCOMPLETE AND IS RELEASED TEMPORARILY FOR INTERIM REVIEW ONLY. IT IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.
 PAUL D. BERG P.E.
 SERIAL NO. 295595
 DATE: 14 NOV 2022

DESIGN BY: PDB
 DRAWN BY: PDB
 DATE: 14 NOV 2022
 REV:
 SHEET 1



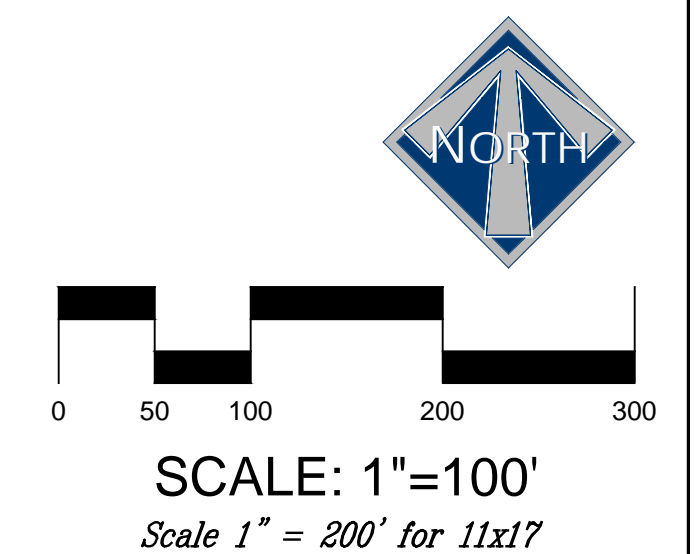
- LEGEND**
- WETLANDS (3.75 ACRES)
 - SLOPES > 25% (0.33 ACRES OUTSIDE OF HOT POT/CRATER)
 - HOT POT/CRATER SENSITIVE LANDS (3.52 ACRES)
 - 8' PUBLIC TRAIL (ASPHALT)
 - 8' PUBLIC TRAIL (SOFT SURFACE)
 - PRIVATE TRAILS (CONCRETE OR ASPHALT)
 - PRIVATE TRAILS (SOFT SURFACE)

LAND USE CALCULATIONS

TOTAL AREA	28.87 ACRES
CONSERVATION EASEMENT	5.16 ACRES
BUILDINGS	3.67 ACRES
ROADS	2.64 ACRES
PARKING	0.79 ACRES
DRIVEWAYS	0.39 ACRES
AMENITIES	0.46 ACRES
PATIOS	0.67 ACRES
SIDEWALKS	2.58 ACRES
LANDSCAPED AREAS	7.43 ACRES
NATURAL AREAS (NON-IRRIGATED)	5.08 ACRES

PHASE	GRASS/NATIVE (IRRIGATED)	MULCH (IRRIGATED)	NATIVE/UNDISTURBED (NON-IRRIGATED)	TREES IN NATURAL AREA	TOTAL IRRIGATED (GRASS, MULCH AND TREES)
1	73,063 SF	52,960 SF	442,793 SF	400 SF (10 SF PER TREE, 40 TREES)	126,423 SF
2	33,673 SF	23,874 SF	9,072 SF	30 SF (10 SF PER TREE, 3 TREES)	57,577 SF (1.32 AC)
3	54,652 SF	36,721 SF	N/A	N/A	91,373 SF (2.10 AC)
4	72,127 SF	14,356 SF	16,865 SF	N/A	86,483 SF (1.99 AC)
	248,252 SF	113,034 SF	468,730 SF	670 SF	
	5.70 AC	2.59 AC	10.76 AC	0.02 AC	

TOTAL IRRIGATED AREA FOR PHASE 1 REMAINS THE SAME. AREAS WITHIN GRASS, MULCH AND TREES IN NATURAL AREA HAS BEEN ADJUSTED.



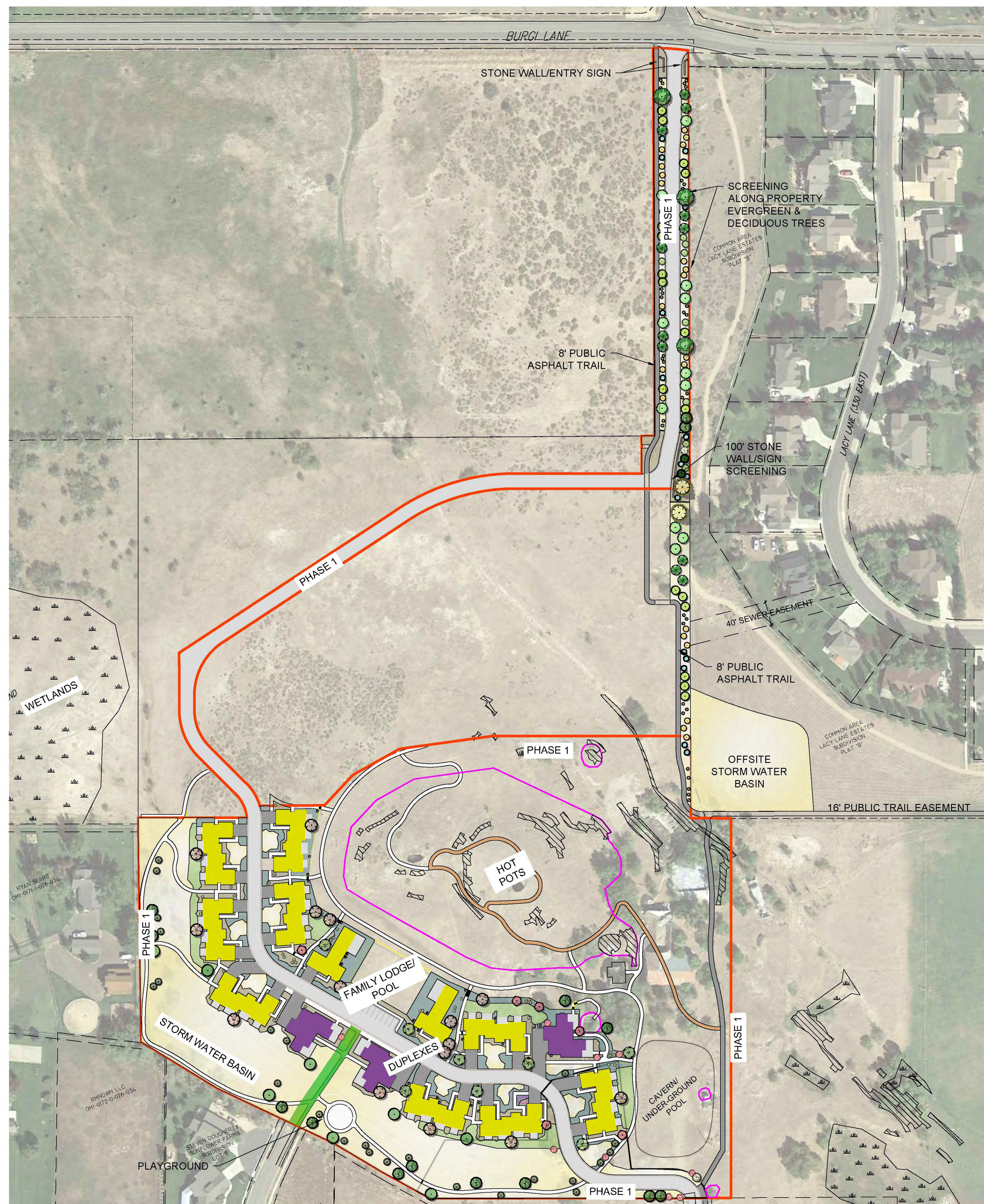
CHUCK HEATH
AMEYALLI PHASE 1
MASTER PLAN

THIS DOCUMENT IS RELEASED FOR REVIEW ONLY. IT IS NOT INTENDED FOR CONSTRUCTION UNLESS SIGNED AND SEALED.

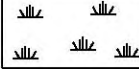


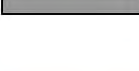


PAUL D. BERG P.E.
SERIAL NO. 295595
DATE: 18 NOV. 2022

BERG ENGINEERING
380 E Main St. Suite 204
Midway, Ut 84049
ph 435.657.9749

DESIGN BY: PDB
DRAWN BY: DAW
DATE: 18 NOV 2022
REV: _____



LEGEND

-  WETLANDS (3.75 ACRES)
-  SLOPES > 25% (0.33 ACRES OUTSIDE OF HOT POT/CRATER)
-  HOT POT/CRATER SENSITIVE LANDS (3.52 ACRES)
-  8' PUBLIC TRAIL (ASPHALT)
-  8' PUBLIC TRAIL (SOFT SURFACE)
-  PRIVATE TRAILS

PHASE	GRASS/NATIVE (IRRIGATED)	MULCH (IRRIGATED)	NATIVE/UNDISTURBED (NON-IRRIGATED)	TREES IN NATURAL AREA	TOTAL IRRIGATED (GRASS, MULCH AND TREES)
PHASE 1	73,063 SF	52,960 SF	442,793 SF	400 SF (10 SF PER TREE, 40 TREES)	126,423 SF



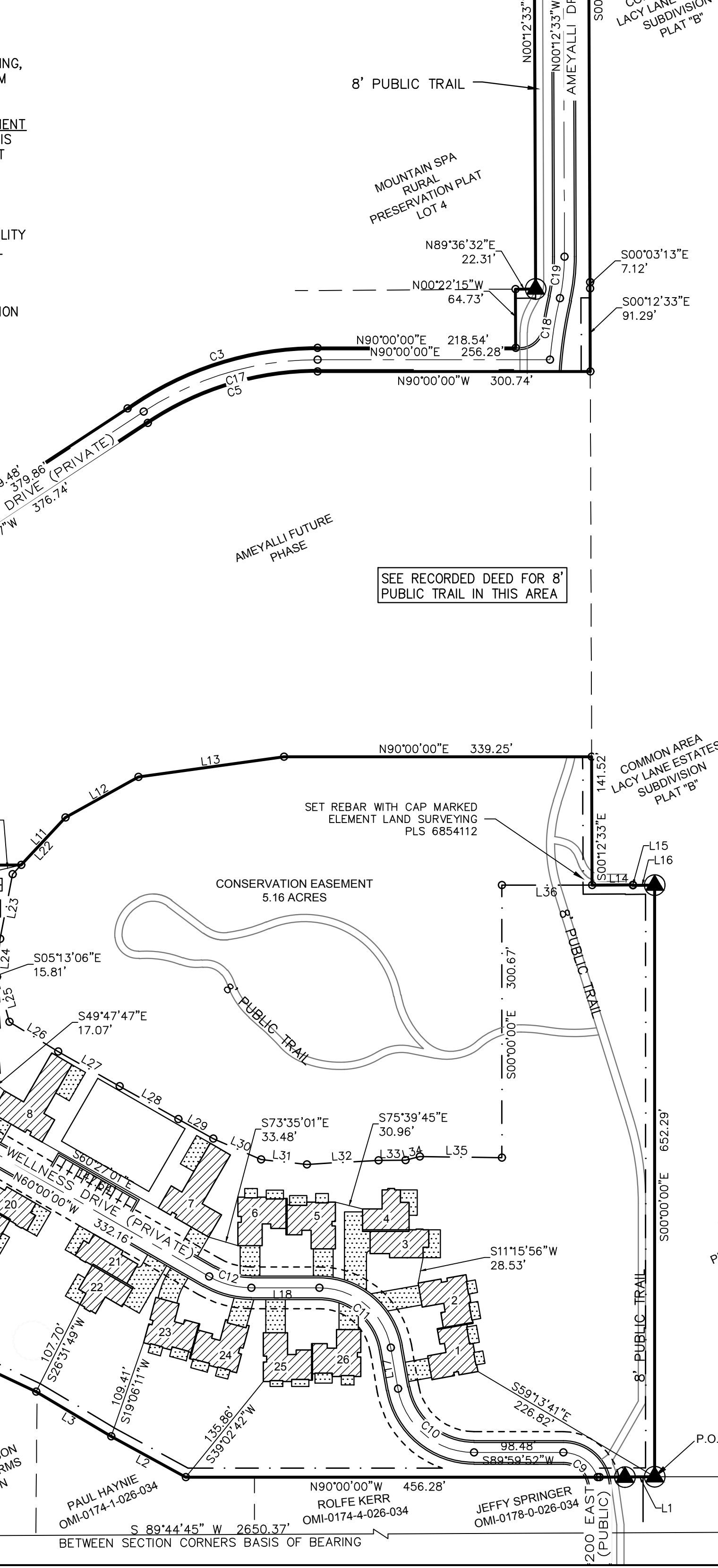
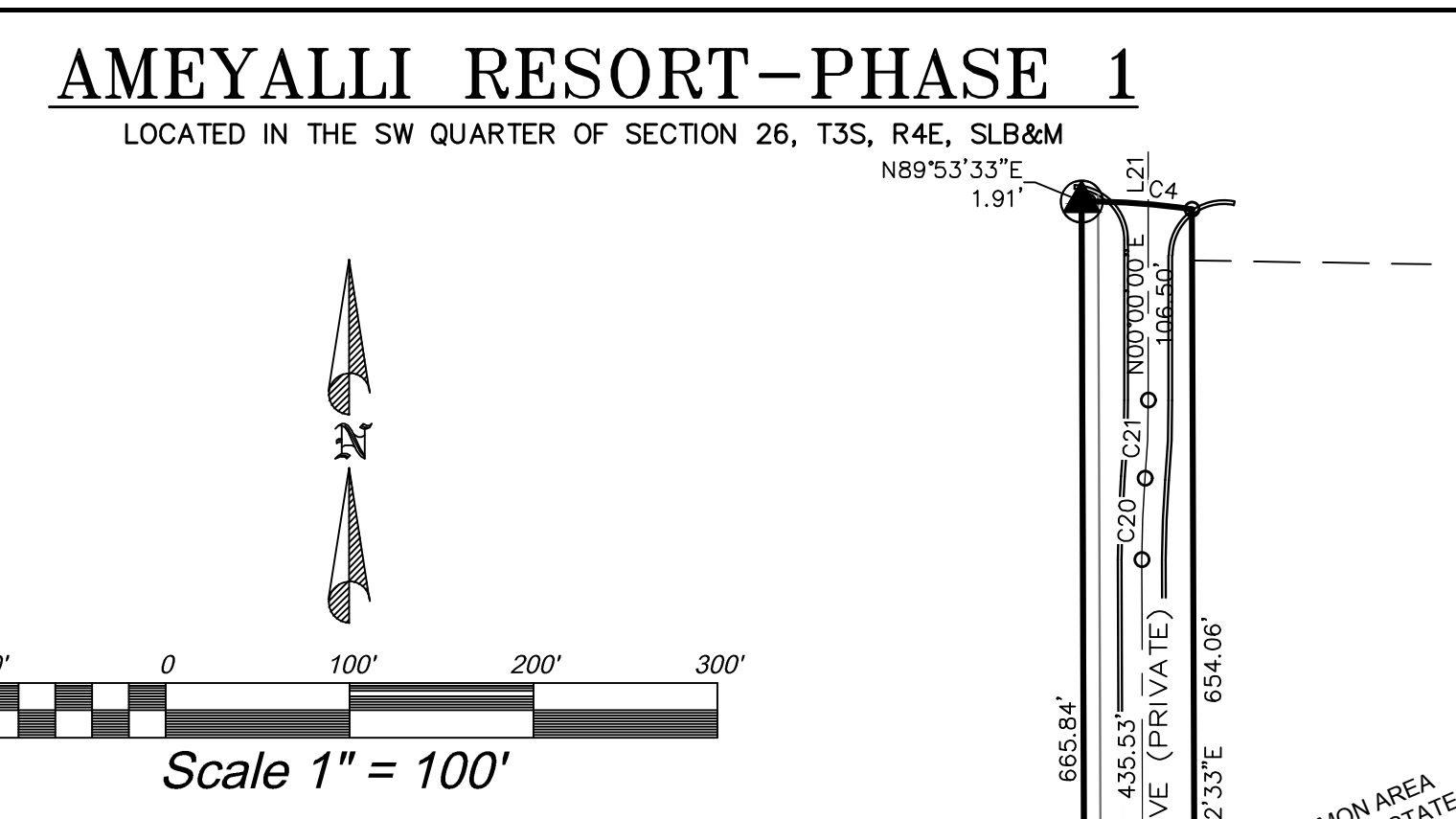
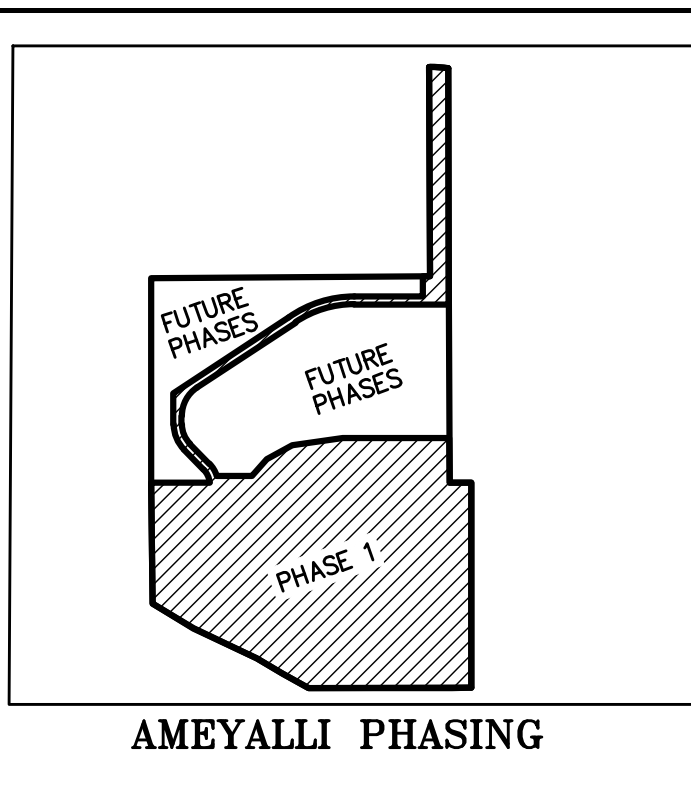
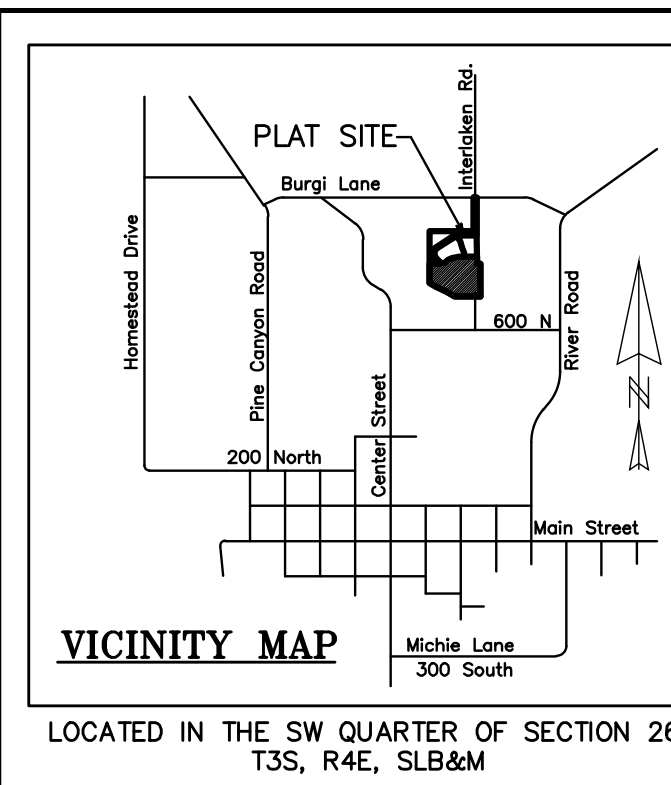
SCALE: 1"=100'
Scale 1" = 200' for 11x17

CHUCK HEATH
AMEYALLI PHASE 1
PHASE 1 SITE PLAN



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PAUL D. BERG P.E.
SERIAL NO. 295595
DATE: 14 NOV 2022

DESIGN BY: PDB
DRAWN BY: DAW
DATE: 14 NOV 2022
REV: 5



BOUNDARY DESCRIPTION
 BEGINNING NORTH 671.18 FEET AND WEST 1259.12 FEET FROM THE SOUTH ONE-QUARTER CORNER OF SECTION 26, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN RUNNING THENCE SOUTH 89°38'25" WEST 60.88 FEET; THENCE WEST 456.28 FEET; THENCE NORTH 61°20'05" WEST 93.60 FEET; NORTH 59°13'48" WEST 96.31 FEET; THENCE NORTH 64°41'20" WEST 222.93 FEET; THENCE NORTH 58°41'00" WEST 152.57 FEET; THENCE NORTH 00°46'36" WEST 374.35 FEET; THENCE NORTH 10.71 FEET; THENCE EAST 186.58 FEET; THENCE ALONG THE ARC OF 67.00 FOOT RADIUS TO THE LEFT 46.01 FEET (CENTRAL ANGLE OF 39°20'33" AND A CHORD BEARING NORTH 25°19'44" WEST 45.11 FEET); THENCE NORTH 45°00'00" WEST 89.42 FEET; THENCE ALONG THE ARC OF 114.00 FOOT RADIUS TO THE RIGHT 89.15 FEET (CENTRAL ANGLE OF 44°48'20" AND A CHORD BEARING NORTH 22°35'50" WEST 86.89 FEET); THENCE NORTH 00°11'40" WEST 99.06 FEET; THENCE NORTH 56°42'06" EAST 439.48 FEET; THENCE ALONG THE ARC OF 362.00 FOOT RADIUS TO THE RIGHT 58.31 FEET (CENTRAL ANGLE OF 35°22'34" AND A CHORD BEARING NORTH 72°18'43" EAST 219.98 FEET); THENCE EAST 218.54 FEET; THENCE NORTH 00°22'15" WEST 64.73 FEET; THENCE NORTH 89°36'32" EAST 22.31 FEET; THENCE NORTH 00°12'33" WEST 665.84 FEET; THENCE NORTH 89°53'33" EAST 1.91 FEET; THENCE ALONG THE ARC OF 389.00 FOOT RADIUS TO THE RIGHT 56.31 FEET (CENTRAL ANGLE OF 08°35'21" AND A CHORD BEARING SOUTH 85°48'47" EAST 58.26 FEET); THENCE SOUTH 00°12'33" EAST 654.06 FEET; THENCE SOUTH 00°12'33" EAST 91.29 FEET; THENCE WEST 300.74 FEET; THENCE ALONG THE ARC OF 336.16 FOOT RADIUS TO THE LEFT 198.57 FEET (CENTRAL ANGLE OF 56°51'58" AND A CHORD BEARING SOUTH 73°04'26" WEST 195.70 FEET); THENCE SOUTH 56°40'17" WEST 376.74 FEET; THENCE ALONG THE ARC OF 108.00 FOOT RADIUS TO THE LEFT 107.19 FEET (CENTRAL ANGLE OF 56°51'58" AND A CHORD BEARING SOUTH 28°14'19" WEST 102.84 FEET); THENCE SOUTH 00°11'40" EAST 26.51 FEET; THENCE ALONG THE ARC OF 88.00 FOOT RADIUS TO THE LEFT 68.82 FEET (CENTRAL ANGLE OF 44°48'20" AND A CHORD BEARING SOUTH 22°35'50" EAST 67.08 FEET); THENCE SOUTH 45°00'00" EAST 89.42 FEET; THENCE ALONG THE ARC OF 93.00 FOOT RADIUS TO THE LEFT 45.62 FEET (CENTRAL ANGLE OF 28°06'24" AND A CHORD BEARING SOUTH 30°56'48" EAST 45.17 FEET); THENCE NORTH 89°33'37" EAST 111.51 FEET; THENCE NORTH 42°59'27" EAST 71.37 FEET; THENCE NORTH 60°51'35" EAST 92.12 FEET; THENCE NORTH 82°07'10" EAST 162.27 FEET; THENCE NORTH 90°00'00" EAST 339.25 FEET; THENCE SOUTH 00°12'33" EAST 141.52 FEET; THENCE NORTH 89°39'54" EAST 44.83 FEET; THENCE SOUTH 11°05'47" EAST 0.49 FEET; THENCE NORTH 89°57'21" EAST 24.02 FEET; THENCE SOUTH 652.29 FEET TO THE POINT OF BEGINNING.

CONTAINING: 17.38 ACRES

LINE TABLE			LINE TABLE			CURVE TABLE					
LINE	LENGTH	DIRECTION	LINE	LENGTH	DIRECTION	CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
L1	60.88'	S89°38'25"W	L19	89.42'	N45°00'00"W	C1	67.00'	46.01'	39°20'33"	N25°19'44"W	45.11'
L2	93.60'	N61°20'05"W	L20	26.51'	N00°11'40"W	C2	114.00'	89.15'	44°48'20"	N22°35'50"W	86.89'
L3	96.31'	N59°13'48"W	L21	28.77'	N00°00'00"W	C3	362.00'	223.51'	35°22'34"	N72°18'43"E	219.98'
L4	152.57'	N58°41'00"W	L22	85.45'	N42°59'27"E	C4	389.00'	58.31'	8°35'21"	S85°48'47"E	58.26'
L5	186.58'	N90°00'00"E	L23	72.61'	N10°51'24"E	C5	336.16'	198.57'	33°50'39"	S73°04'26"W	195.70'
L6	89.42'	N45°00'00"W	L24	42.01'	N04°45'28"E	C6	108.00'	107.19'	56°51'58"	S28°14'19"W	102.84'
L7	99.06'	N00°11'40"W	L25	51.44'	N15°25'19"W	C7	88.00'	68.82'	44°48'20"	S22°35'50"E	67.08'
L8	26.51'	S00°11'40"E	L26	62.84'	N58°43'21"W	C8	93.00'	45.62'	28°06'24"	S30°56'48"E	45.17'
L9	89.42'	S45°00'00"E	L27	77.85'	N60°31'15"W	C9	40.00'	49.79'	71°19'02"	N54°20'37"W	46.64'
L10	111.51'	N89°33'37"E	L28	74.39'	N60°51'37"W	C10	85.00'	118.69'	80°00'08"	S50°00'04"E	109.28'
L11	71.37'	N42°59'27"E	L29	44.18'	N60°35'06"W	C11	80.00'	111.70'	80°00'00"	N50°00'00"W	102.85'
L12	92.12'	N60°51'35"E	L30	57.40'	N66°27'43"W	C12	93.00'	48.69'	30°00'00"	S75°00'00"E	48.14'
L13	162.27'	N82°07'10"E	L31	50.83'	N83°54'49"W	C13	80.00'	83.78'	60°00'00"	S30°00'00"E	80.00'
L14	44.83'	N89°39'54"E	L32	79.01'	S86°43'50"W	C14	80.00'	62.83'	45°00'00"	N22°30'00"W	61.23'
L15	0.49'	S11°05'47"E	L33	29.93'	S89°50'41"W	C15	101.00'	78.98'	44°48'20"	S22°35'50"E	76.99'
L16	24.02'	N89°57'21"E	L34	16.29'	S75°39'53"W	C16	121.00'	120.09'	56°51'58"	S28°14'19"W	115.22'
L17	45.93'	N10°00'00"W	L35	90.44'	N89°12'13"W	C17	349.00'	203.01'	33°19'43"	S73°20'09"W	200.16'
L18	75.08'	N90°00'00"W	L36	99.60'	N90°00'00"W	C18	500.00'	68.55'	7°51'18"	S09°07'18"W	68.49'
						C19	200.00'	46.28'	13°15'31"	N06°25'12"E	46.18'
						C20	500.00'	44.32'	5°04'43"	S02°19'48"W	44.30'
						C21	500.00'	42.49'	4°52'10"	N02°26'05"E	42.48'

BASIS OF BEARING
 BASIS OF BEARING IS SOUTH 89°44'45" WEST 2650.37 FEET BETWEEN THE FOUND BRASS CAP MONUMENTS FOR THE SOUTH 1/4 CORNER AND THE SOUTHWEST CORNER OF SECTION 26, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN.

RESERVATION OF COMMON AREA
 THE OWNER, HAS DESIGNATED HEREIN CERTAIN COMMON AREAS AND LIMITED COMMON AREAS INTENDED FOR THE USE BY THE OWNERS, THEIR GUESTS, AND INVITEES, AND ARE HEREBY RESERVED FOR THEIR COMMON USE AND ENJOYMENT AS PROVIDED IN THE DECLARATION OF COVENANTS AND RESTRICTIONS OF THE AMEYALLI RESORT AND AS ENFORCED BY THE HOME OWNERS ASSOCIATION.

OWNER'S DEDICATION
 KNOW ALL MEN BY THESE PRESENTS THAT, THE UNDERSIGNED OWNER(S) OF THE PROPERTY DESCRIBED HEREON, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO PADS, PRIVATE STREETS AND DRIVEWAYS, EASEMENTS, LIMITED COMMON, AND COMMON AREA AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THE DECLARATION HEREBY DEDICATE THOSE AREAS LABELED AS PRIVATE STREETS AND DRIVES, EASEMENTS, LIMITED COMMON, AND COMMON AREA, FOR THE CONSTRUCTION AND MAINTENANCE OF PUBLIC UTILITIES AND EMERGENCY VEHICLE ACCESS.

DATED THIS _____ DAY OF _____, A.D. 20____
 BY: _____
 MIDWAY MTN SPA LLC

ACKNOWLEDGMENT
 STATE OF UTAH } S.S.
 COUNTY OF WASATCH }
 ON THE _____ DAY OF _____, A.D. 20____ PERSONALLY APPEARED BEFORE ME, _____, WHO DULY ACKNOWLEDGED TO ME THAT HE/SHE DID EXECUTE THE SAME IN THE CAPACITY INDICATED.
 MY COMMISSION EXPIRES _____ NOTARY PUBLIC

SURVEYOR'S CERTIFICATE
 IN ACCORDANCE WITH SECTION 10-9a-603 OF THE UTAH CODE, I, TROY L TAYLOR, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR HOLDING LICENSE NUMBER 6854112 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS LICENSING ACT.
 I FURTHER CERTIFY THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THE PLAT IN ACCORDANCE WITH SECTION 17-23-17 OF THE UTAH CODE, AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT.
 _____ SURVEYOR (SEE SEAL BELOW) _____ DATE

ACCEPTANCE BY MIDWAY CITY
 THE CITY COUNCIL OF MIDWAY CITY, WASATCH COUNTY, STATE OF UTAH, HEREBY APPROVES THIS PLANNED UNIT DEVELOPMENT AND ACCEPTS THE DEDICATION OF EASEMENTS AND PUBLIC RIGHTS-OF-WAY HEREON SHOWN.
 THIS _____ DAY OF _____, A.D. 20____
 APPROVED _____ MAYOR ATTEST _____ CLERK-RECORDER (SEE SEAL BELOW)
 APPROVED _____ CITY ATTORNEY ATTEST _____ CITY ENGINEER (SEE SEAL BELOW)

PLANNING COMMISSION APPROVAL
 APPROVED THIS _____ DAY OF _____, A.D. 20____ BY THE _____ MIDWAY CITY PLANNING COMMISSION
 _____ PLANNING DIRECTOR _____ CHAIRMAN, PLANNING COMMISSION

COUNTY SURVEYOR'S CERTIFICATE
 APPROVED AS TO FORM ON THIS DAY OF _____, 20____
 ROS# _____
 _____ COUNTY SURVEYOR

COUNTY RECORDER

AMEYALLI RESORT PHASE 1
 PLANNED UNIT DEVELOPMENT, MIDWAY CITY, WASATCH COUNTY, STATE OF UTAH
 SCALE: 1" = 100 FEET
 SHEET: 1 OF 2

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY ENGINEER SEAL	CLERK-RECORDER SEAL

LEGEND

- COMMON AREA (15.46 AC)
- LIMITED COMMON AREA (0.61 AC)
- PRIVATE AREA (1.31 AC)
- 8' PUBLIC TRAIL
- FOUND SECTION CORNERS (AS NOTED ON DRAWING)
- SET REBAR WITH CAP MARKED ELEMENT LAND SURVEYING PLS 6854112

STORM WATER RETENTION POND NOTE:
 HOME OWNERS ASSOCIATION SHALL NOT DISTURB, INTERFER OR CHANGE THE GRADING, ELEVATION OR LANDSCAPING IN THE STORM WATER RETENTION PONDS.

COMMON AREA IS A PUBLIC UTILITY EASEMENT
 ALL COMMON AREA AND LIMITED COMMON IS DEDICATED AS A PUBLIC UTILITY EASEMENT INCLUDING A STORM DRAIN EASEMENT FOR PIPELINES AND RETENTION PONDS.

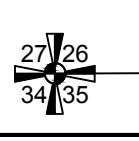
PUBLIC UTILITY EASEMENT NOTE:
 A TEN FOOT (10') AREA FOR A PUBLIC UTILITY EASEMENT HAS BEEN PROVIDED ALONG ALL STREETS.

LIMITED COMMON NOTE:
 PATIOS AND DRIVEWAYS ARE LIMITED COMMON AREAS.

AMEYALLI PHASE 1 PLAT - 14 NOVEMBER 2022

SURVEYOR
 TROY L TAYLOR, PLS
 ELEMENT LAND SURVEYING
 2296 SOUTH 270 EAST
 HEBER CITY, UTAH 84032
 PHONE (801) 657-8748
 DATE OF SURVEY: JANUARY 2020

FOUND WASATCH COUNTY BRASS CAP MONUMENT MARKING THE SOUTHWEST CORNER OF SECTION 26, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN



FOUND WASATCH COUNTY BRASS CAP MARKING THE SOUTH 1/4 CORNER OF SECTION 26, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN

FOUND WASATCH COUNTY BRASS CAP MARKING THE SOUTH 1/4 CORNER OF SECTION 26, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN

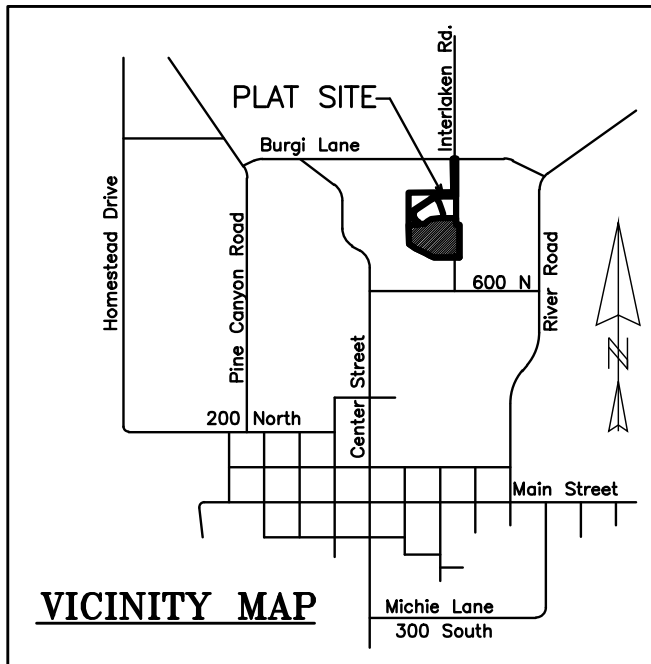
FOUND WASATCH COUNTY BRASS CAP MARKING THE SOUTH 1/4 CORNER OF SECTION 26, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN

FOUND WASATCH COUNTY BRASS CAP MARKING THE SOUTH 1/4 CORNER OF SECTION 26, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN

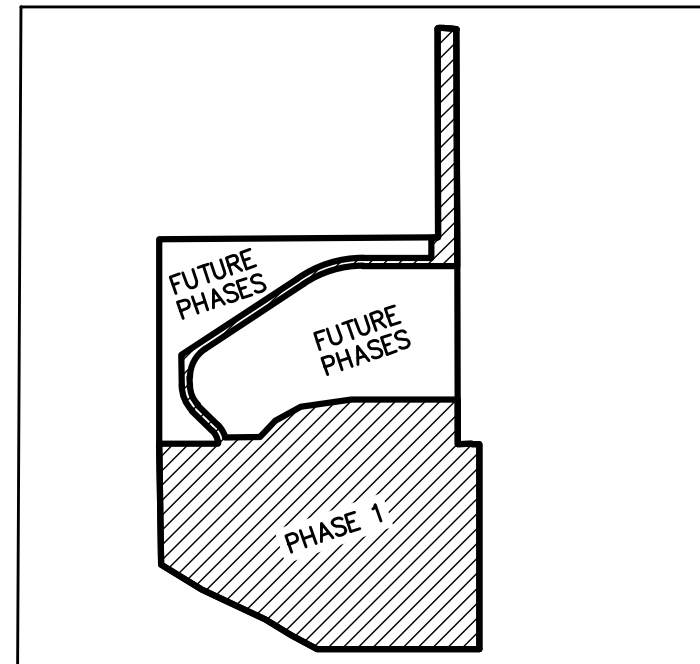
FOUND WASATCH COUNTY BRASS CAP MARKING THE SOUTH 1/4 CORNER OF SECTION 26, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN

AMEYALLI RESORT-PHASE 1

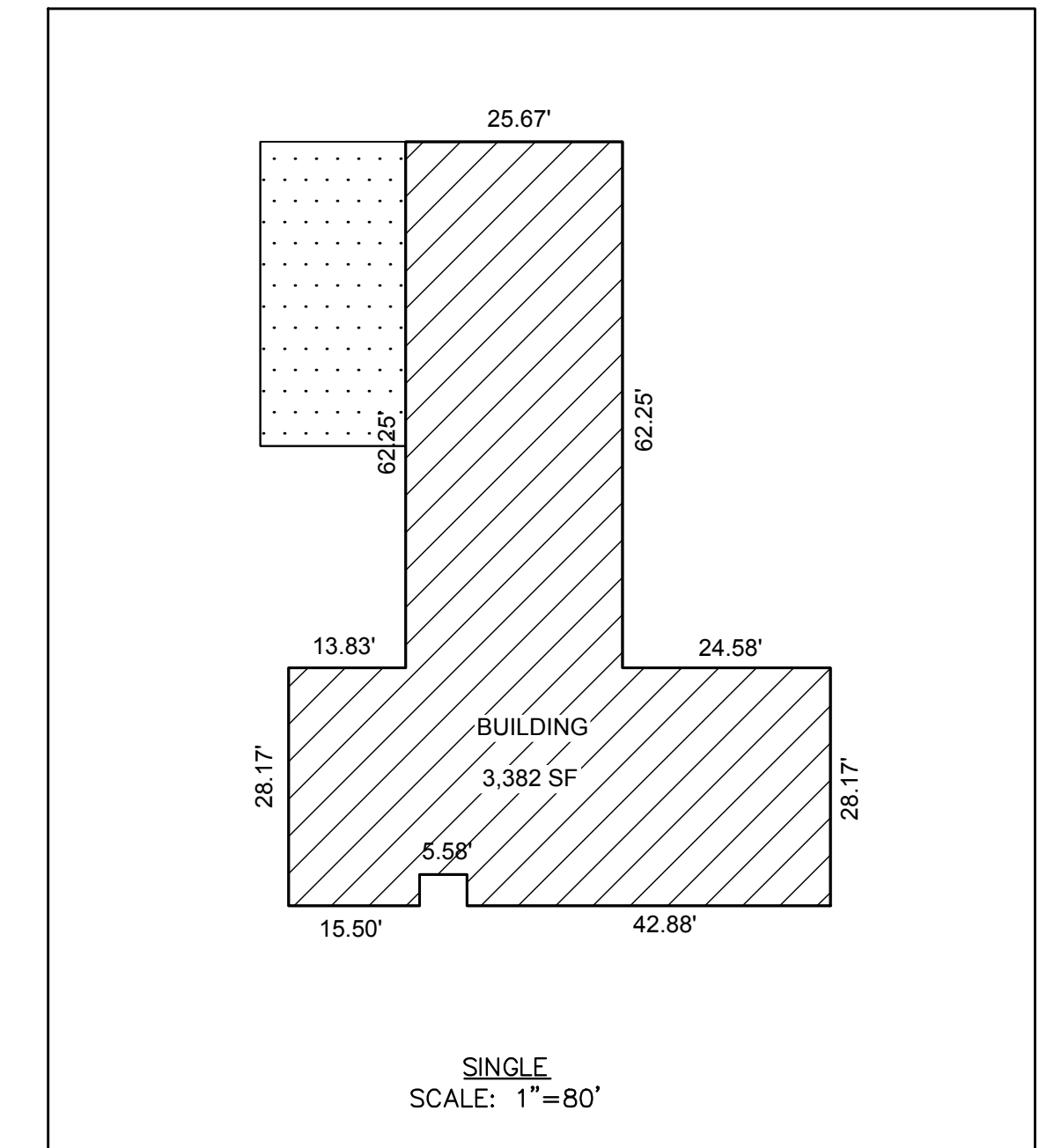
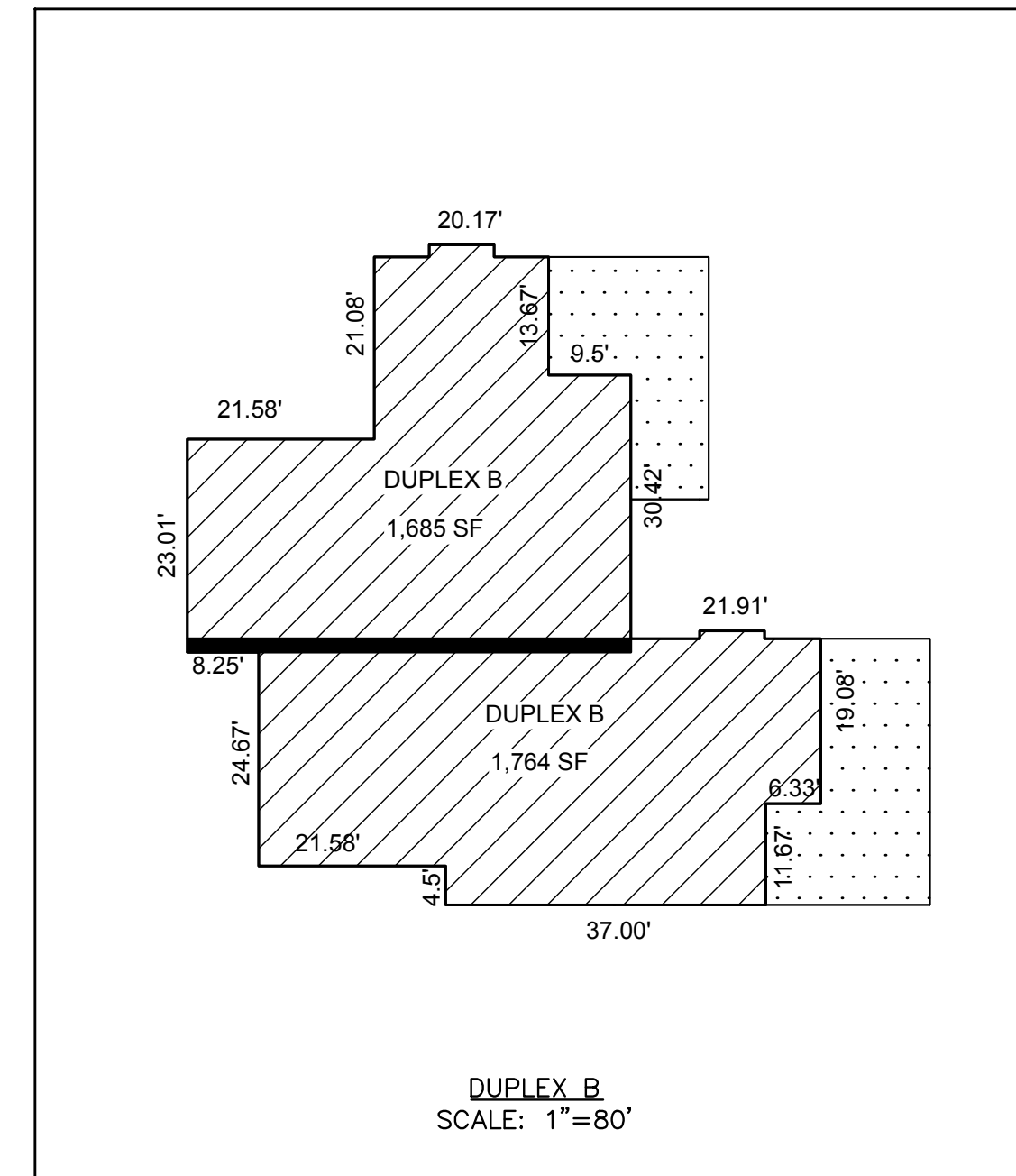
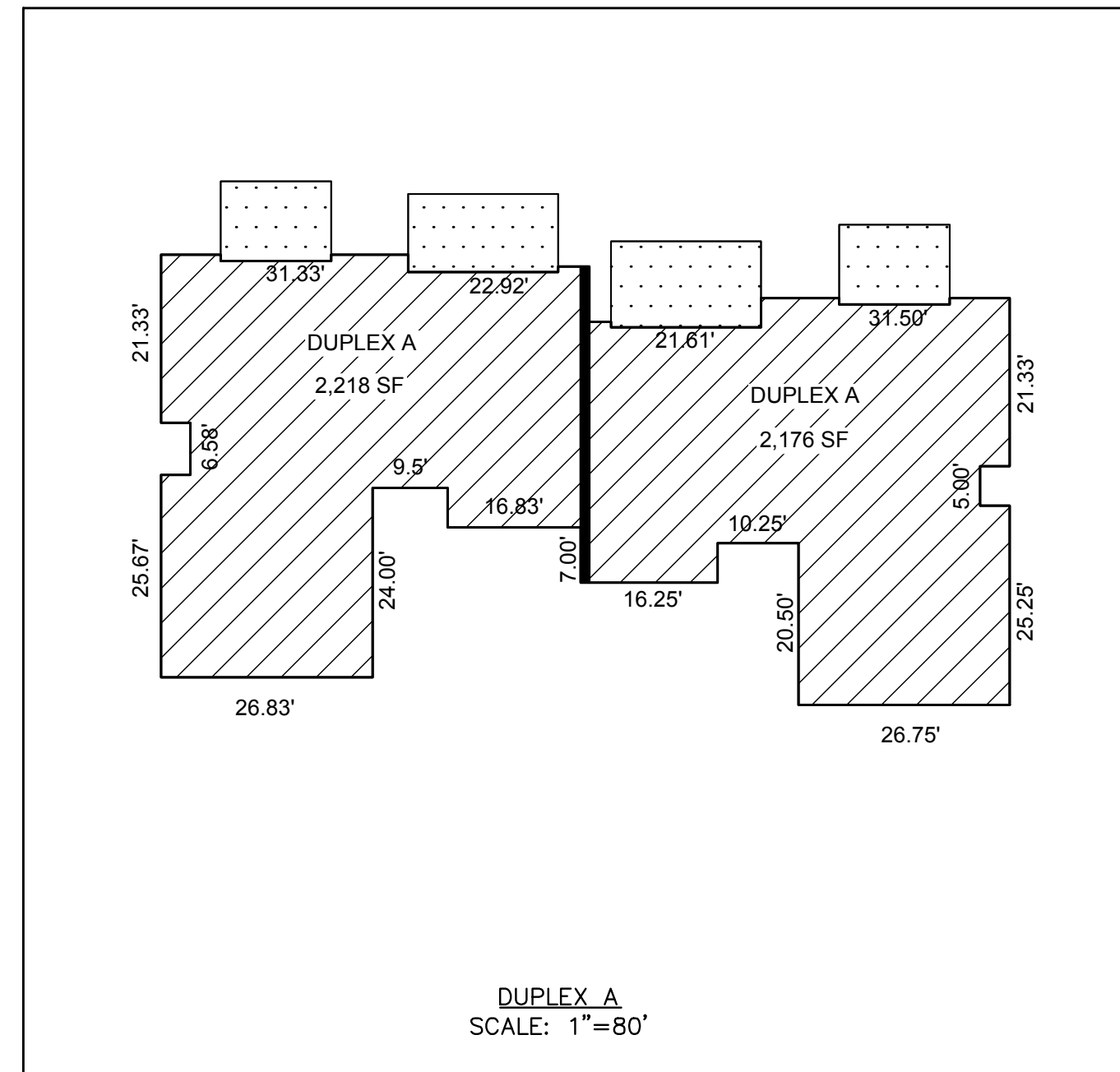
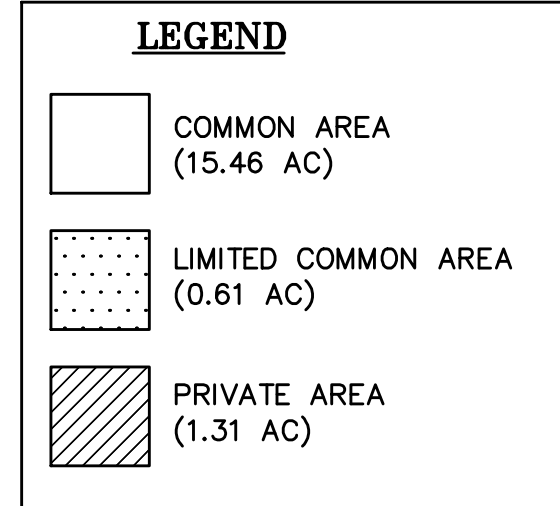
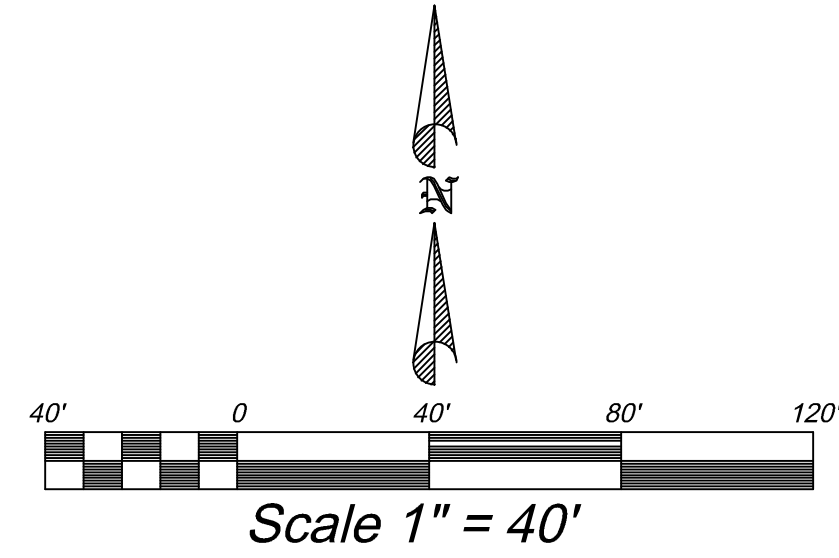
LOCATED IN THE SW QUARTER OF SECTION 26, T3S, R4E, SLB&M



LOCATED IN THE SW QUARTER OF SECTION 26, T3S, R4E, SLB&M



AMEYALLI PHASING



BUILDING PAD COORDINATES

POINT	NORTHING	EASTING
1	N 5483.39	E 11226.33
2	N 5590.21	E 11213.08
3	N 5608.88	E 11165.89
4	N 5662.64	E 11099.05
5	N 5670.31	E 11069.06
6	N 5622.22	E 10961.56
7	N 5631.68	E 10929.44
8	N 5663.73	E 10873.94
9	N 5736.54	E 10745.51
10	N 5792.97	E 10704.09
11	N 5803.99	E 10691.05
12	N 5911.60	E 10688.17
13	N 5927.34	E 10686.73
14	N 6034.84	E 10692.23
15	N 6012.84	E 10511.78
16	N 5905.34	E 10517.28
17	N 5982.65	E 10512.06
18	N 5775.15	E 10517.56
19	N 5710.17	E 10524.35
20	N 5661.18	E 10620.20
21	N 5626.52	E 10662.28
22	N 5638.90	E 10728.99
23	N 5611.38	E 10782.13
24	N 5557.49	E 10787.29
25	N 5515.24	E 10857.74
26	N 5482.10	E 10960.16
27	N 5472.48	E 10989.65
28	N 5477.98	E 11097.15

ADDRESS TABLE	
1	WELLNESS DRIVE
2	WELLNESS DRIVE
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19	WELLNESS DRIVE
20	WELLNESS DRIVE
21	WELLNESS DRIVE
22	WELLNESS DRIVE
23	WELLNESS DRIVE
24	WELLNESS DRIVE
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26	WELLNESS DRIVE

AMEYALLI RESORT PHASE 1

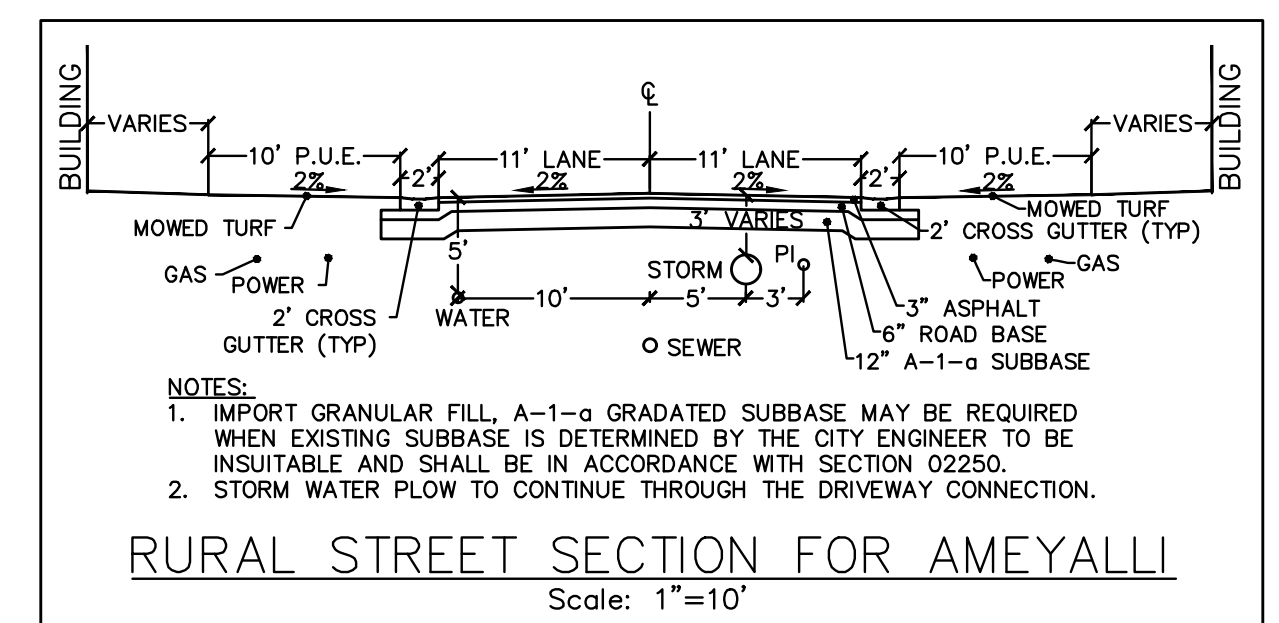
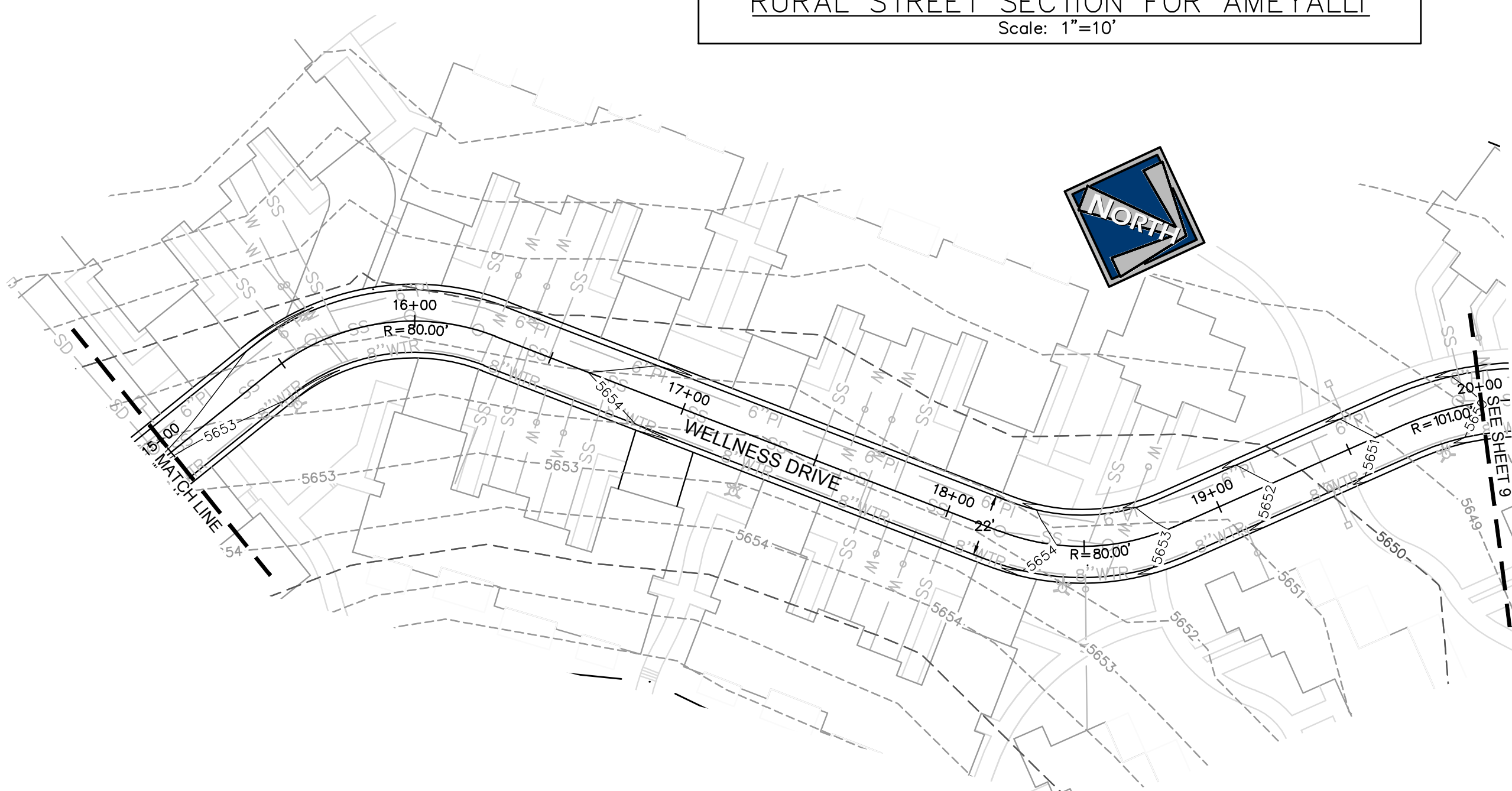
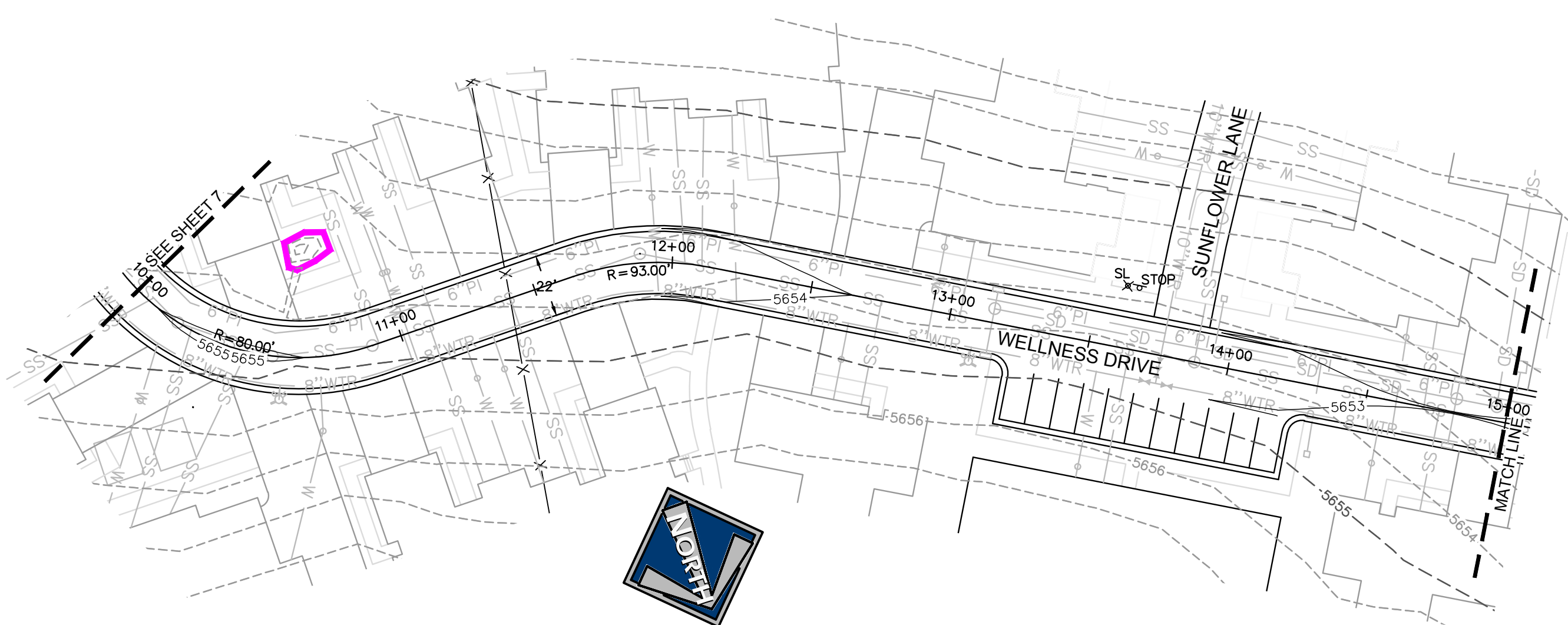
PLANNED UNIT DEVELOPMENT, MIDWAY CITY, WASATCH COUNTY, STATE OF UTAH
SCALE: 1" = 40 FEET

SHEET: 2 OF 2

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY ENGINEER SEAL	CLERK-RECORDER SEAL

AMEYALLI PHASE 1 PLAT - 14 NOVEMBER 2022

SURVEYOR
TROY L. TAYLOR, PLS
ELEMENT LAND SURVEYING
2296 SOUTH 270 EAST
HEBER CITY, UTAH 84032
PHONE (801) 657-8748
DATE OF SURVEY: JANUARY 2020



- LEGEND**
- EXSS — EXISTING SEWER
 - 8"SS — PROPOSED 8" SEWER
 - EX8"W — EXISTING 8" WATER
 - 8"WTR — PROPOSED 8" WATER
 - EXPI — EXISTING PRESSURIZED IRRIGATION
 - PI — PROPOSED PRESSURIZED IRRIGATION
 - 18"SD — PROPOSED STORM DRAIN
 - X — EXISTING FENCE
 - HOT POT/CRATER SENSITIVE LAND
 - SL X — STREET LIGHT
 - STOP — STOP SIGN

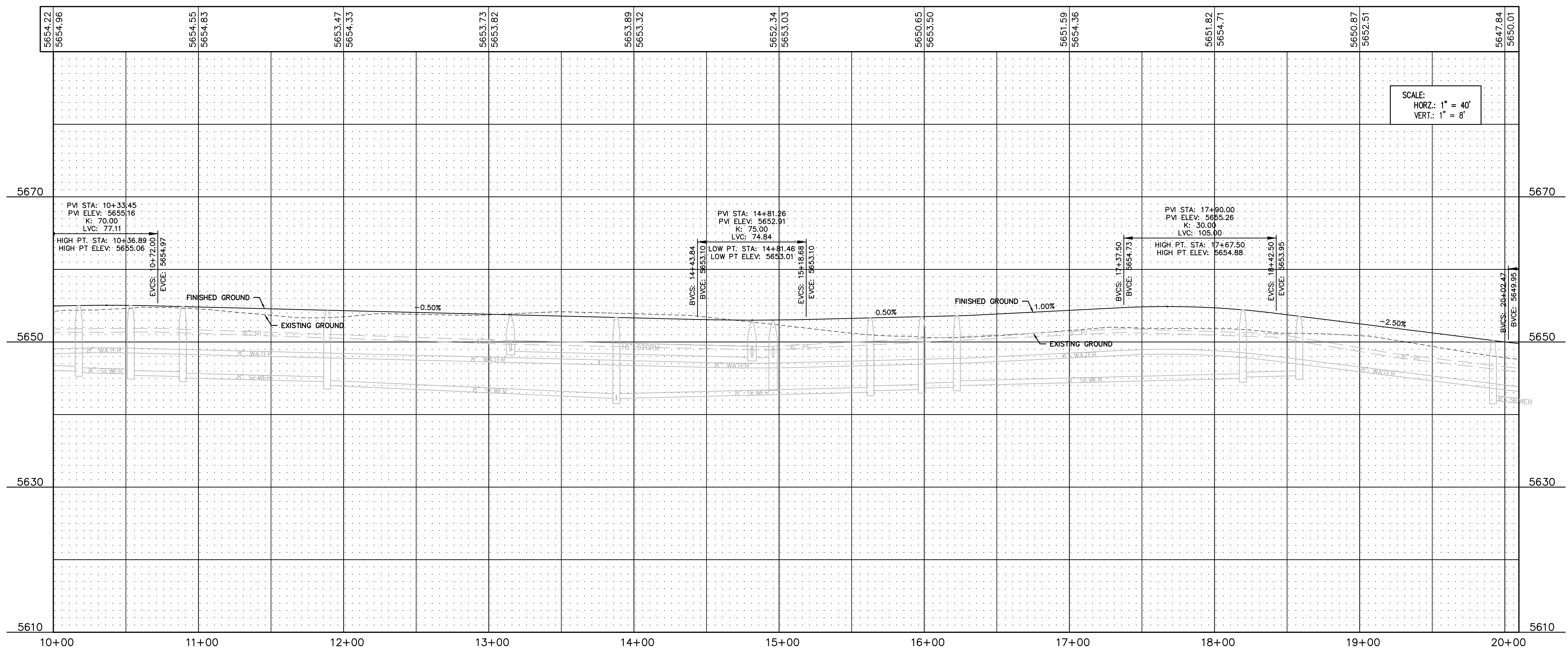
BLUE STAKE NOTE:

- LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.
- ONSITE PRIVATE ROAD IS DESIGNED FOR REDUCED SPEEDS. DESIGN STANDARDS INCLUDE:

MIN RADIUS FOR HIGH VOLUME LOW SPEED URBAN ROADS PER AASHTO EXHIBIT 4.

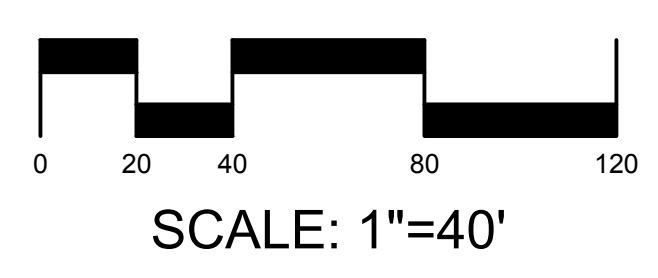
	HORIZONTAL RADIUS	K FOR VERTICAL CURVES
15 MPH	R=40'	K=10 (CREST) K=20 (SAG)
20 MPH	R=80'	K=20 (CREST) K=30 (SAG)

5647.07 EXISTING GROUND
 5647.07 FINISHED GROUND



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PAUL D. BERG P.E.
 SERIAL NO. 295595
 DATE: 14 NOV 2022



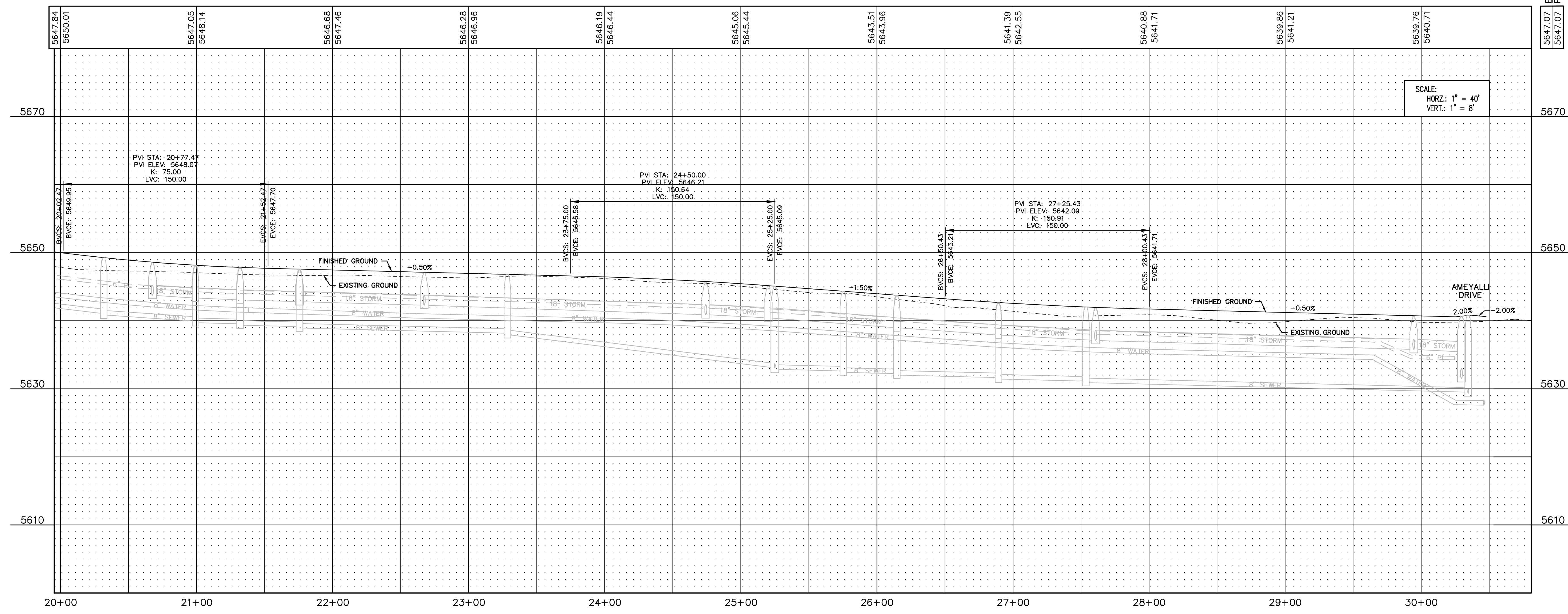
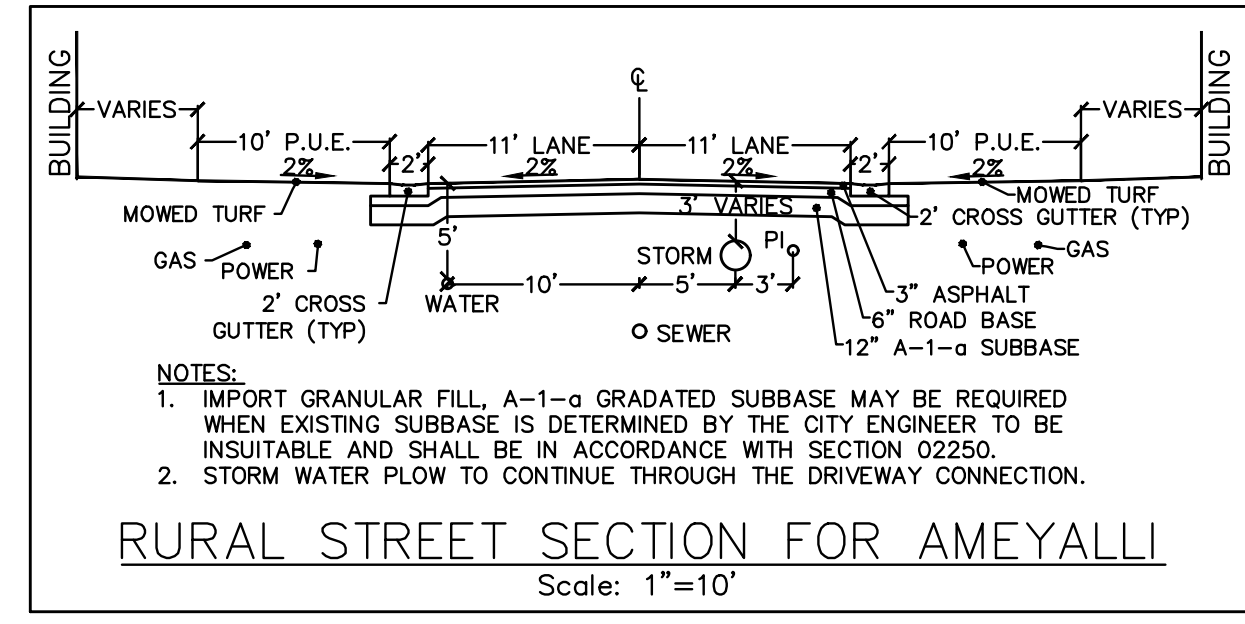
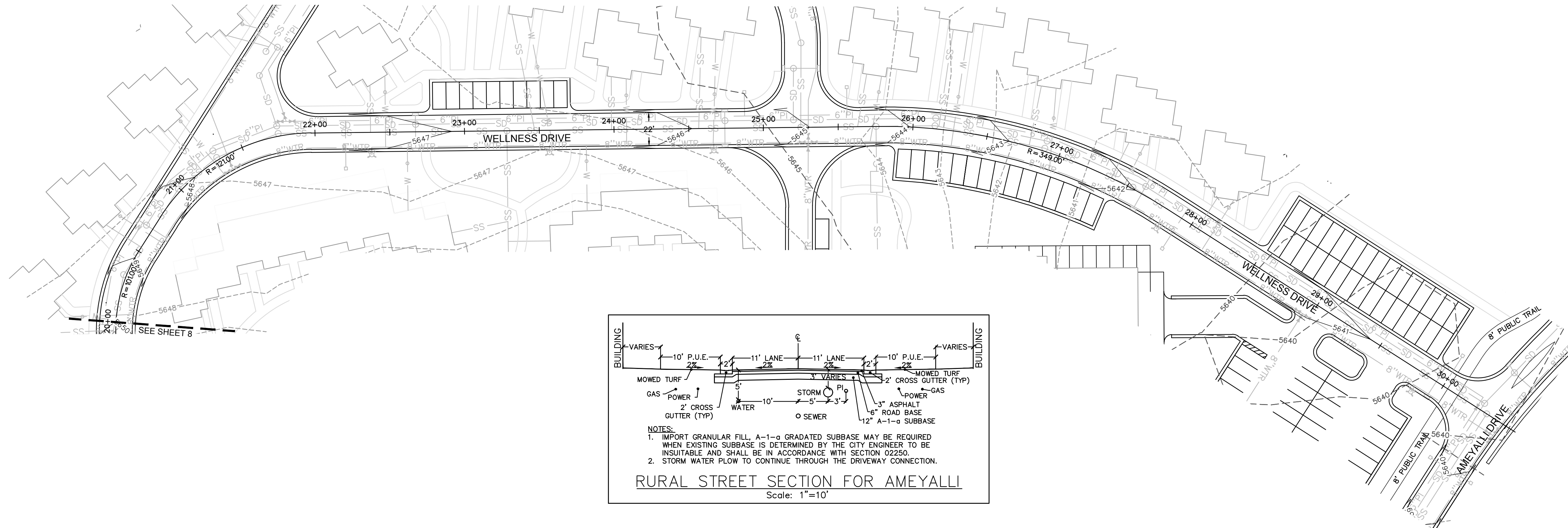
CHUCK HEATH
 AMEYALLI - PHASE 1

WELLNESS DRIVE -
 PLAN & PROFILE STA 10+00 - 20+00

380 E Main St. Suite 204
 Midway, Ut 84049
 ph 435.657.9749

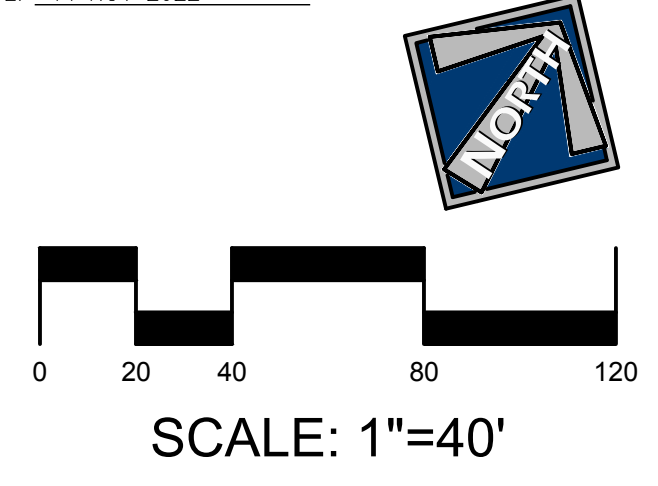
DESIGN BY: PDB DATE: 14 NOV 2022
 DRAWN BY: DEJ REV: SHEET 8

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 Plot name: 07_2022_Plan_Profile.dwg | plot date: November 14, 2022 | plotted by: dbe



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PAUL D. BERG P.E.
SERIAL NO. 295595
DATE: 14 NOV 2022

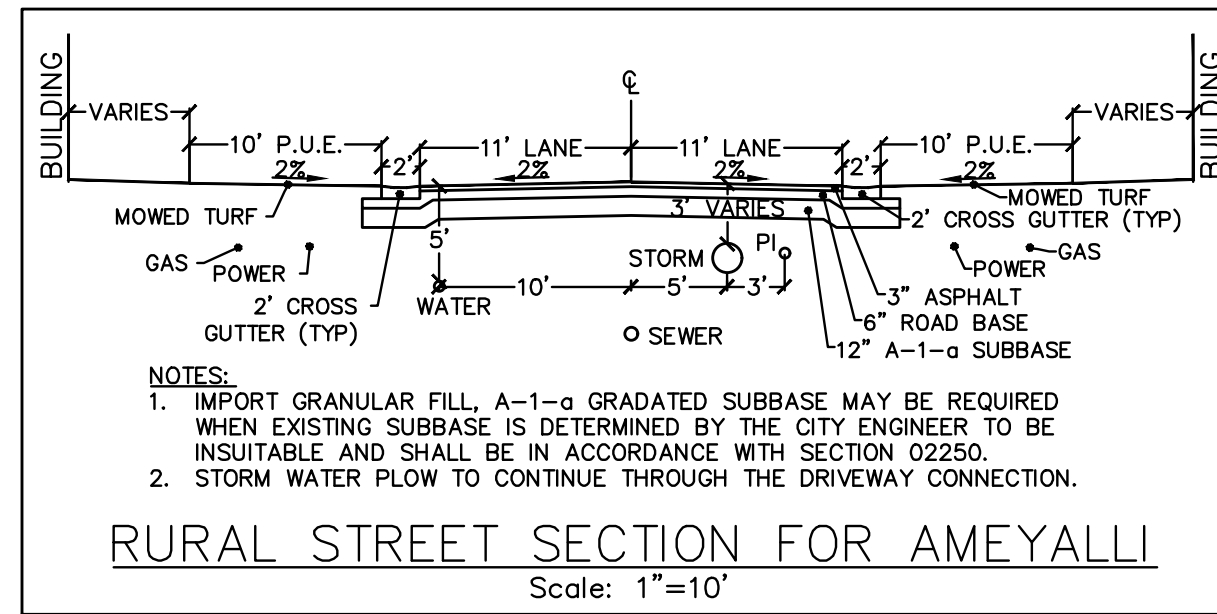
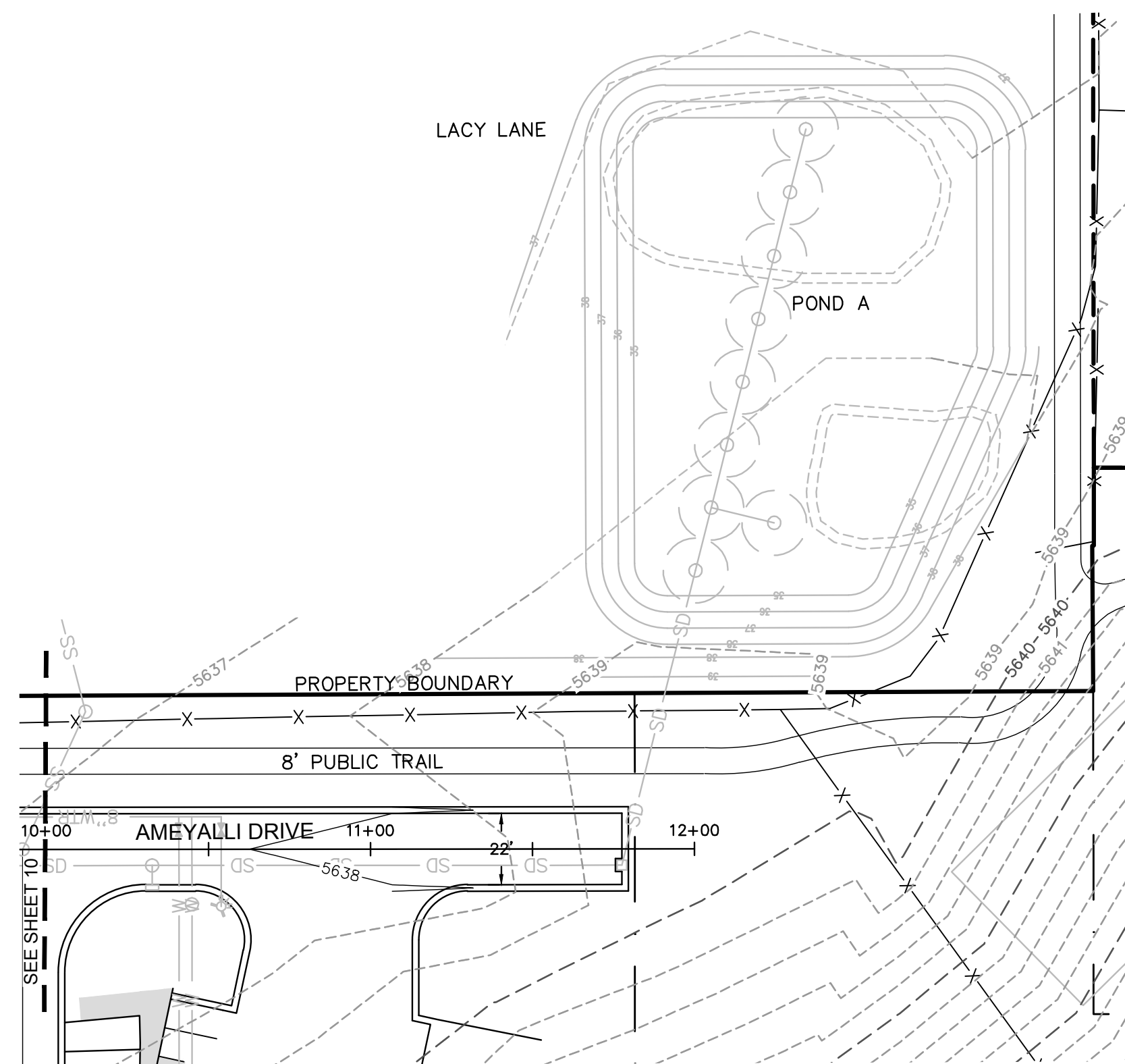


CHUCK HEATH
AMEYALLI - PHASE 1
WELLNESS DRIVE -
PLAN & PROFILE STA 20+00 - 30+50

BERG ENGINEERING
380 E Main St. Suite 204
Midway, Ut 84049
ph 435.657.9749

DESIGN BY: PDB DATE: 14 NOV 2022
DRAWN BY: DEJ REV: SHEET 9

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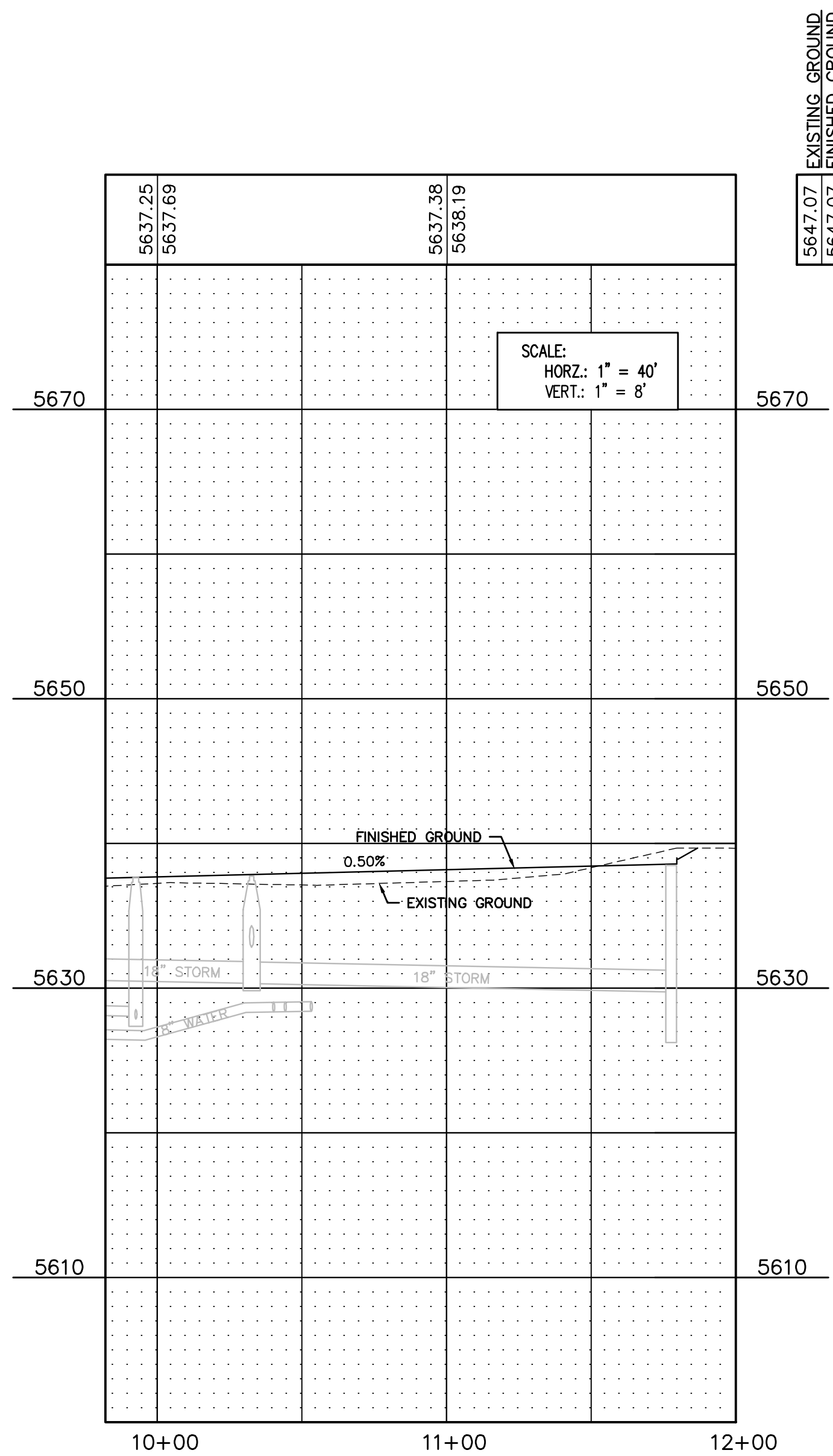


- LEGEND**
- EXSS — EXISTING SEWER
 - 8"SS — PROPOSED 8" SEWER
 - EX8"W — EXISTING 8" WATER
 - 8"WTR — PROPOSED 8" WATER
 - EXPI — EXISTING PRESSURIZED IRRIGATION
 - PI — PROPOSED PRESSURIZED IRRIGATION
 - 18"SD — PROPOSED STORM DRAIN
 - X — EXISTING FENCE
 - SL X — STREET LIGHT
 - STOP □ — STOP SIGN

- BLUE STAKE NOTE:**
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 - ONSITE PRIVATE ROAD IS DESIGNED FOR REDUCED SPEEDS. DESIGN STANDARDS INCLUDE:

MIN RADIUS FOR HIGH VOLUME LOW SPEED URBAN ROADS PER AASHTO EXHIBIT 4.

	HORIZONTAL RADIUS	K FOR VERTICAL CURVES
15 MPH	R=40'	K=10 (CREST) K=20 (SAG)
20 MPH	R=80'	K=20 (CREST) K=30 (SAG)



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PAUL D. BERG P.E.
 SERIAL NO. 295595
 DATE: 14 NOV 2022

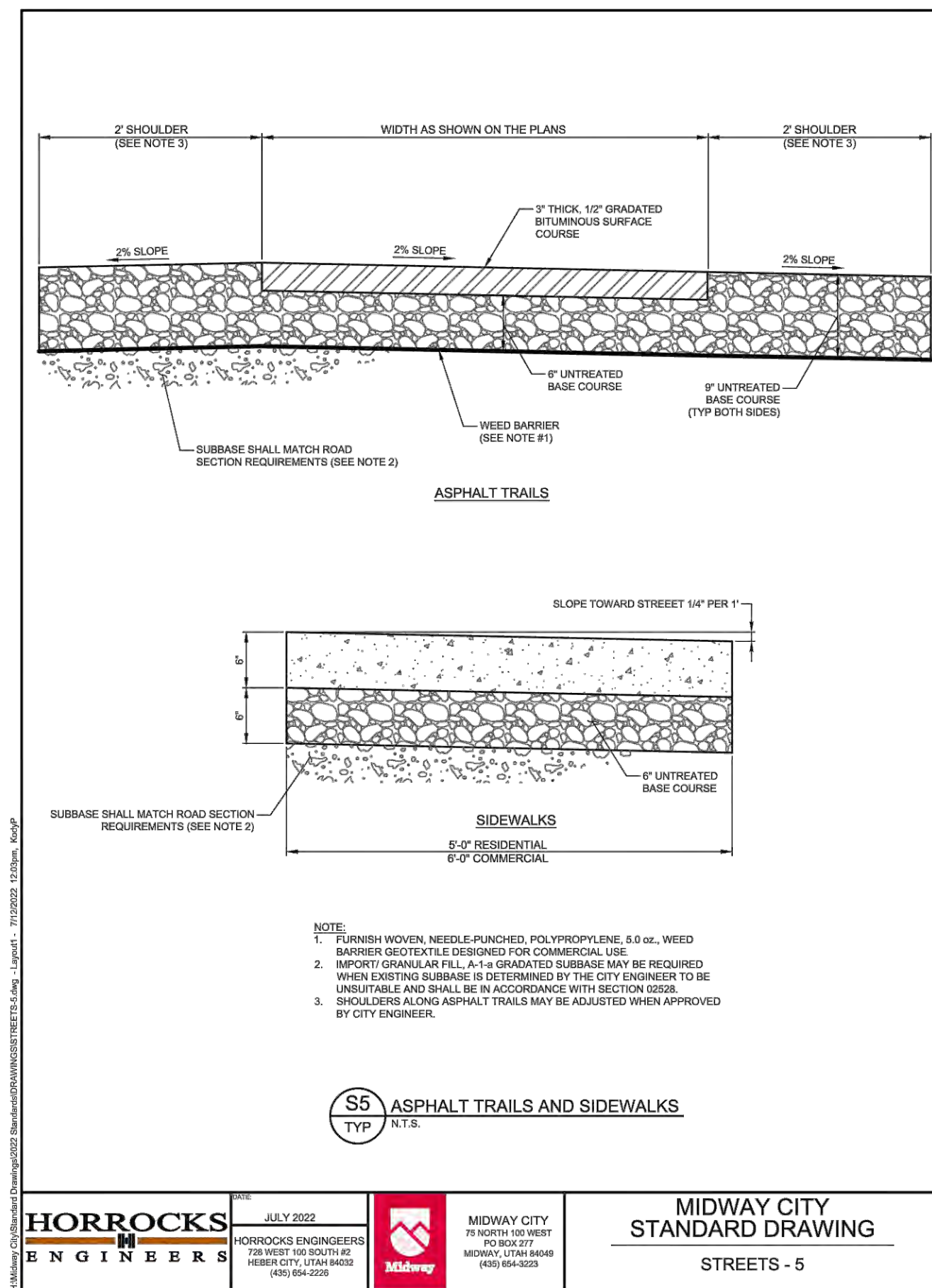


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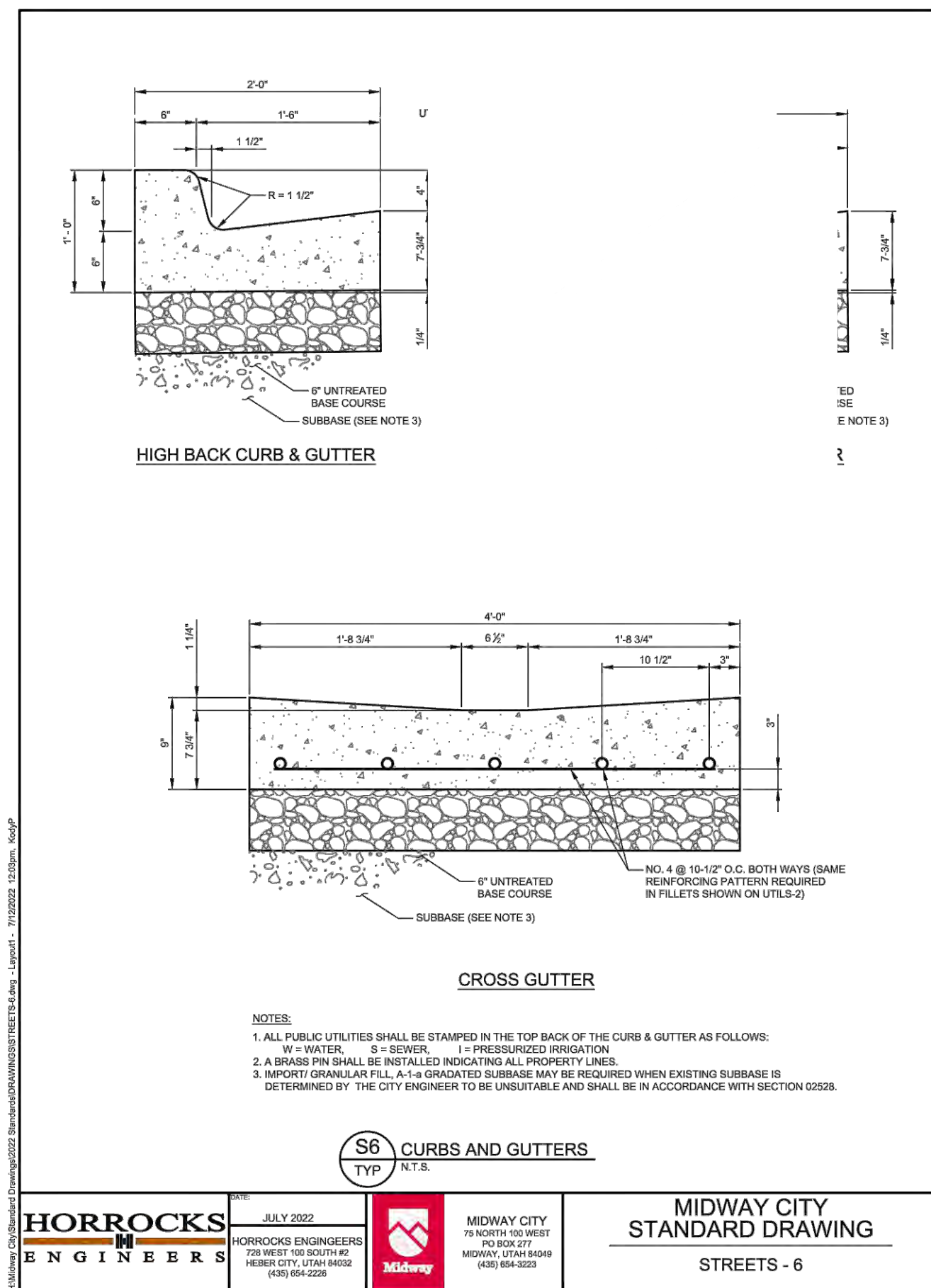
CHUCK HEATH
 AMEYALLI - PHASE 1
 AMEYALLI DRIVE - PLAN & PROFILE STA 10+00 - 12+00

BERG ENGINEERING
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 Midway, Ut 84049
 ph 435.657.9749

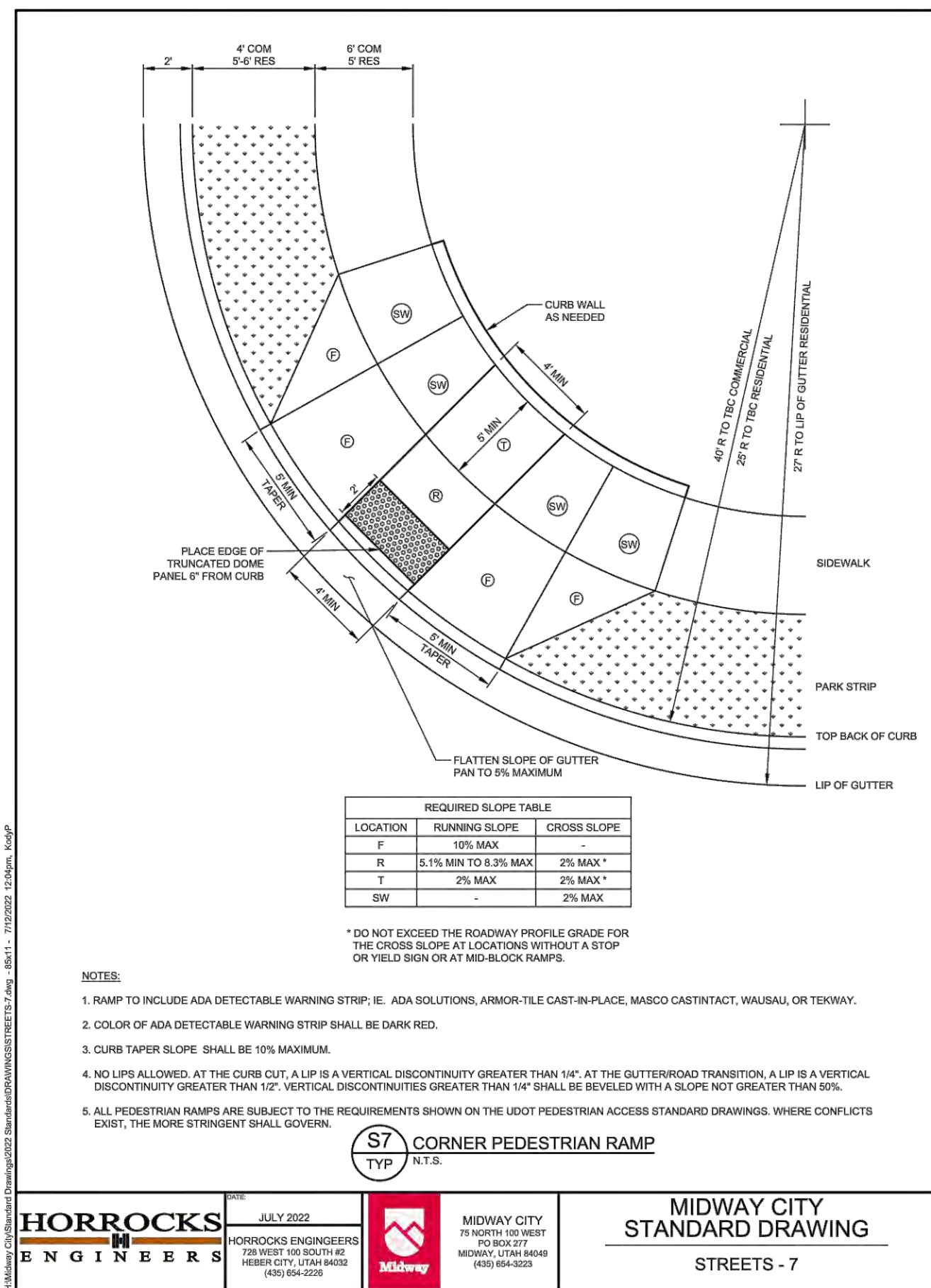
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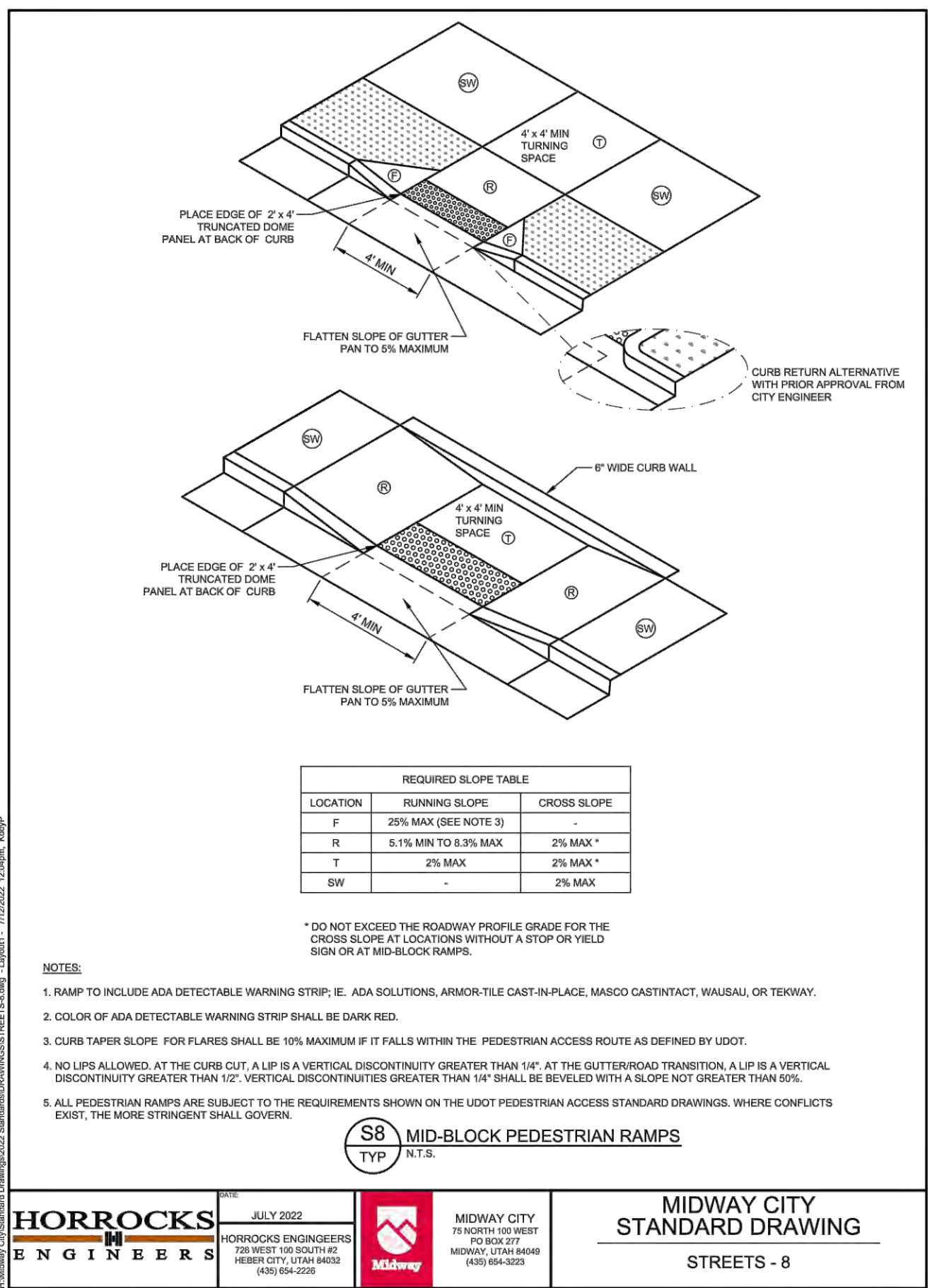
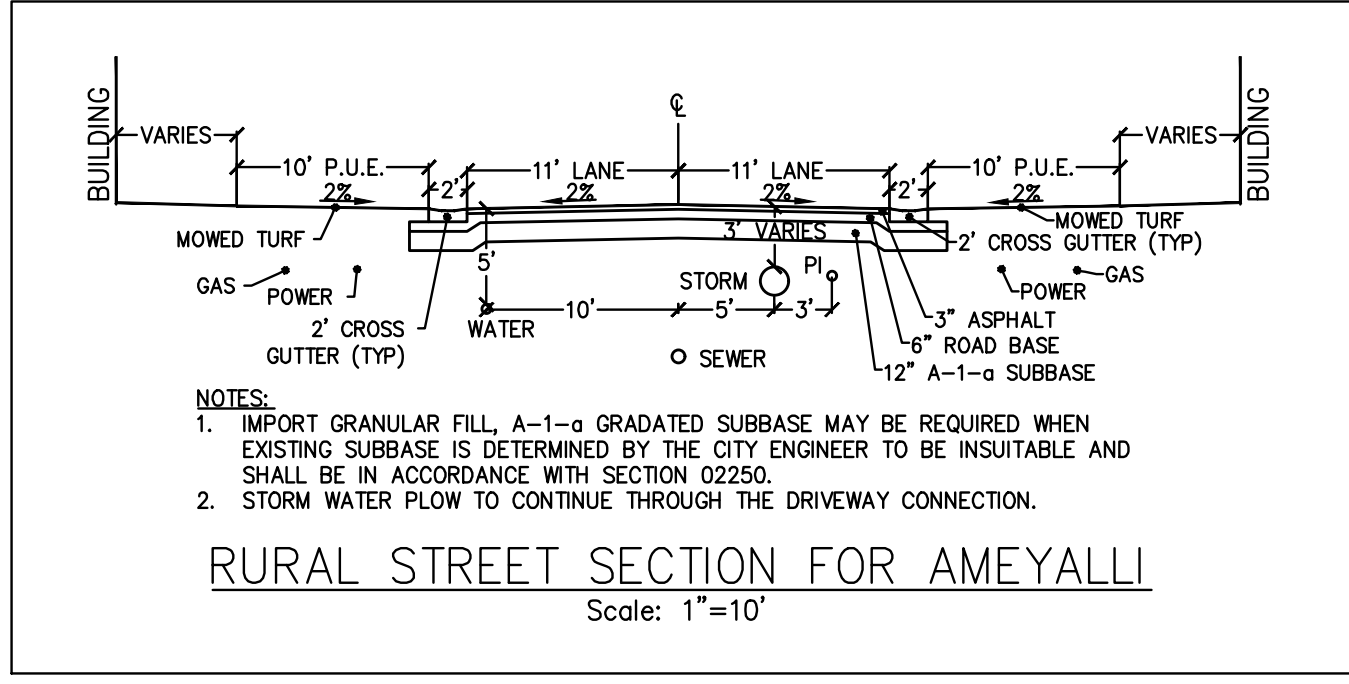
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 MIDWAY CITY STANDARD DRAWING
 STREETS - 5



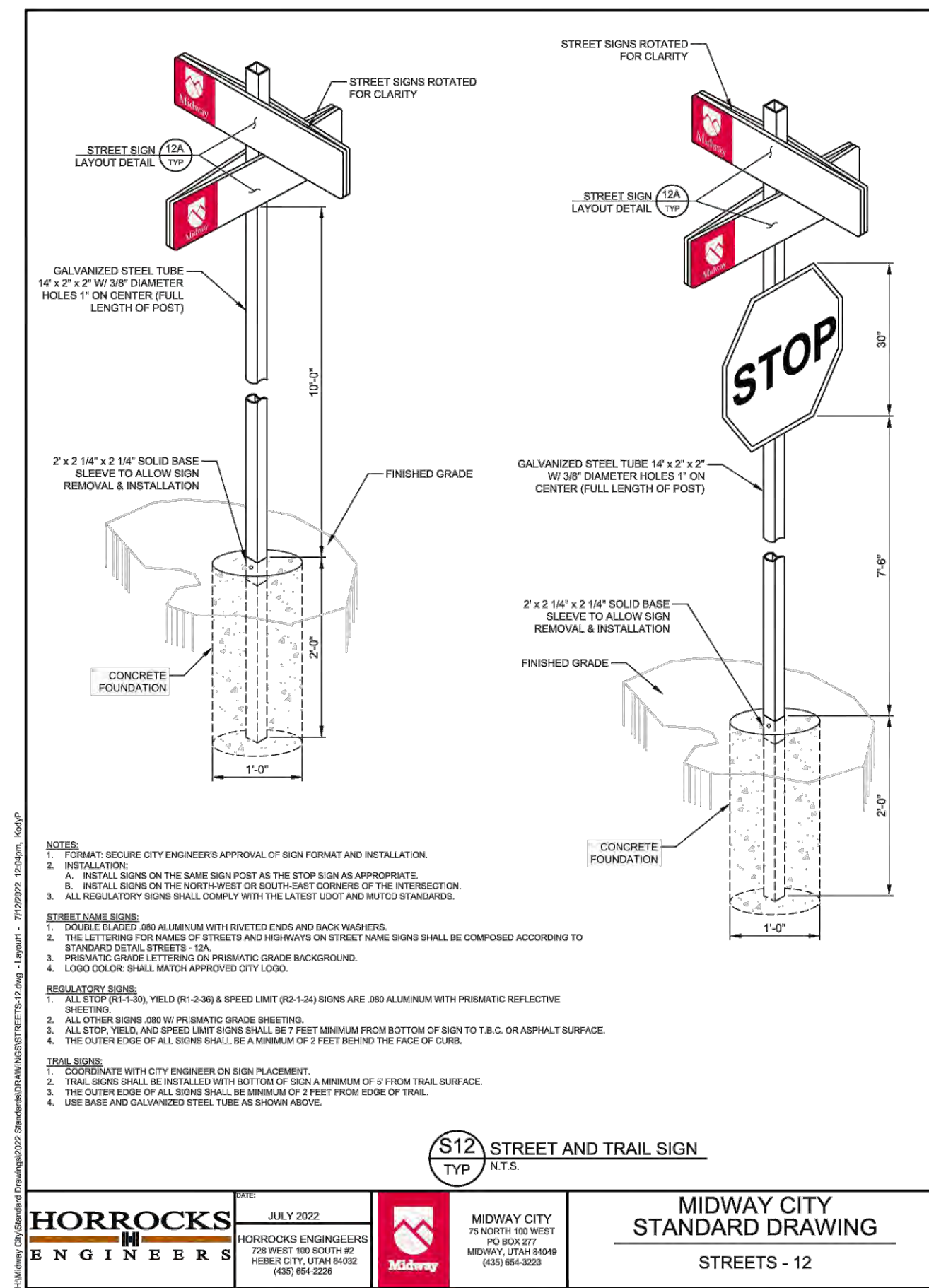
HORROCKS ENGINEERS JULY 2022
 MIDWAY CITY STANDARD DRAWING
 STREETS - 6



HORROCKS ENGINEERS JULY 2022
 MIDWAY CITY STANDARD DRAWING
 STREETS - 7



HORROCKS ENGINEERS JULY 2022
 MIDWAY CITY STANDARD DRAWING
 STREETS - 8



HORROCKS ENGINEERS JULY 2022
 MIDWAY CITY STANDARD DRAWING
 STREETS - 12



HORROCKS ENGINEERS JULY 2022
 MIDWAY CITY STANDARD DRAWING
 STREETS - 12A

CHUCK HEATH
 AMEYALLI PHASE 1
 ROAD CONSTRUCTION
 DETAILS

BERG ENGINEERING
 380 E Main St. Suite 204
 Midway, UT 84049
 ph 435.657.9749

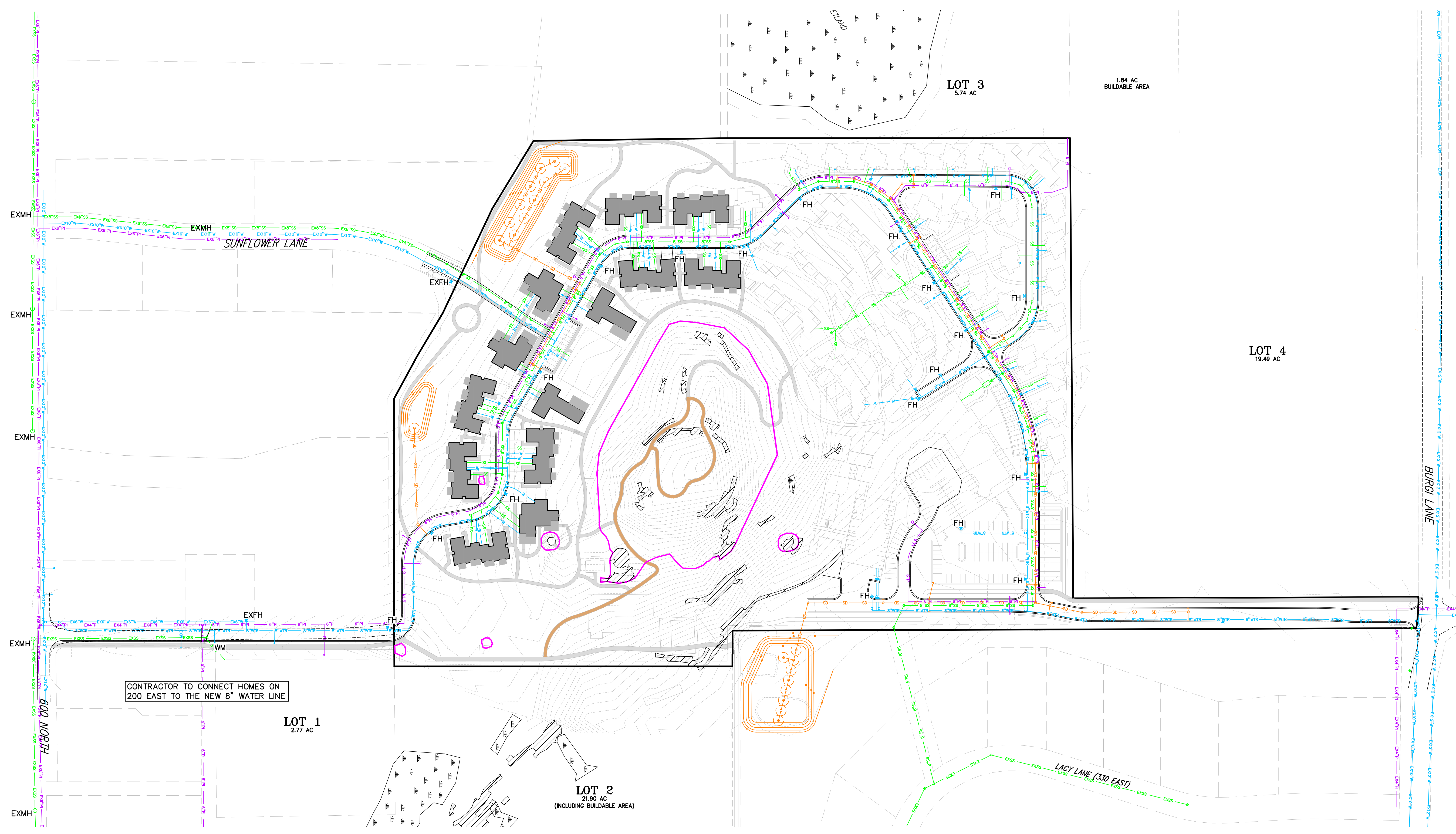
DESIGN BY: PDB
 DRAWN BY: PDB

DATE: 14 NOV 2022
 REV:

SHEET
 12

path: \\V:\Projects\AMEYALLI\Phase 1\Drawings\12 ROAD CONSTRUCTION DETAILS.dwg | plot date: November 14, 2022 | plotted by: adae

Heath, X. Village, Midvale, See Health/Street 2022/2023/2024 - Phase 1 - Utility Plan - 11/14/2022
 The name, "PHASE 1 UTILITY PLAN" is not to be used without the approval of the City of Midvale.



- LEGEND**
- WETLANDS (3.75 ACRES)
 - SLOPES > 25% (0.33 ACRES OUTSIDE OF HOT POT/CRATER)
 - HOT POT/CRATER SENSITIVE LANDS (3.52 ACRES)
 - EXISTING SEWER
 - PROPOSED SEWER
 - EXISTING WATER
 - PROPOSED WATER
 - EXISTING PRESSURIZED IRRIGATION
 - PROPOSED PRESSURIZED IRRIGATION
 - PROPOSED STORM DRAIN
 - FIRE HYDRANT

BLUE STAKE NOTE:

- LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.

SEWER NOTES:

- ALL SEWER IMPROVEMENTS SHALL MEET MIDWAY SANITATION DISTRICT STANDARDS & SPECIFICATIONS

WATER NOTES:

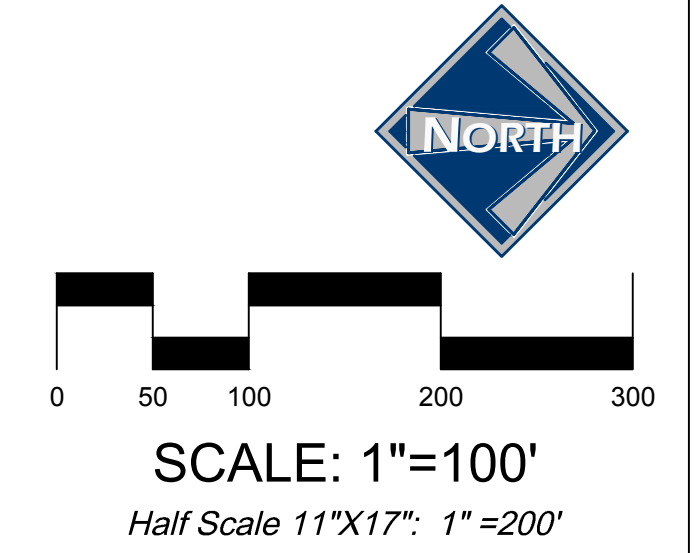
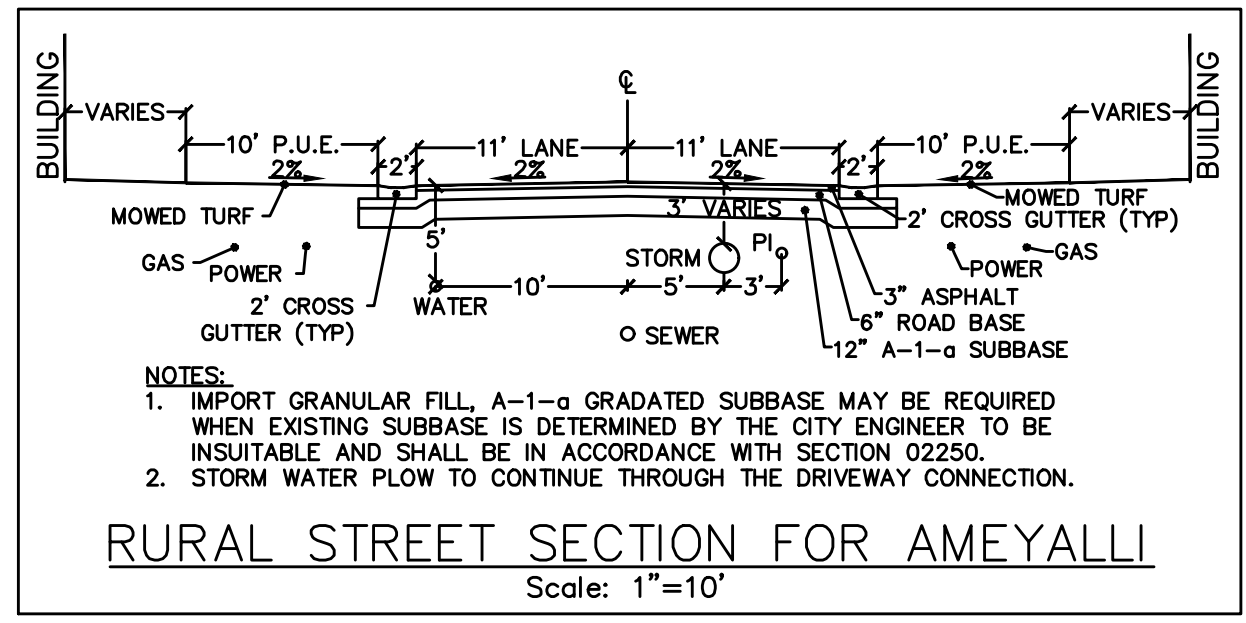
- ALL WATER IMPROVEMENTS SHALL MEET MIDWAY CITY STANDARDS AND SPECIFICATIONS.
- ALL COTTAGES/DUPLEXES WILL HAVE A 1" WATER SERVICE.

PRESSURIZED IRRIGATION NOTES:

- ALL PRESSURIZED IRRIGATION IMPROVEMENTS SHALL MEET MIDWAY IRRIGATION COMPANY STANDARDS & SPECIFICATIONS.
- ALL PRESSURIZED IRRIGATION MAIN SHALL BE C-900 DR-18 PURPLE PIPE.

ALL SEWER LATERALS AND WATER SERVICES TO FUTURE BUILDINGS TO BE STUBBED 10' BEYOND THE BACK OF CURB

CONTRACTOR TO CONNECT HOMES ON 200 EAST TO THE NEW 8" WATER LINE



CHUCK HEATH
AMEYALLI - PHASE 1
PHASE 1 UTILITY PLAN

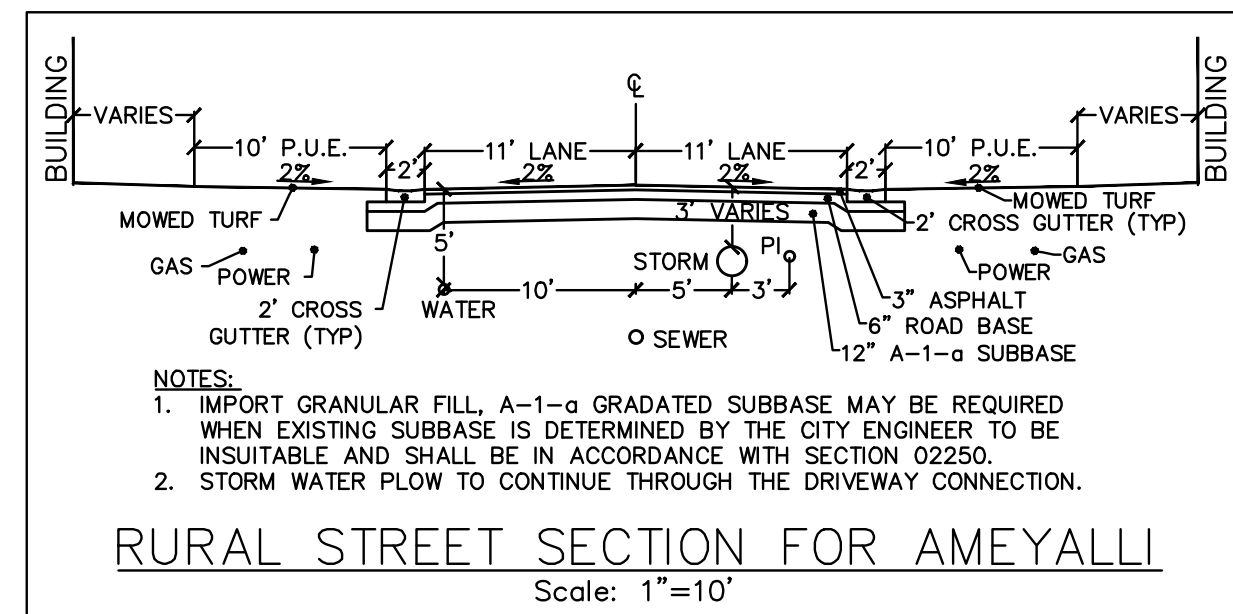
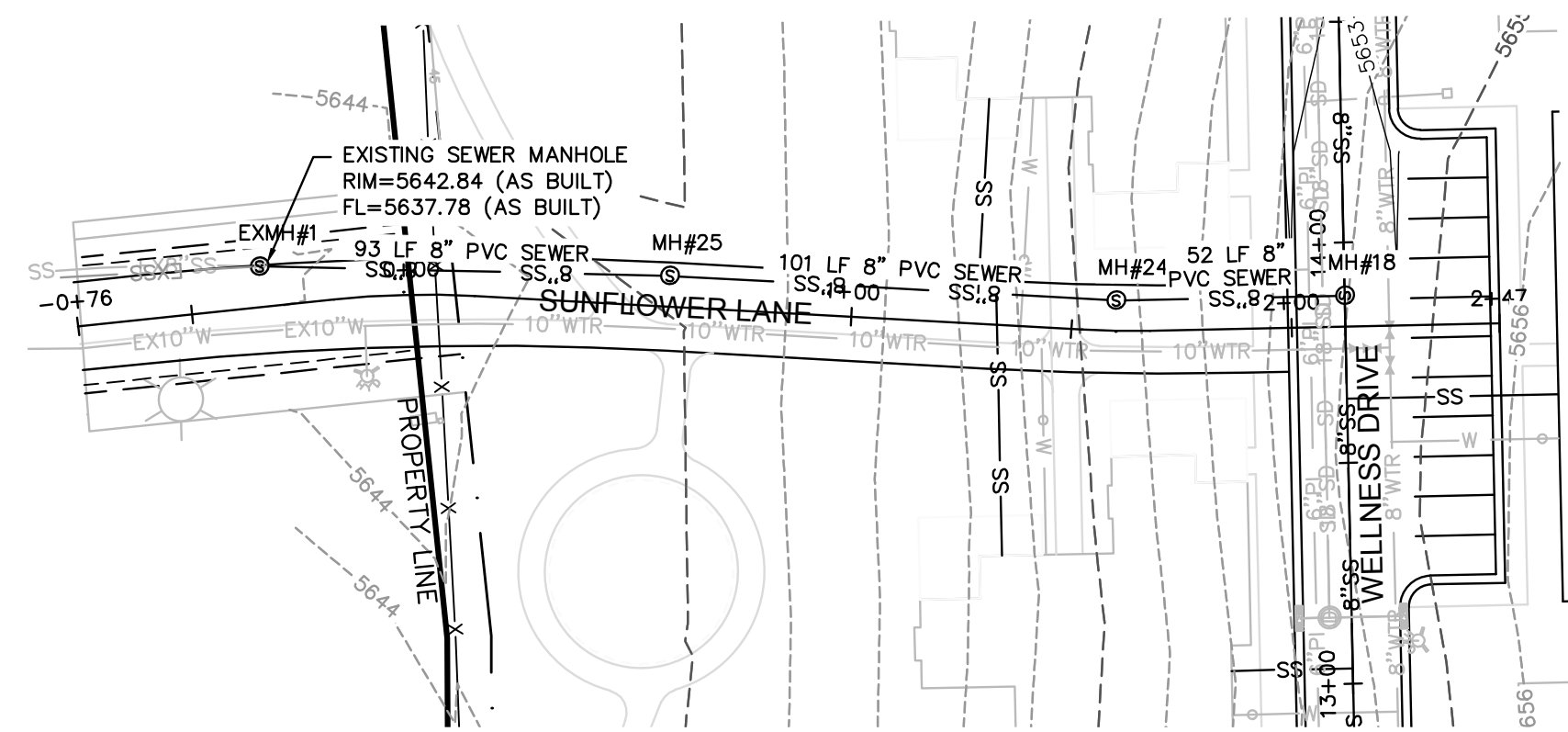
BERG ENGINEERING
380 E Main St. Suite 204
Midway, UT 84049
ph 435.657.9749

DESIGN BY: PDB
DRAWN BY: DEJ
DATE: 14 NOV 2022
REV:

SHEET
13

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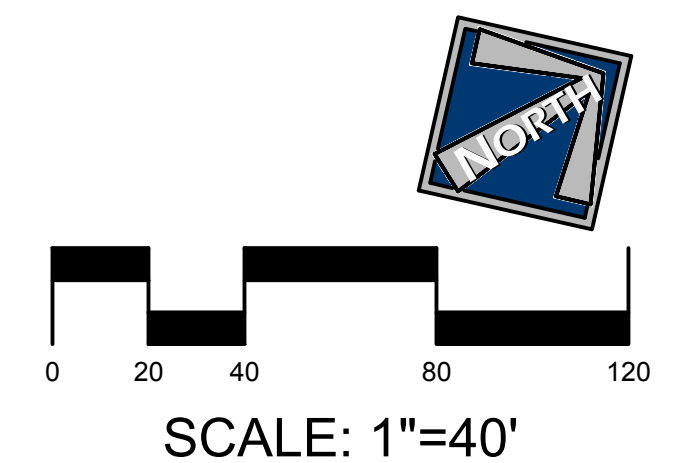
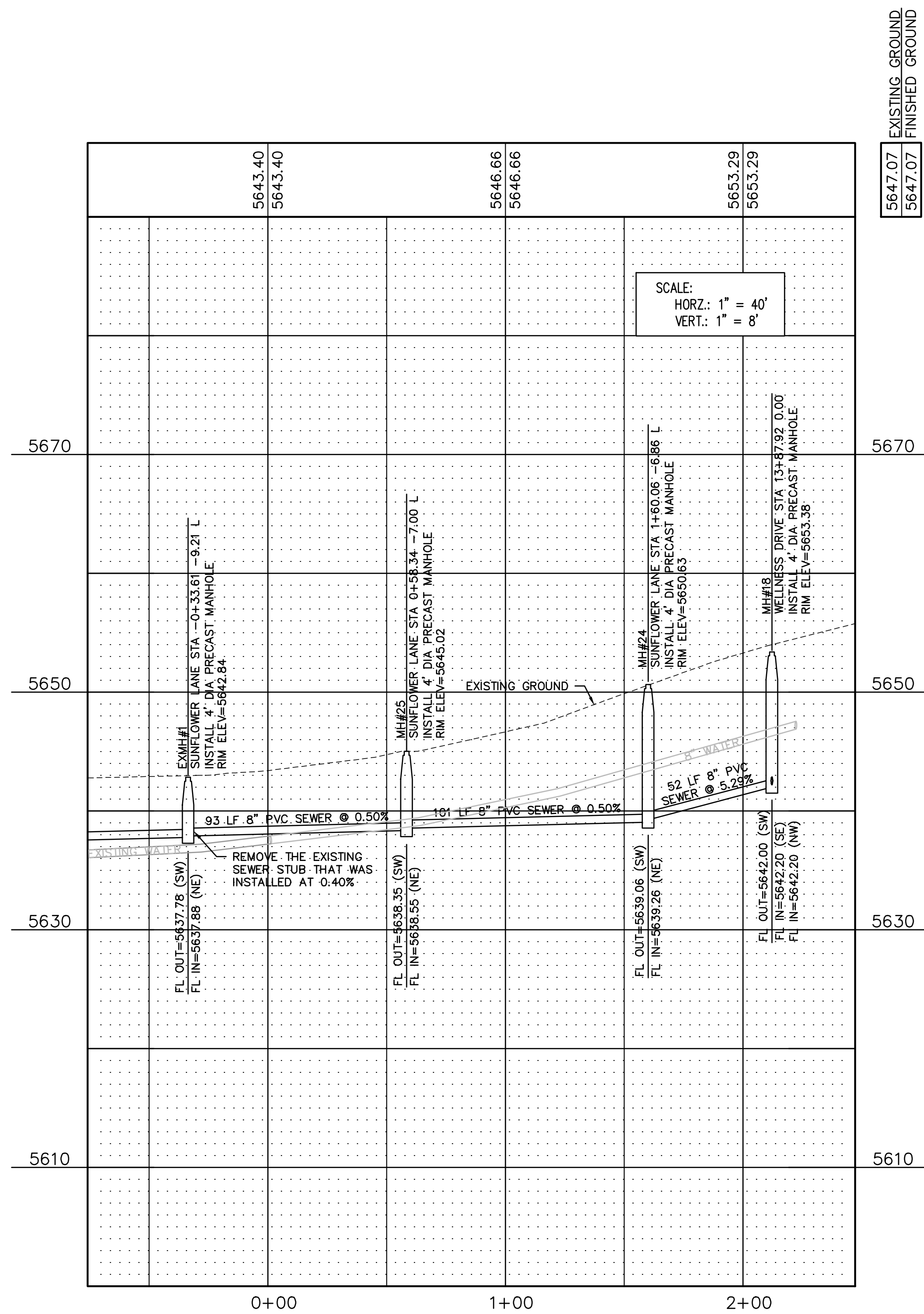
PAUL D. BERG P.E.
SERIAL NO. 295595
DATE: 14 NOV 2022



- BLUE STAKE NOTE:**
- LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.
- SEWER NOTES:**
- ALL SEWER LATERALS ARE 4" EXCEPT WHERE NOTED.
 - ALL SEWER IMPROVEMENTS SHALL MEET MIDWAY SANITATION DISTRICT STANDARDS AND SPECIFICATIONS

LEGEND

— EXSS —	EXISTING SEWER
— 8"SS —	PROPOSED 8" SEWER
— EX8"W —	EXISTING 8" WATER
— 8"WTR —	PROPOSED 8" WATER
— EXPI —	EXISTING PRESSURIZED IRRIGATION
— PI —	PROPOSED PRESSURIZED IRRIGATION
— SD —	PROPOSED STORM DRAIN



CHUCK HEATH
 AMEYALLI - PHASE 1
 SUNFLOWER LANE - SEWER
 PLAN & PROFILE STA -0+78 - 2+47

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 380 E Main St. Suite 204
 Midway, Ut 84049
 ph 435.657.9749

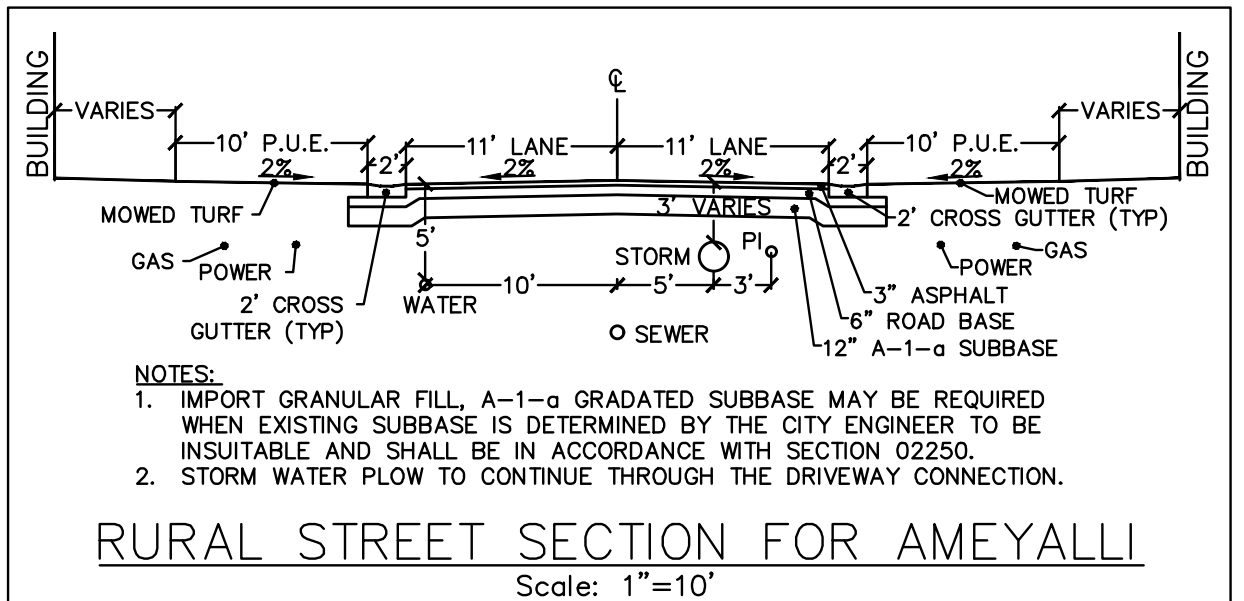
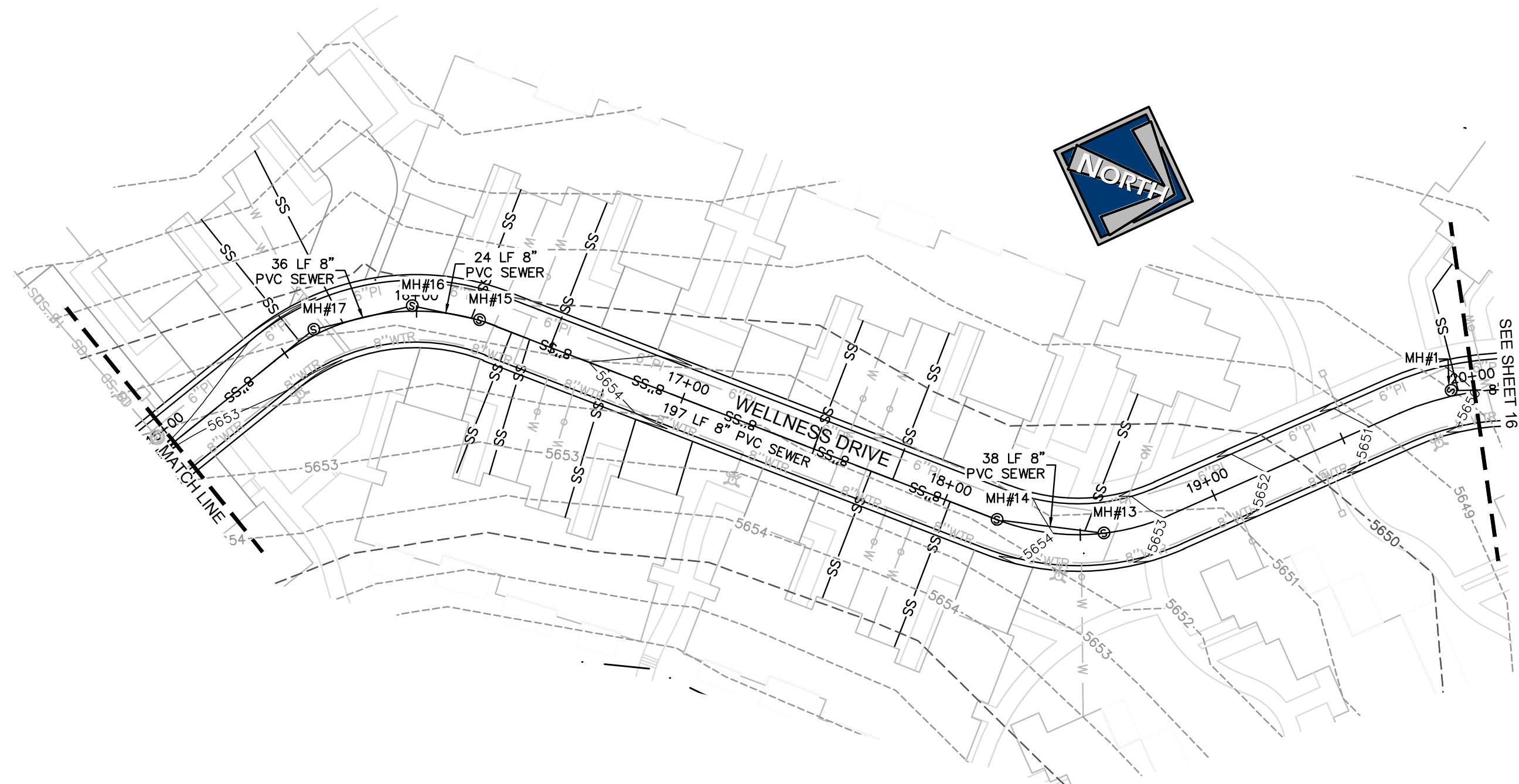
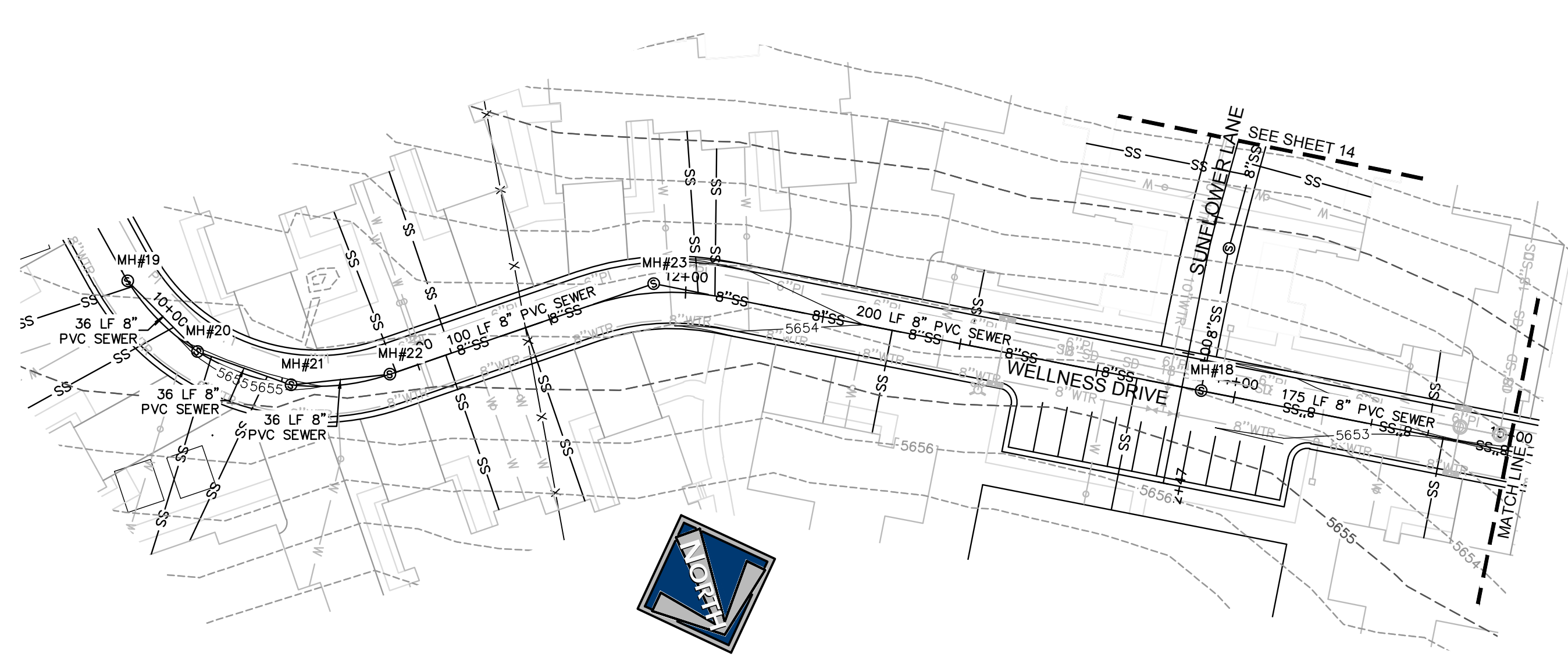
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 DRAWN BY: DEJ

DATE: 14 NOV 2022
 REV:

SHEET
 14

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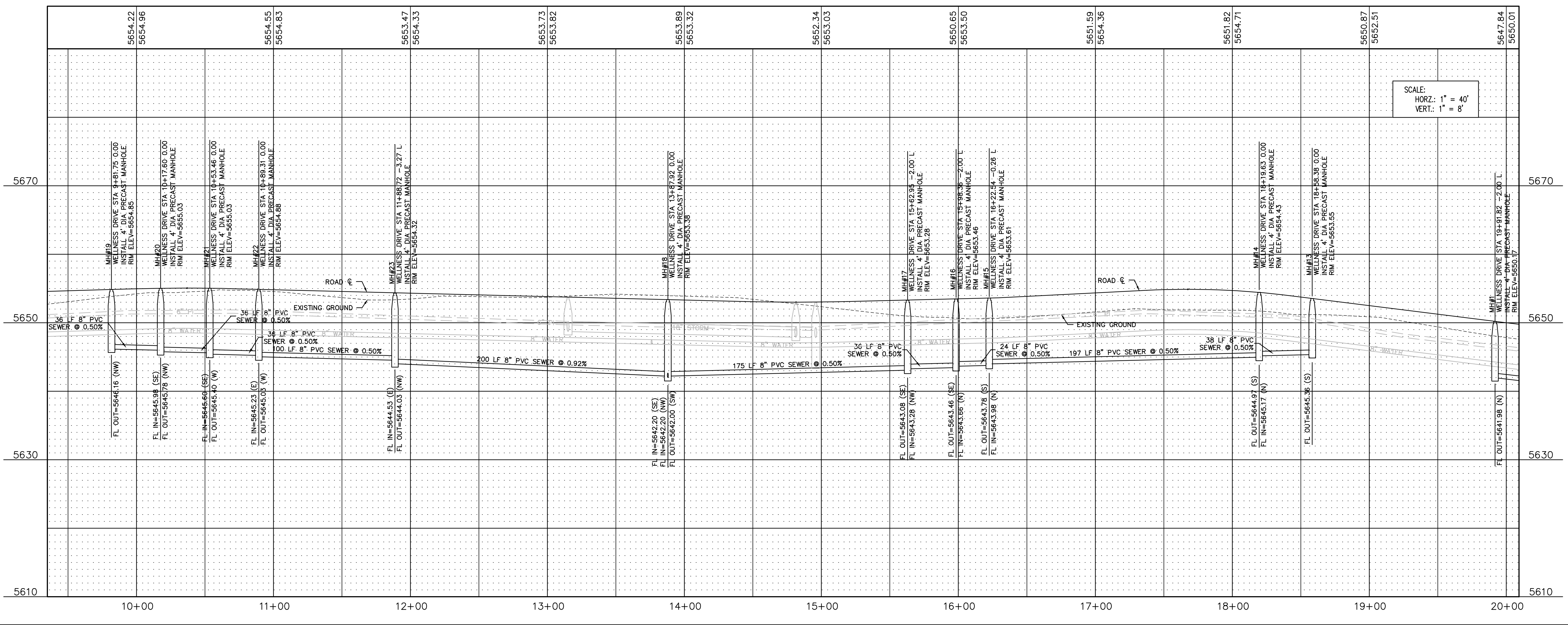
ALL SEWER LATERALS AND WATER SERVICES TO FUTURE BUILDINGS TO BE STUBBED 10' BEYOND THE BACK OF CURB

BLUE STAKE NOTE:
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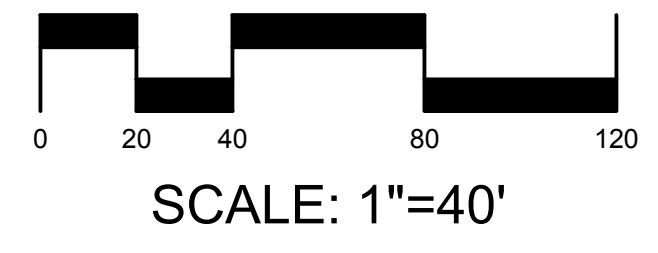
SEWER NOTES:
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 - 8"WTR — PROPOSED 8" WATER
 - EXPI — EXISTING PRESSURIZED IRRIGATION
 - PI — PROPOSED PRESSURIZED IRRIGATION
 - SD — PROPOSED STORM DRAIN

5647.07 EXISTING GROUND
5647.07 FINISHED GROUND



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PAUL D. BERG P.E.
SERIAL NO. 295595
DATE: 14 NOV 2022



CHUCK HEATH
AMEYALLI - PHASE 1
WELLNESS DRIVE - SEWER
PLAN & PROFILE STA 9+81 - 19+00

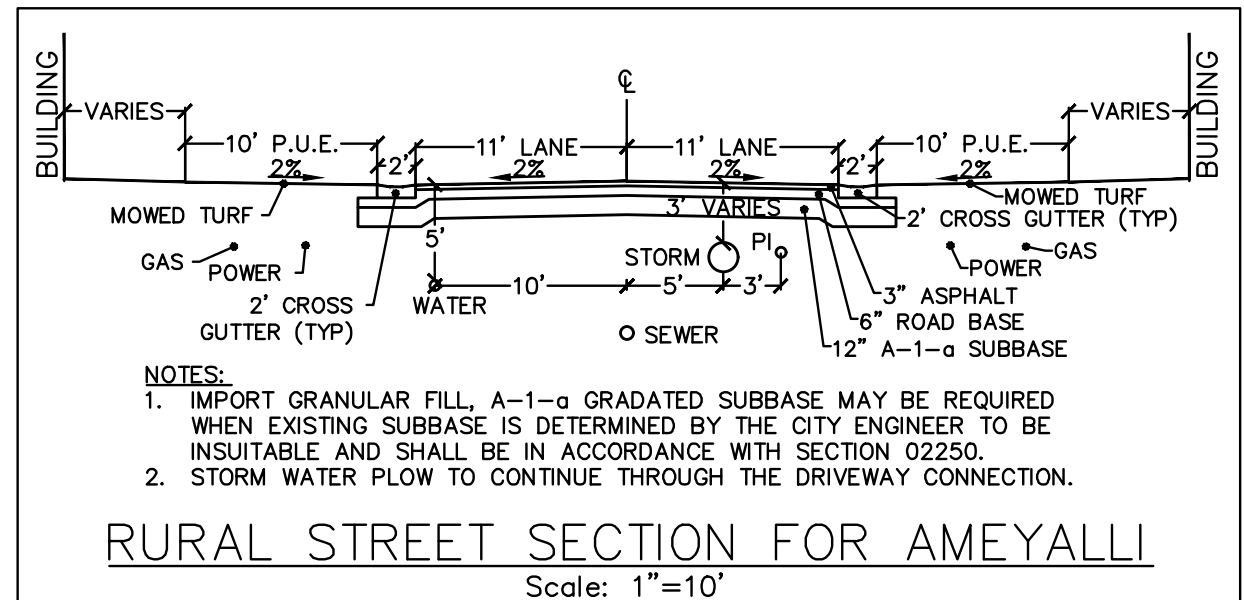
BERG ENGINEERING
380 E Main St. Suite 204
Midway, UT 84049
ph 435.657.9749

DESIGN BY: PDB DATE: 14 NOV 2022
DRAWN BY: DEJ REV: SHEET 15

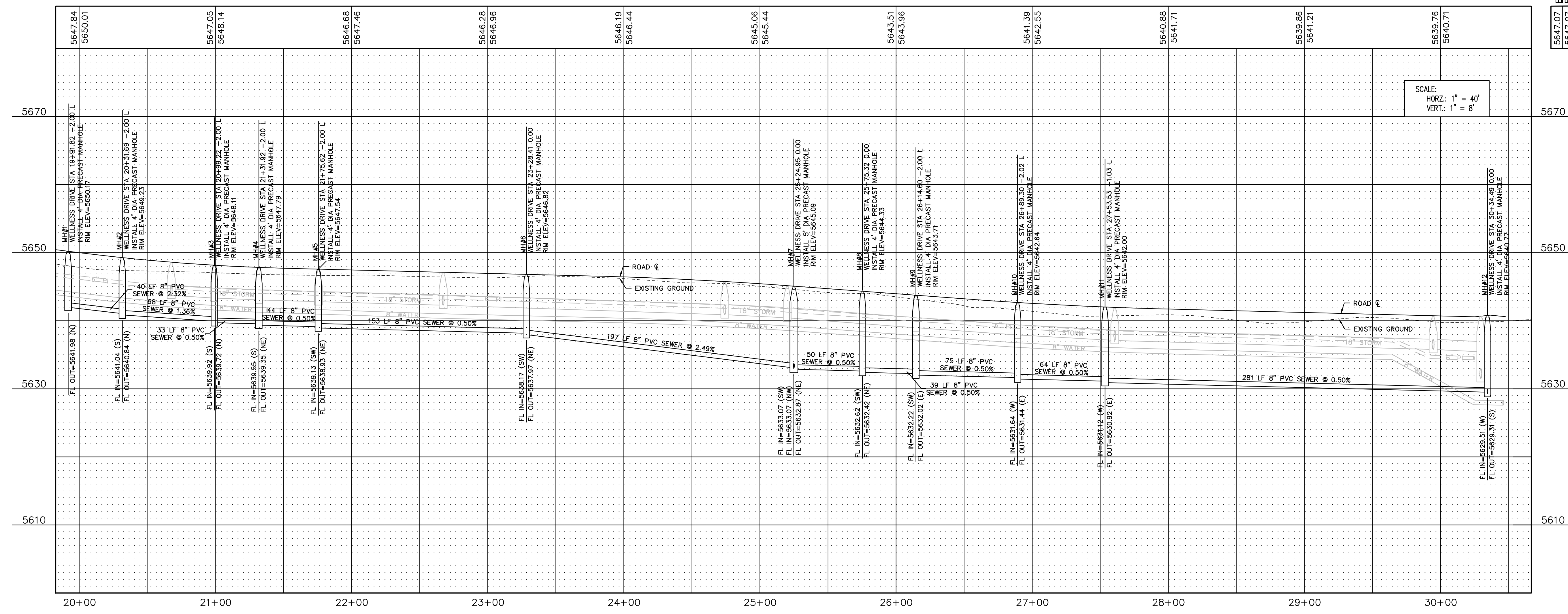
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 Plot Date: 14 Nov 2022
 Plot Time: 10:22:11 AM
 Plot by: dave

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 - 8"WTR PROPOSED 8" WATER
 - EXPI EXISTING PRESSURIZED IRRIGATION
 - PI PROPOSED PRESSURIZED IRRIGATION
 - SD PROPOSED STORM DRAIN



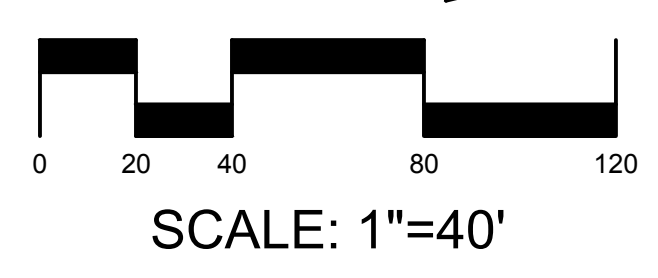
ALL SEWER LATERALS AND WATER SERVICES TO FUTURE BUILDINGS TO BE STUBBED 10' BEYOND THE BACK OF CURB



EXISTING GROUND
FINISHED GROUND

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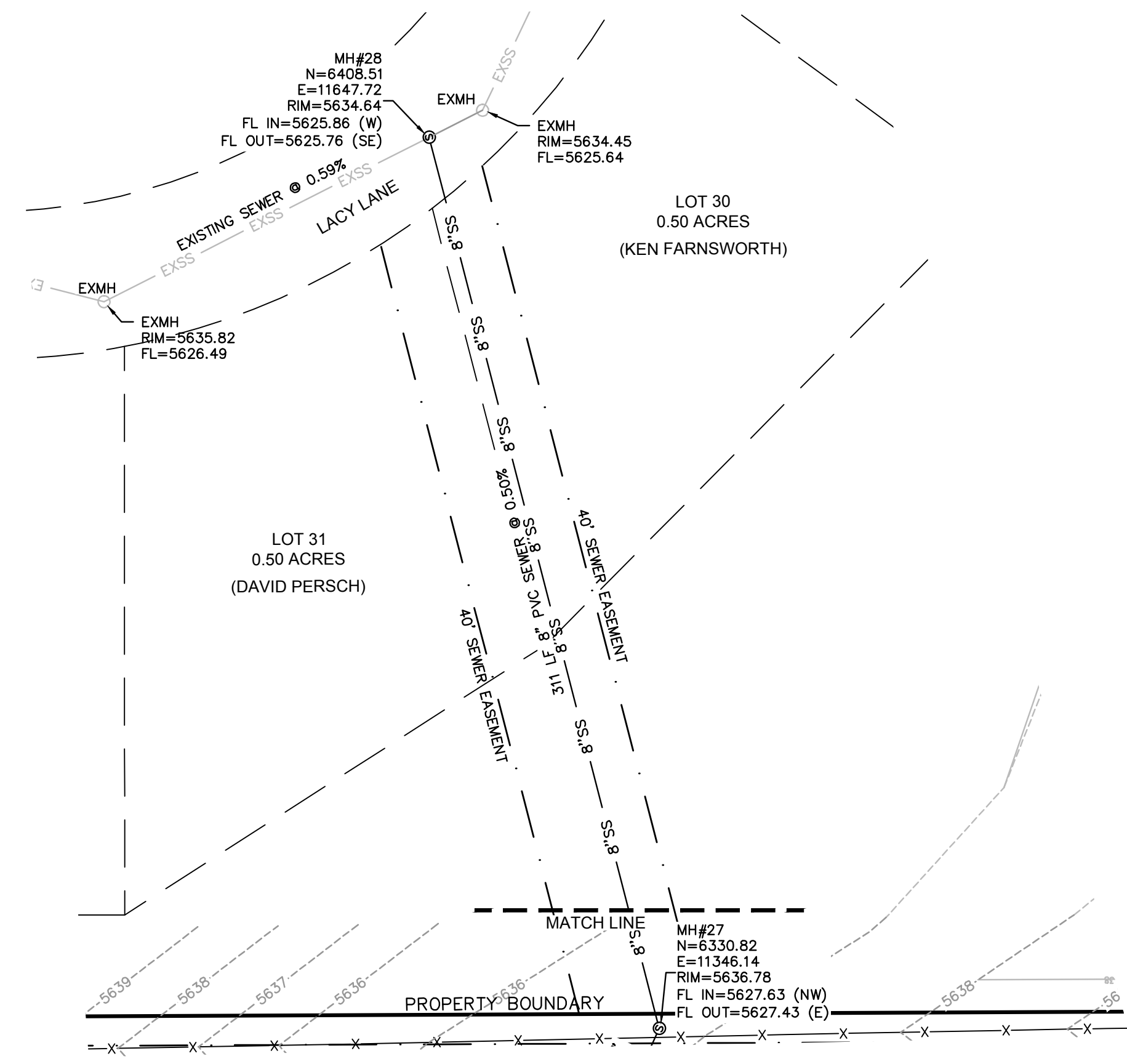
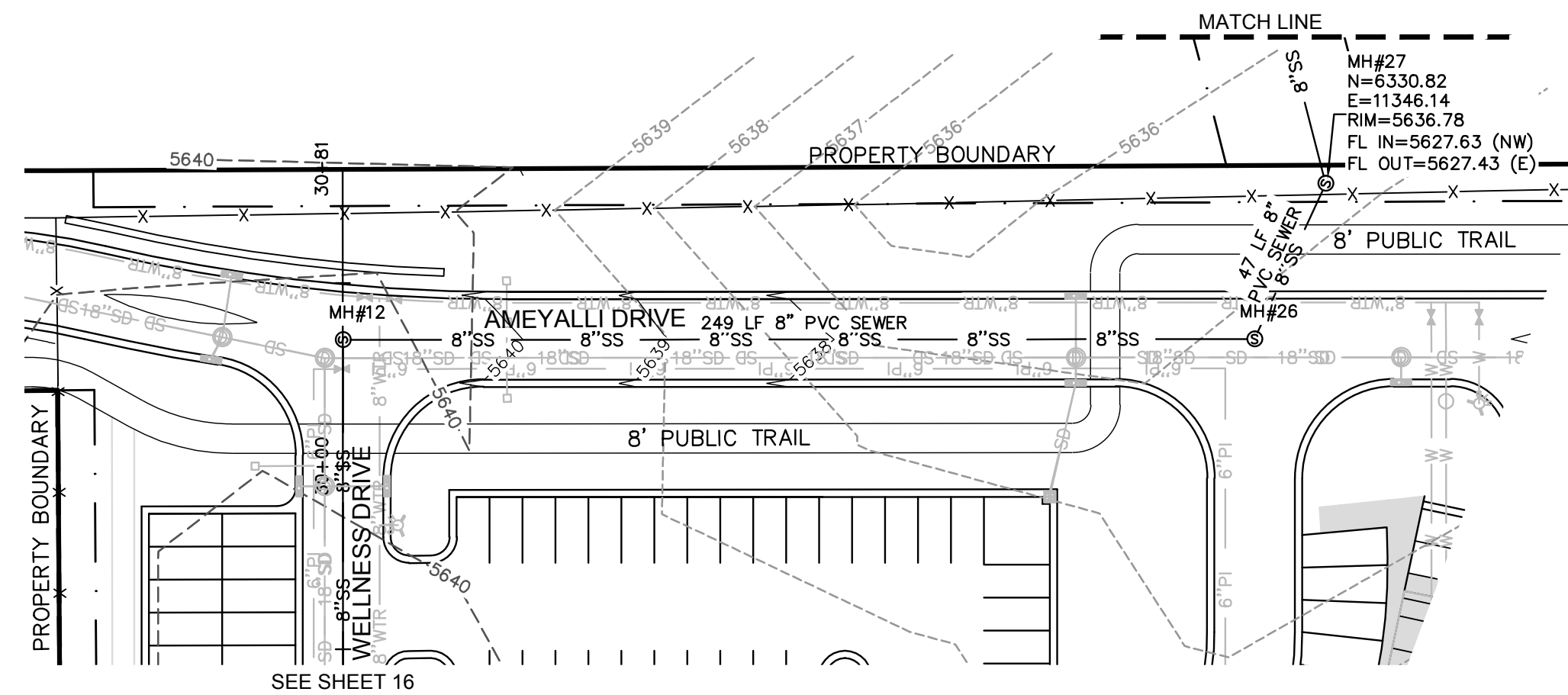


CHUCK HEATH
AMEYALLI - PHASE 1
WELLNESS DRIVE - SEWER
PLAN & PROFILE STA 19+75 - 30+50

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Midway, UT 84049
ph 435.657.9749

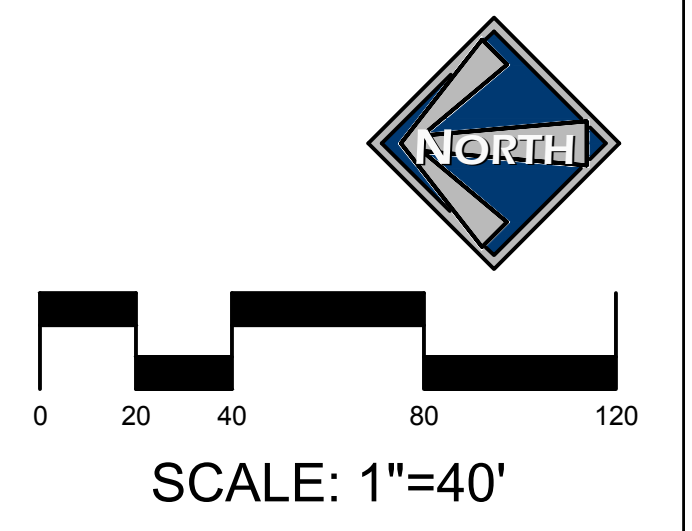
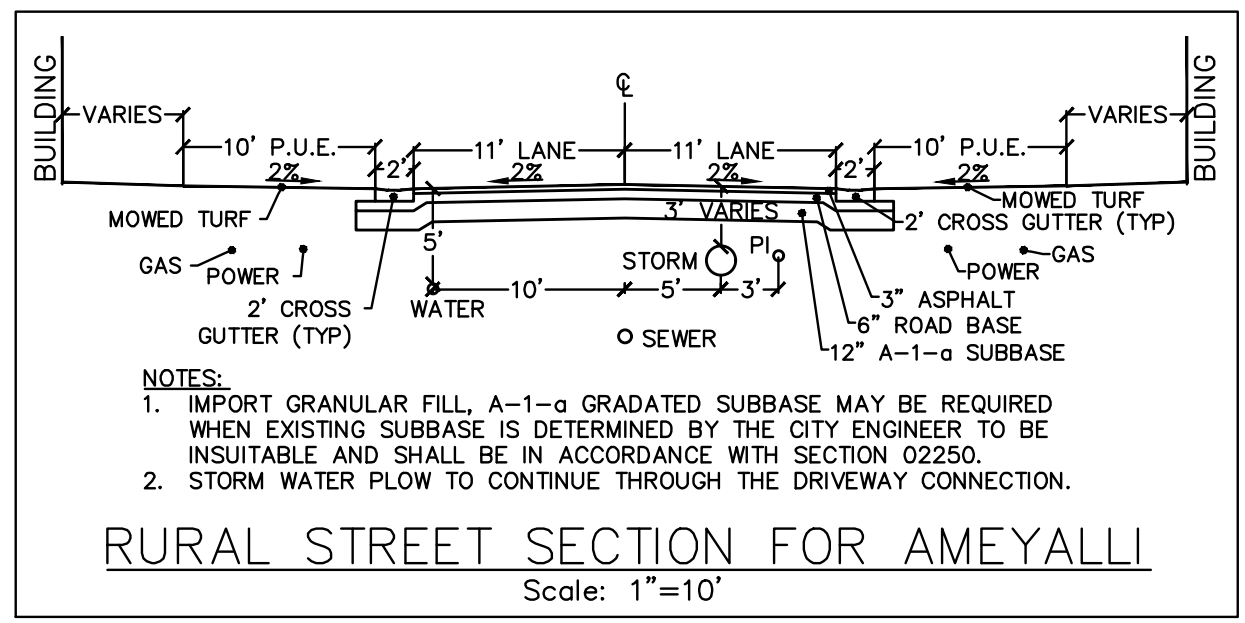
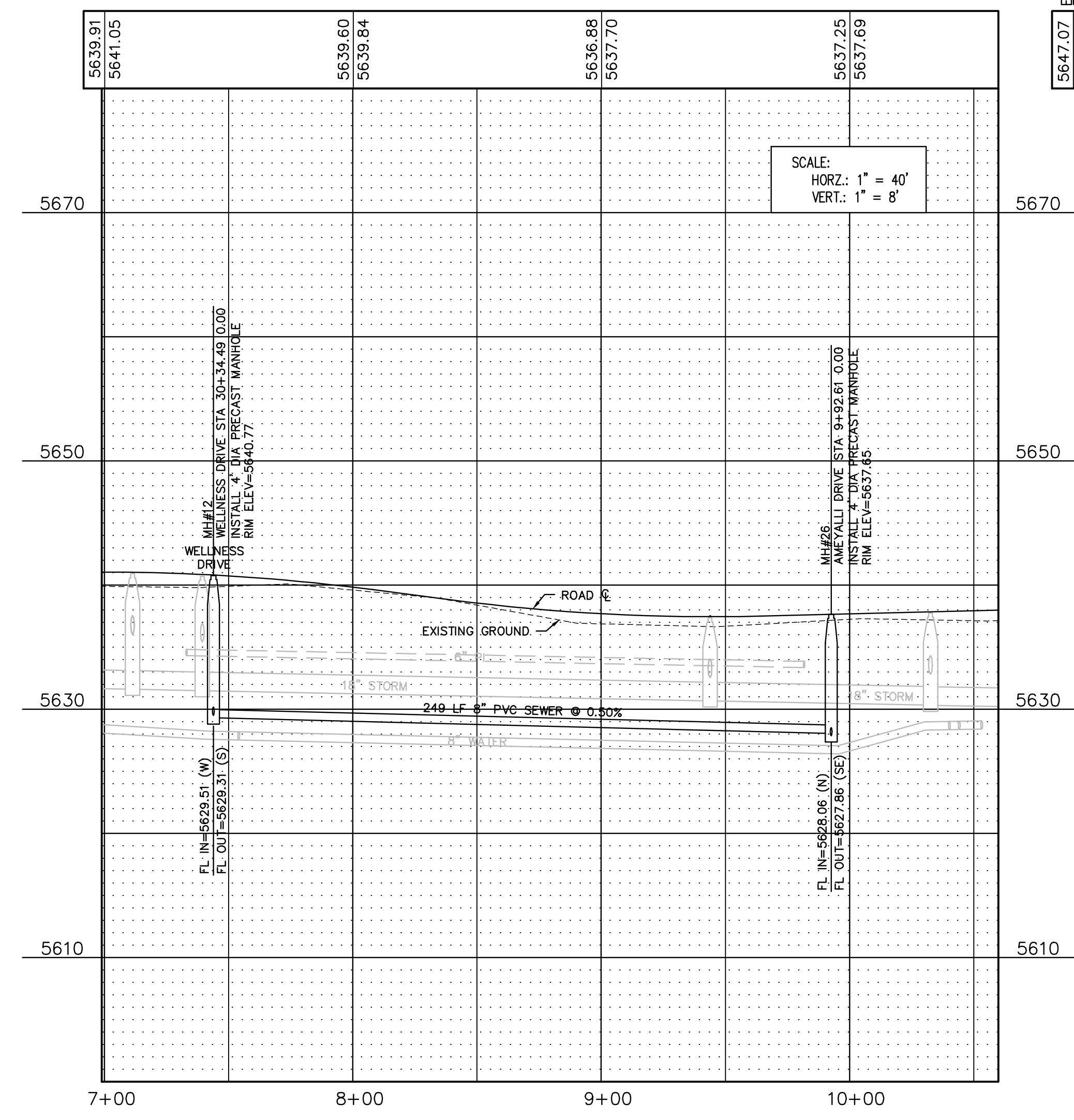
DESIGN BY: PDB DATE: 14 NOV 2022
DRAWN BY: DEJ REV: SHEET 16

File: \\s:\projects\AMEYALLI - PHASE 1\Drawings\SEWER\AMEYALLI - PHASE 1 - WELLNESS DRIVE - SEWER PLAN & PROFILE STA 19+75 - 30+50.dwg | Plot Date: November 14, 2022 | Plotted by: dene



- BLUE STAKE NOTE:**
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- LEGEND**
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 - 8"SS — PROPOSED 8" SEWER
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 - EXPI — EXISTING PRESSURIZED IRRIGATION
 - PI — PROPOSED PRESSURIZED IRRIGATION
 - SD — PROPOSED STORM DRAIN



CHUCK HEATH
AMEYALLI - PHASE 1
AMEYALLI DRIVE/OFFSITE - SEWER
PLAN & PROFILE STA 7+00 - 10+00

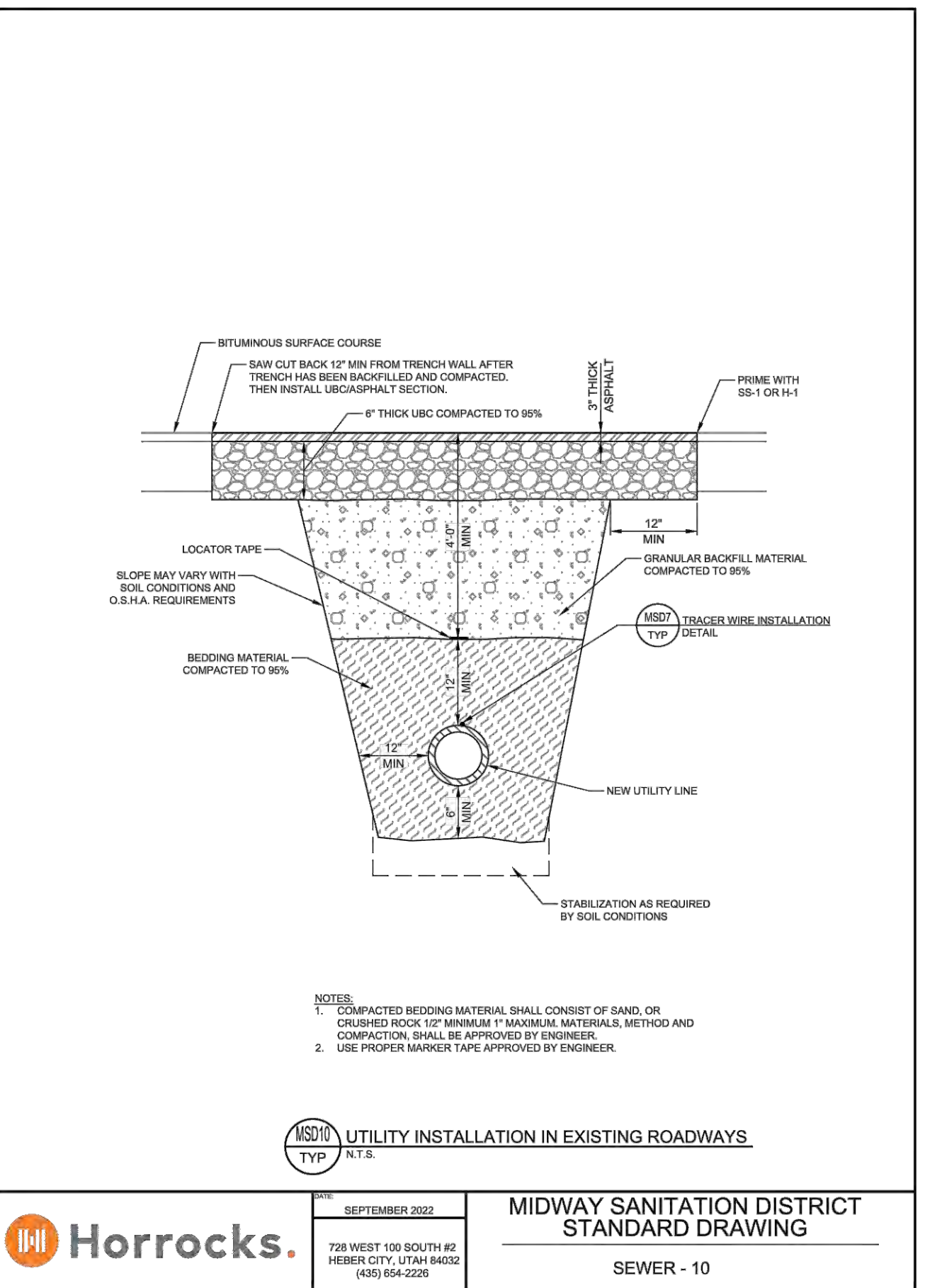
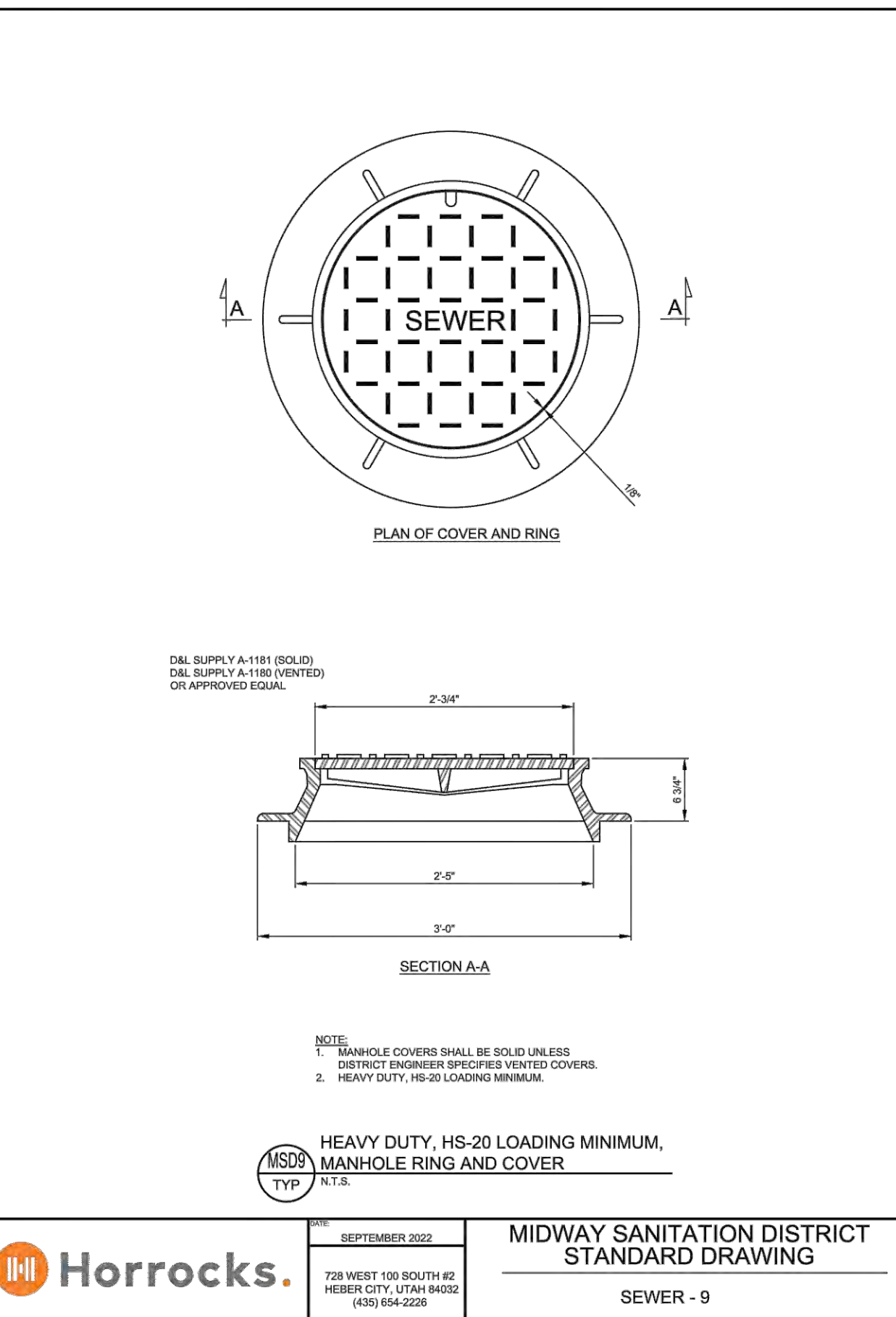
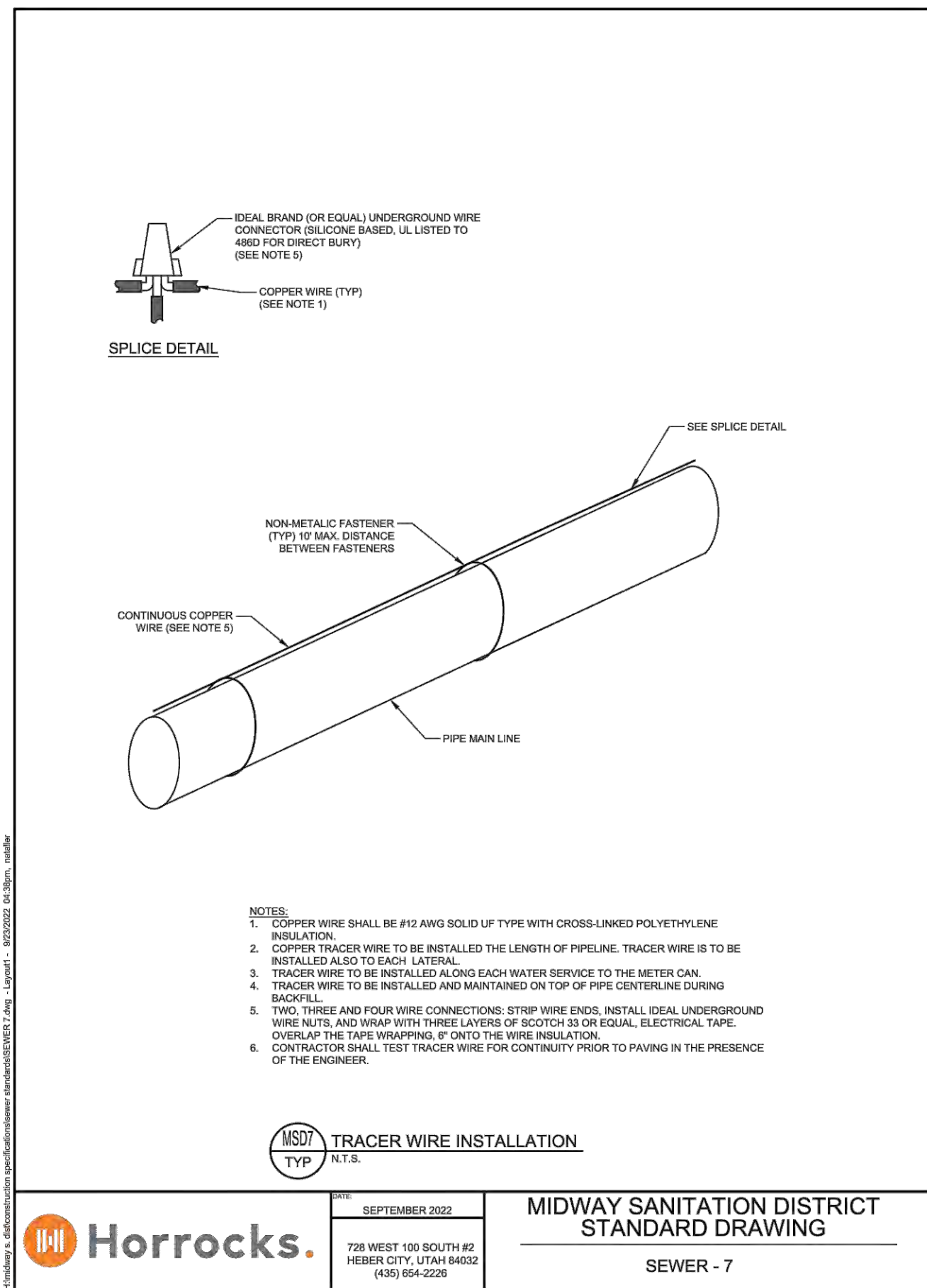
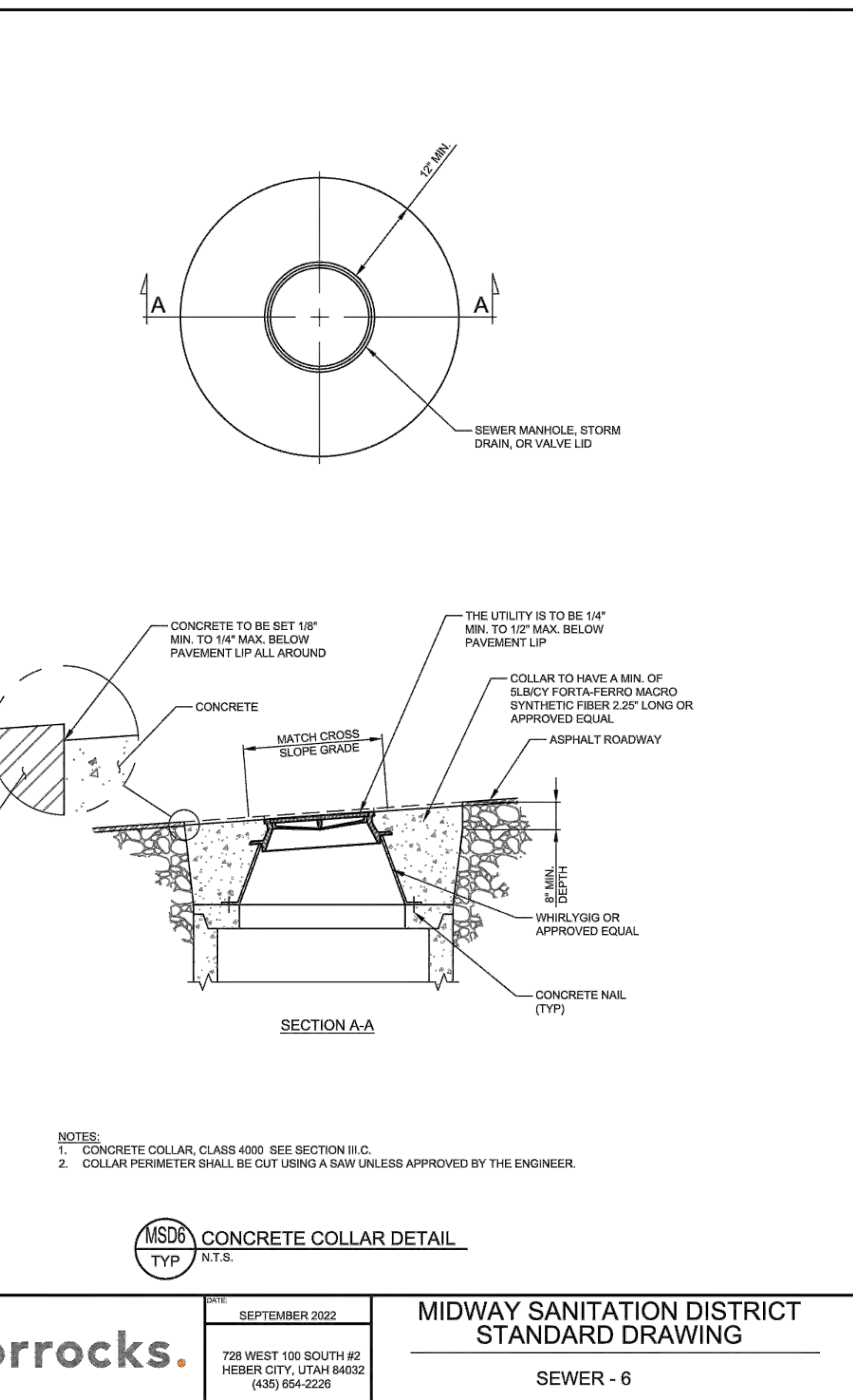
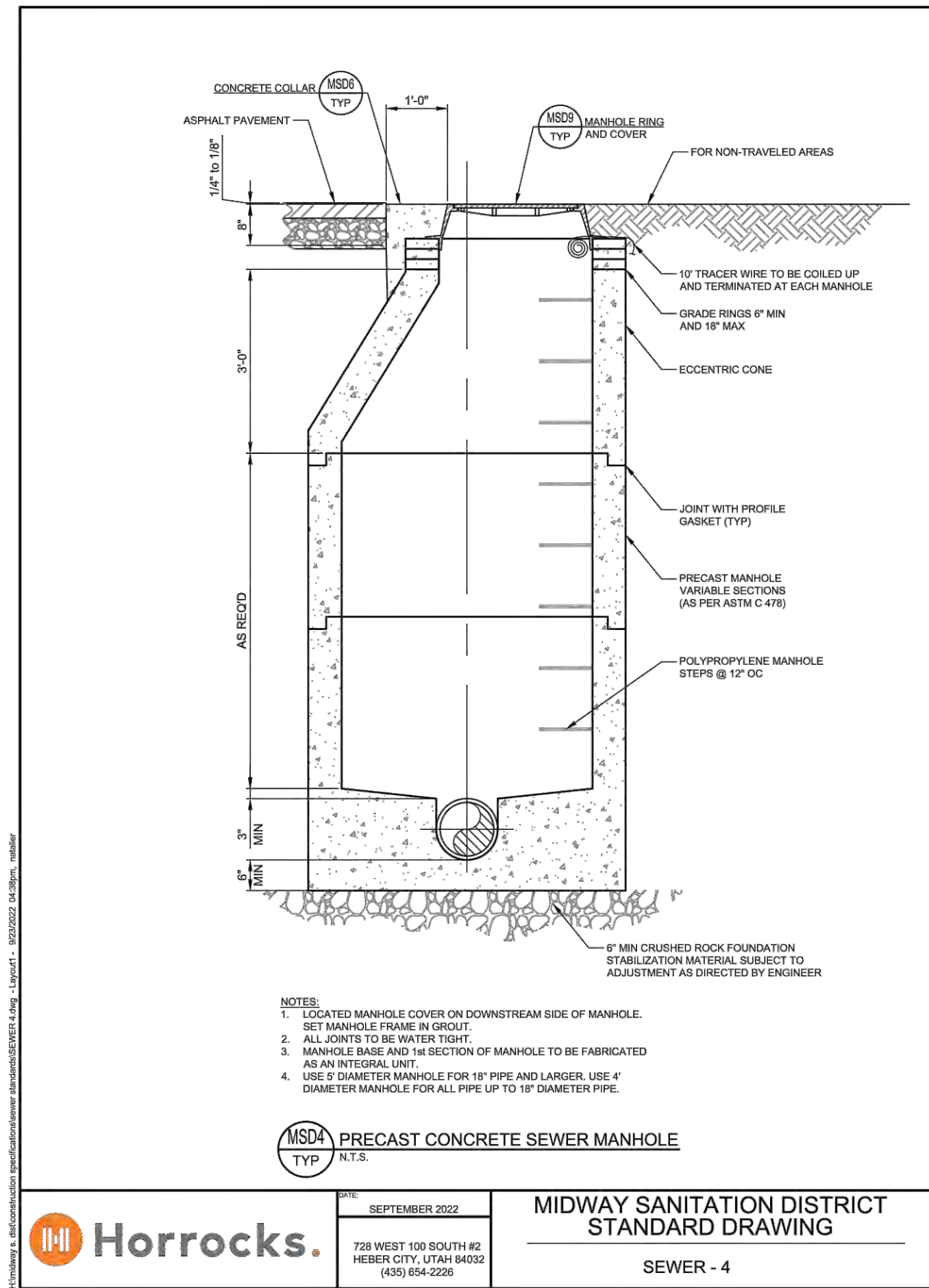
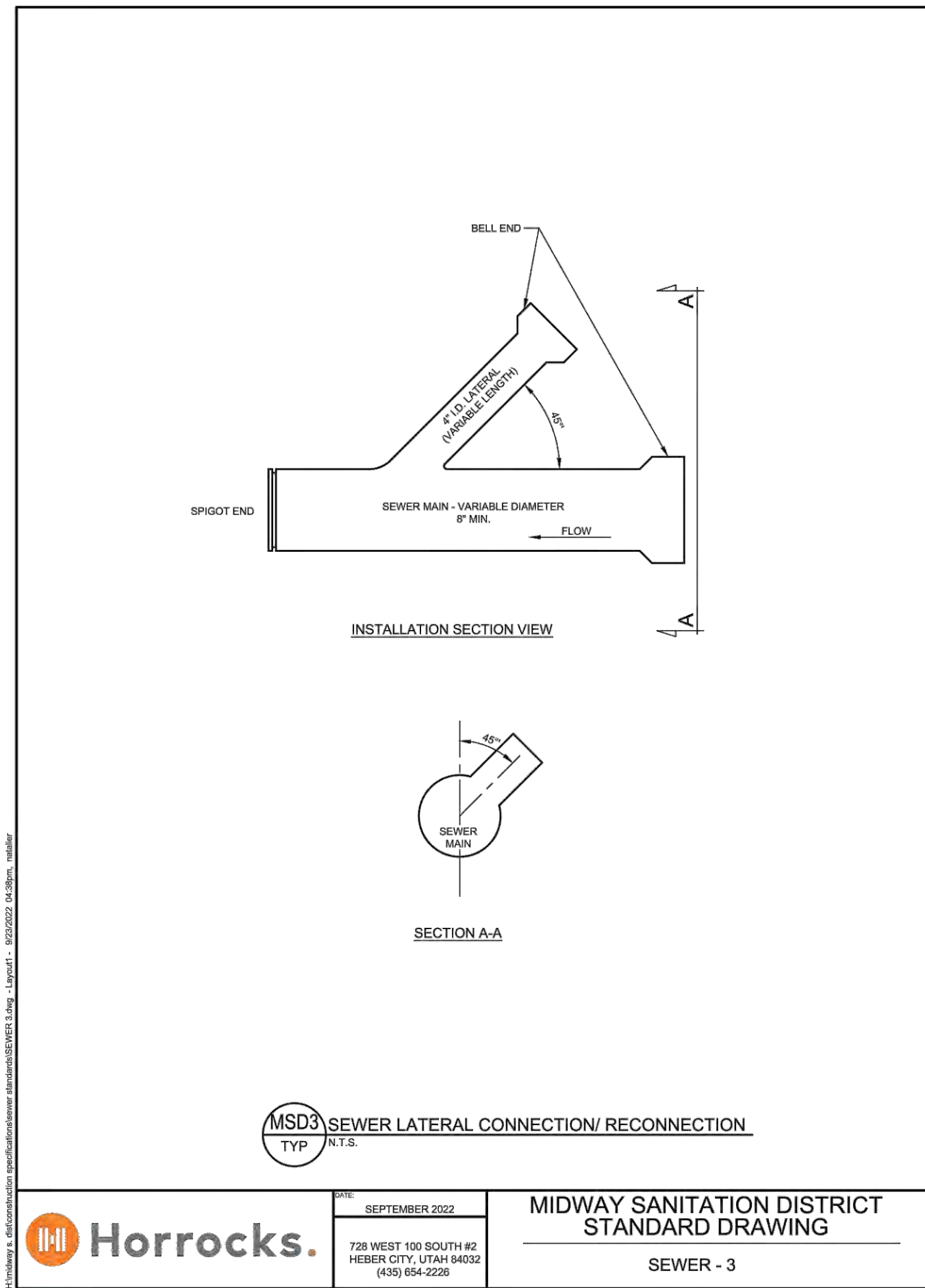
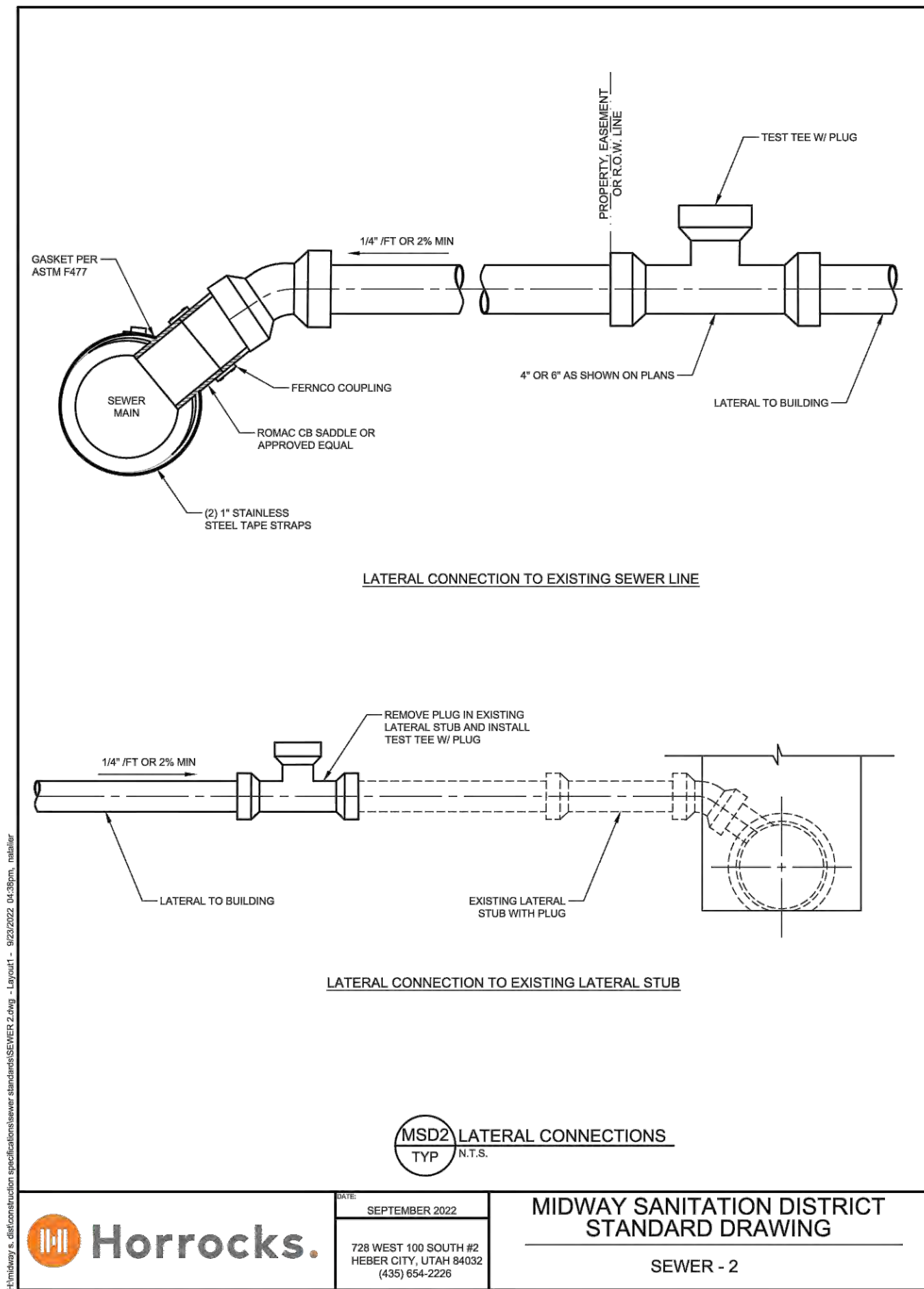
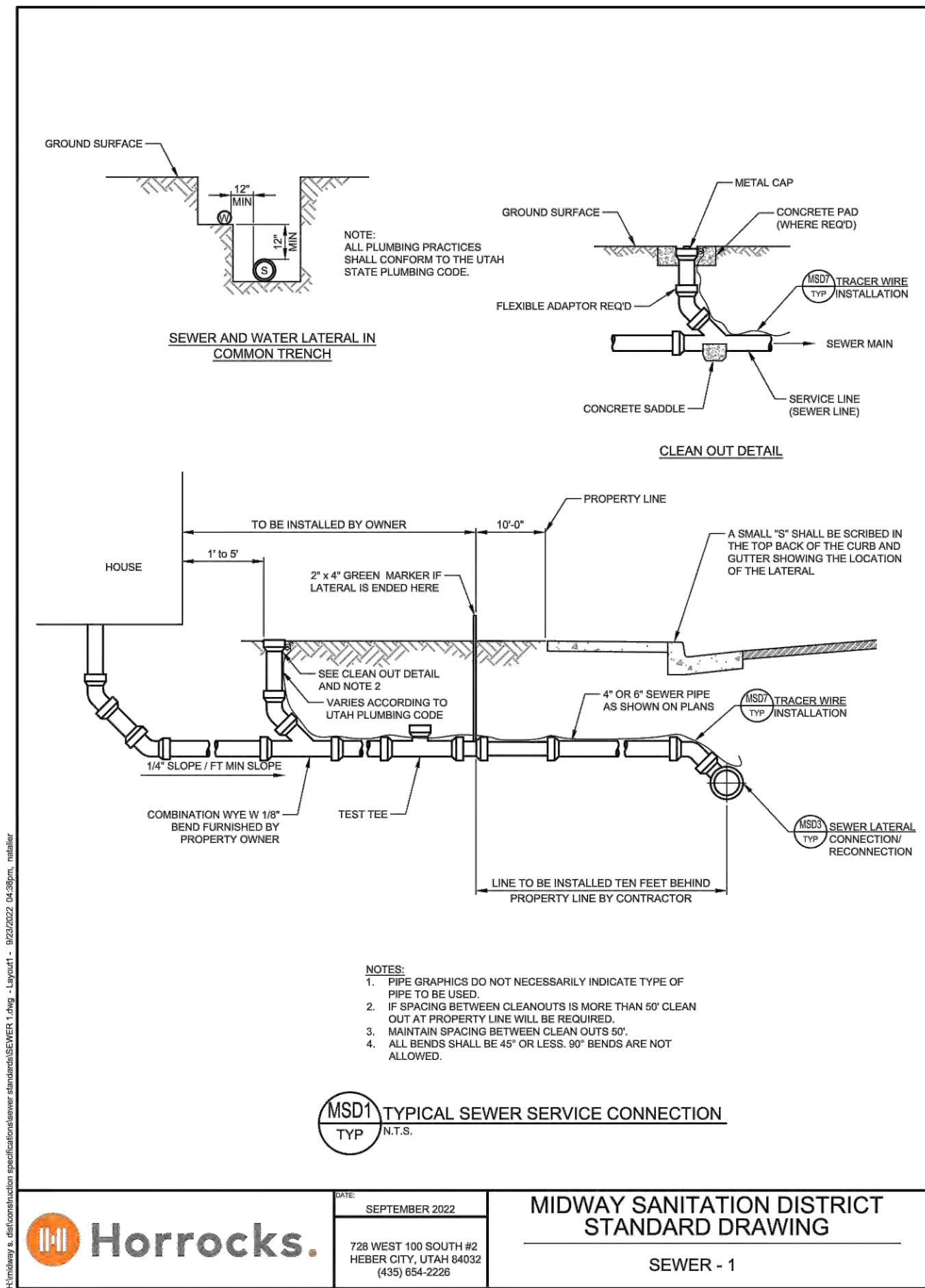


DESIGN BY: PDB
DRAWN BY: DEJ
DATE: 14 NOV 2022
REV: 17

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PAUL D. BERG P.E.
SERIAL NO. 295595
DATE: 14 NOV 2022

File: I:\Midway\Ameyalli\Drawings\SEWER\Phase 1\Drawings\17.dwg
 Plot name: I:\MIDWAY\Phase 1\Drawings\17.dwg
 Date: November 15, 2022
 Plotted by: ddb

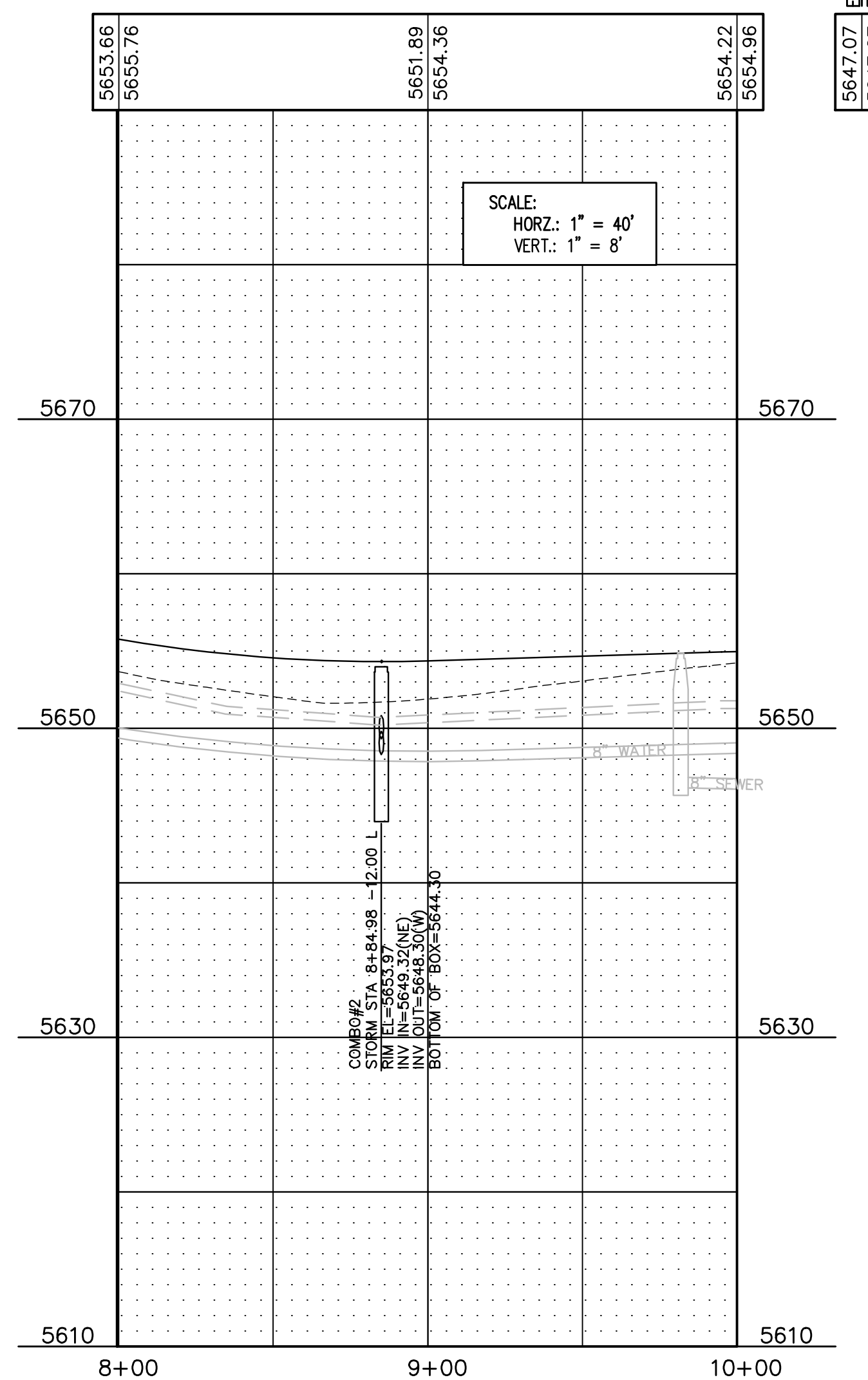
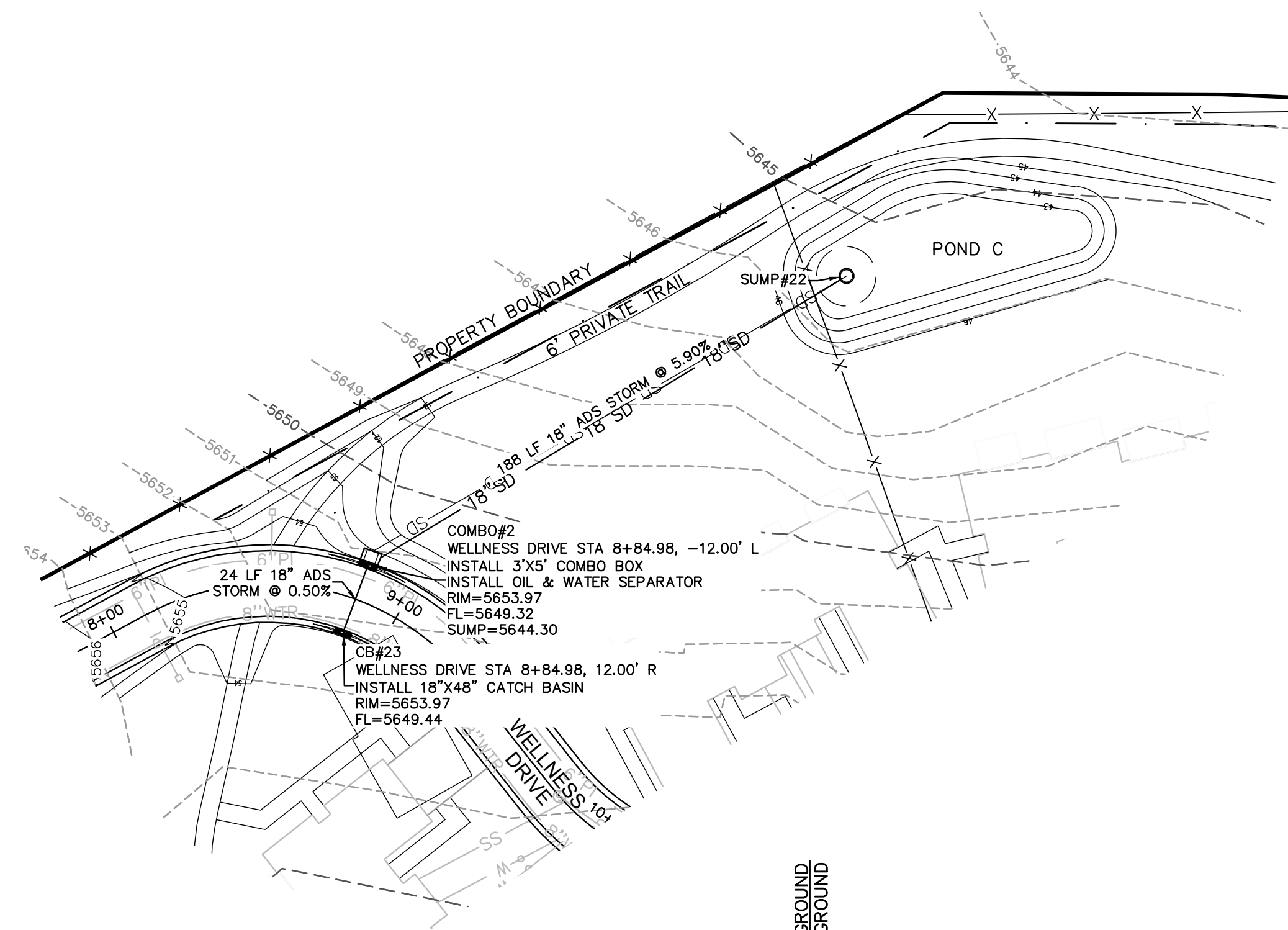


CHUCK HEATH
AMEYALLI - PHASE 1

SEWER
CONSTRUCTION DETAILS

BERG ENGINEERING
380 E Main St. Suite 204
Midway, UT 84049
ph 435.657.9749

path: A: \\Vadon\Mountain_Soc\Heath\Phase1_2022\Drawings\Phase 1\...
 file name: 18 - SEWER CONSTRUCTION DETAILS.rvt
 date: November 14, 2022
 plotted by: dhs



EXISTING GROUND
FINISHED GROUND

- BLUE STAKE NOTE:**
- LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.
- STORM DRAIN SYSTEM NOTE:**
- ALL STORM DRAIN CONSTRUCTION TO MEET MIDWAY CITY STANDARDS.

- LEGEND**
- EXSS — EXISTING SEWER
 - 8"SS — PROPOSED 8" SEWER
 - EXB"W — EXISTING 8" WATER
 - 8"WTR — PROPOSED 8" WATER
 - EXPI — EXISTING PRESSURIZED IRRIGATION
 - PI — PROPOSED PRESSURIZED IRRIGATION
 - 18"SD — PROPOSED STORM DRAIN

POND C

SUMP	NORTHING	EASTING	RIM	FLOWLINE	BOTTOM OF SUMP
SUMP#16	N=5570.11	E=10599.60	5641.00	5636.40	5633.00

Table 8 - 100 Year Storm Peak Runoff and Volume for Basin C

Time Period (min)	Rainfall Intensity (in/hr)	Area (acres)	Developed Runoff Coefficient	Peak Runoff Rate (cfs)	Total Runoff Volume (cf)
15	4.08	1.28	0.40	2.10	1,891
30	2.76	1.28	0.40	1.42	2,559
60	1.71	1.28	0.40	0.88	3,170
120	0.96	1.28	0.40	0.49	3,560
180	0.65	1.28	0.40	0.33	3,615
360	0.35	1.28	0.40	0.18	3,893
720	0.21	1.28	0.40	0.11	4,672
1440	0.13	1.28	0.40	0.07	5,784

Table 9 - Retention Pond Design for Basin C near South Property Line

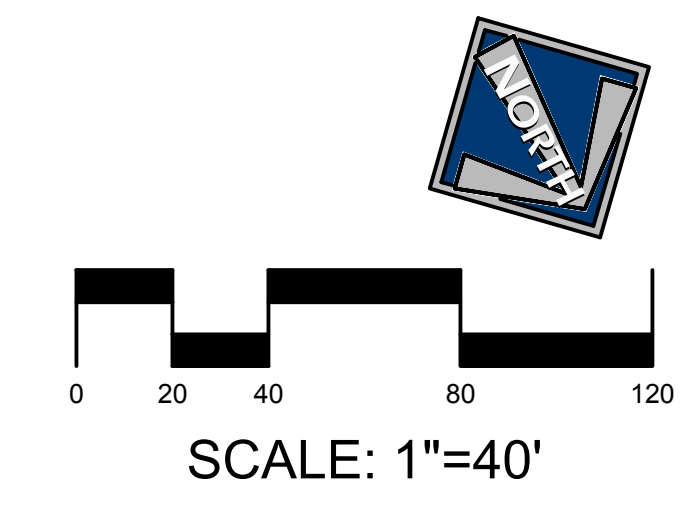
Time Period (min)	Total Runoff Volume (cf)	Soil Percolation Rate (inch/hour)	1'-8" Sump Volume (cf)	Percolation from Sump (cf)	Storage Needed in Pond (cf)
15	1,891	2.0	855	22	1,014
30	2,559	2.0	855	43	1,660
60	3,170	2.0	855	86	2,229
120	3,560	2.0	855	173	2,532
180	3,615	2.0	855	259	2,501
360	3,893	2.0	855	518	2,520
720	4,672	2.0	855	1,037	2,780
1440	5,784	2.0	855	2,074	2,856

Table 10 - Retention Pond Storage Volume for Basin C

Elevation (ft)	Pond Depth (ft)	Pond Area (sf)	Pond Volume (cf)	Pond Volume (acre-ft)
5642	0.00	12	0	0.00
5643	1.00	2,382	1,197	0.03
5644	2.00	3,319	4,048	0.09
5645	3.00	4,357	7,886	0.18


contains the 100 year storm
1' of freeboard

Date: 14 Nov 2022 10:54 AM
 User: PDB
 Plot Name: 10_230001.dwg
 Plot Date: November 14, 2022
 Plotted by: dabe



CHUCK HEATH
AMEYALLI - PHASE 1

**WELLNESS DRIVE - STORM
PLAN & PROFILE STA 8+00 - 10+00**

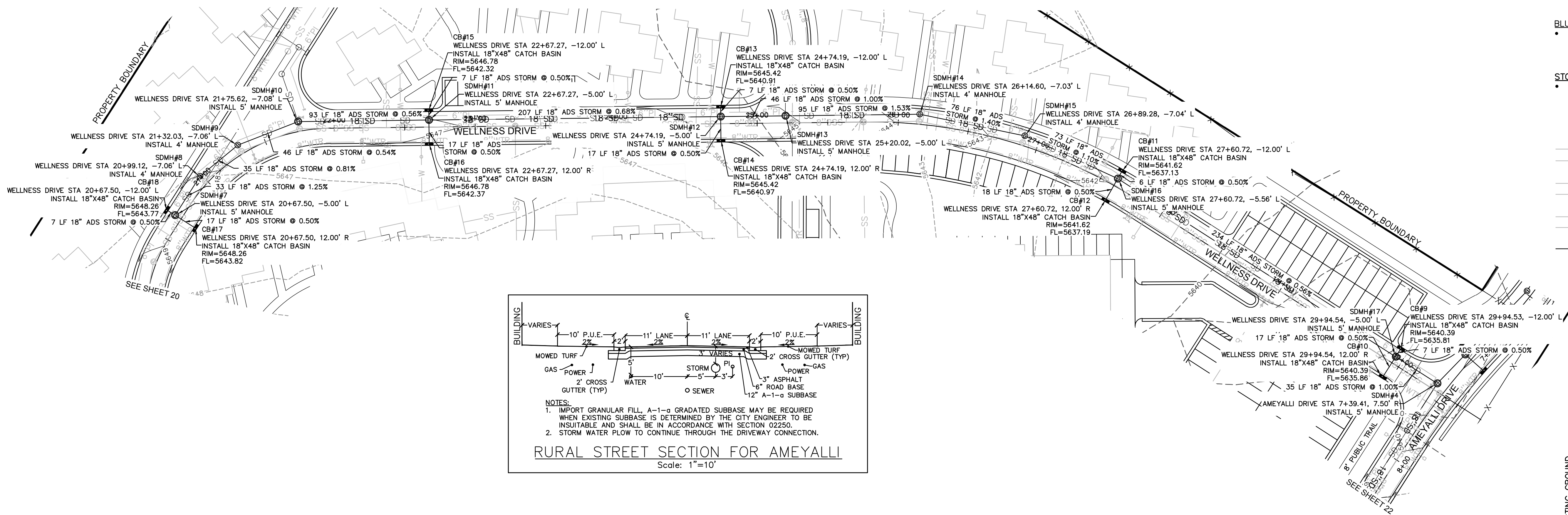


BERG ENGINEERING
380 E Main St. Suite 204
Midway, Ut 84049
ph 435.657.9749

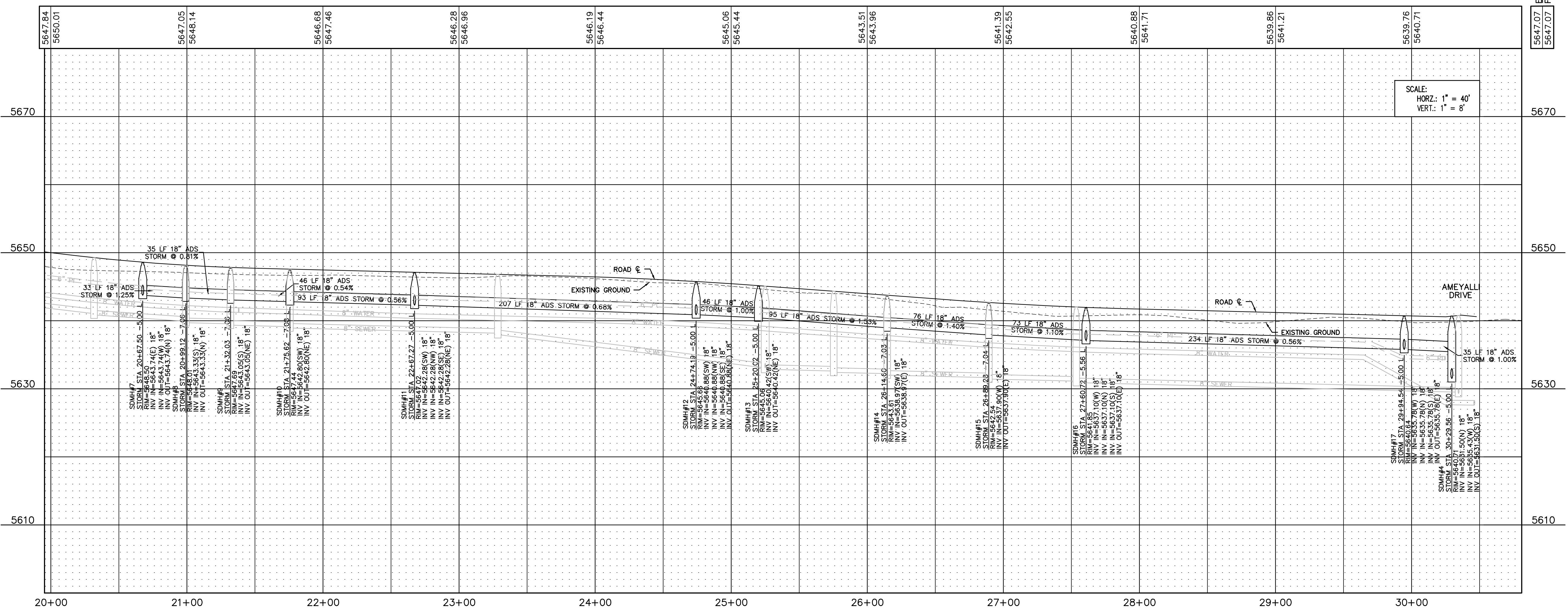
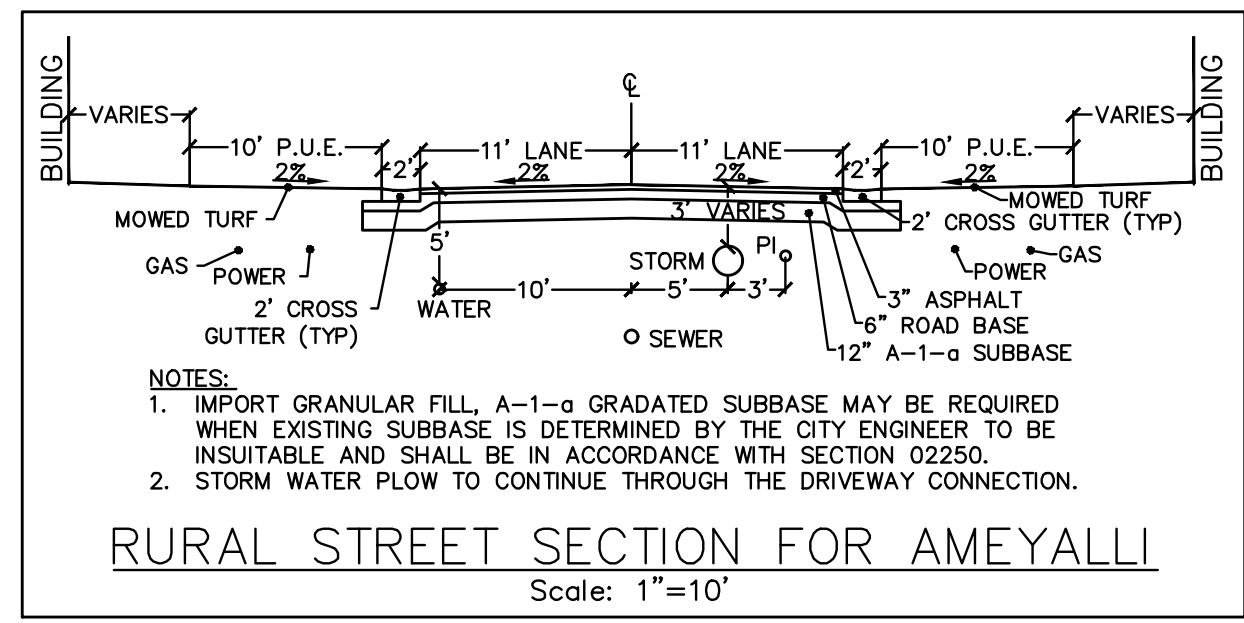
DESIGN BY: PDB	DATE: 14 NOV 2022	SHEET
DRAWN BY: DEJ	REV:	19

THIS DOCUMENT IS INCOMPLETE AND IS RELEASED TEMPORARILY FOR INTERM REVIEW ONLY. IT IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.

PAUL D. BERG P.E.
SERIAL NO. 295595
DATE: 14 NOV 2022



- BLUE STAKE NOTE:**
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- STORM DRAIN SYSTEM NOTE:**
- ALL STORM DRAIN CONSTRUCTION TO MEET MIDWAY CITY STANDARDS.
- LEGEND**
- EXSS EXISTING SEWER
 - 8"SS PROPOSED 8" SEWER
 - EXB" W EXISTING 8" WATER
 - 8" WTR PROPOSED 8" WATER
 - EXPI EXISTING PRESSURIZED IRRIGATION
 - PI PROPOSED PRESSURIZED IRRIGATION
 - 18"SD PROPOSED STORM DRAIN



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PAUL D. BERG P.E.
SERIAL NO. 295595
DATE: 14 NOV 2022

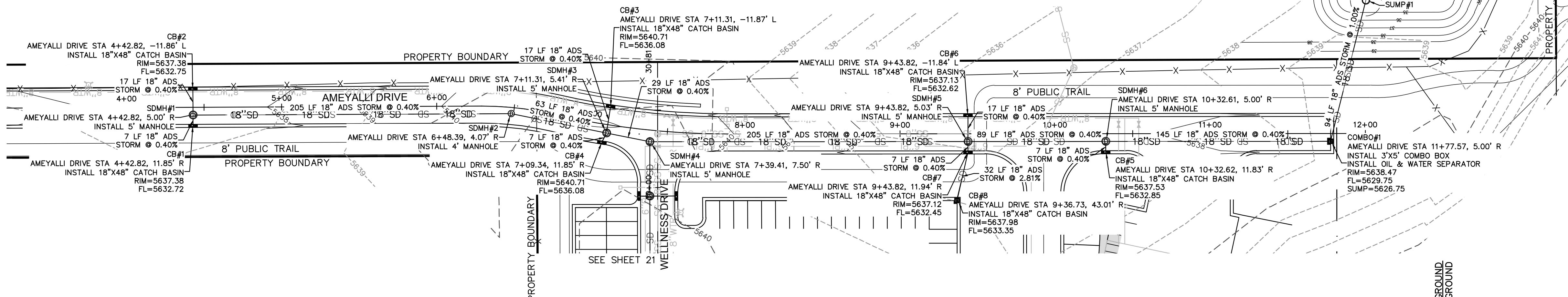
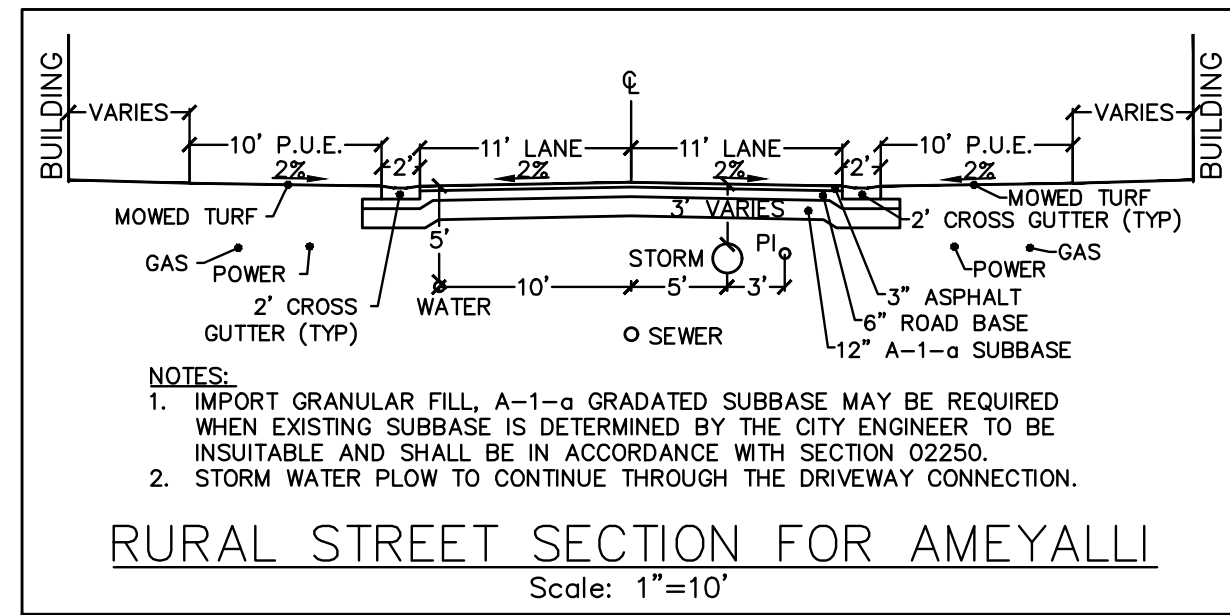
SCALE: 1"=40'

CHUCK HEATH
AMEYALLI - PHASE 1
WELLNESS DRIVE - STORM
PLAN & PROFILE STA 20+00 - 30+50

BERG ENGINEERING
380 E Main St. Suite 204
Midway, UT 84049
ph 435.657.9749

DESIGN BY: PDB DATE: 14 NOV 2022
DRAWN BY: DEJ REV: SHEET 21

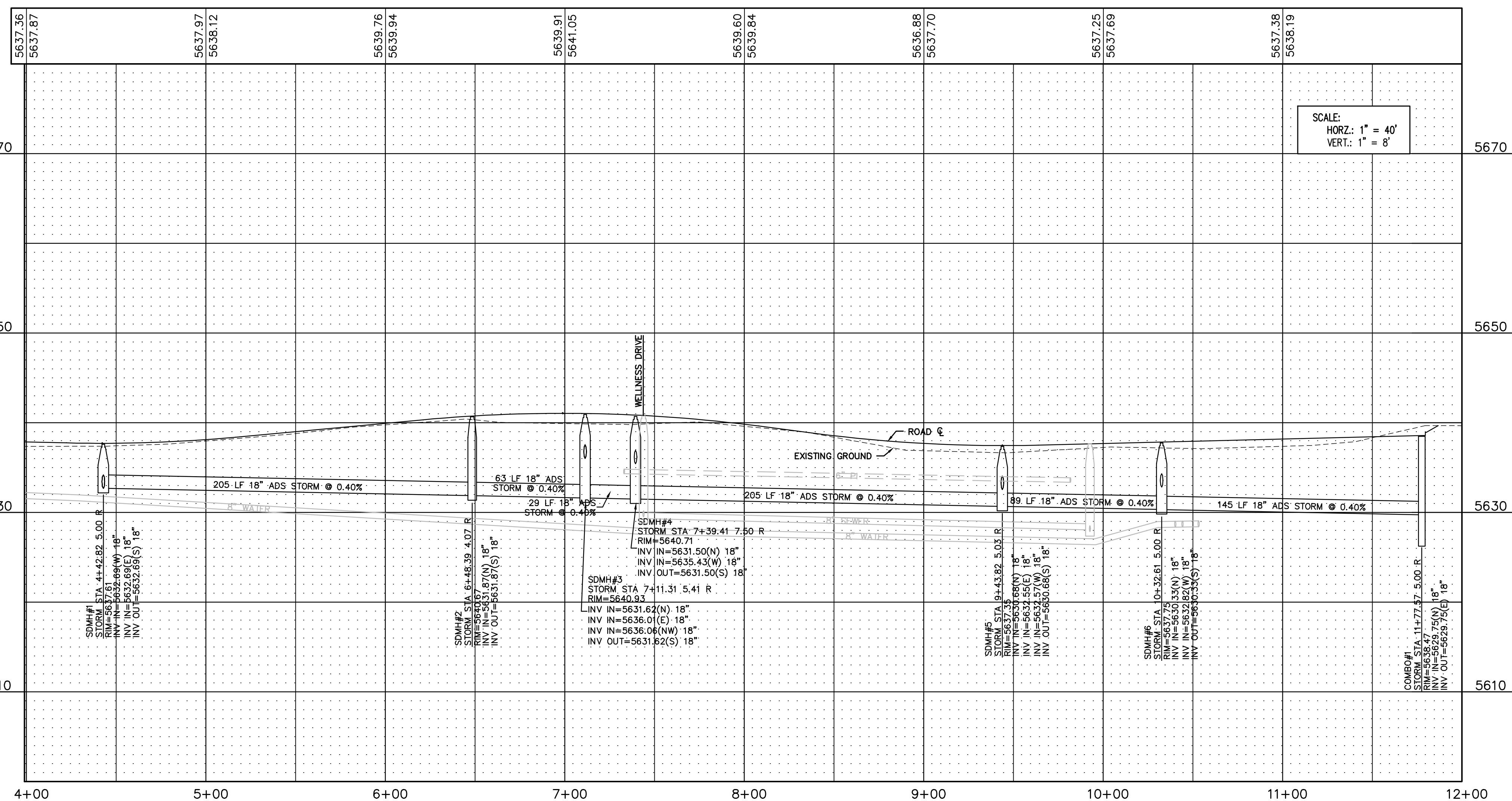
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 Plot name: IS Storm Drain - Phase 1 - Plot.dwg
 Date: 14 NOV 2022
 Plotted by: ddb



- BLUE STAKE NOTE:**
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- STORM DRAIN SYSTEM NOTE:**
- ALL STORM DRAIN CONSTRUCTION TO MEET MIDWAY CITY STANDARDS.

- LEGEND**
- EXSS EXISTING SEWER
 - 8"SS PROPOSED 8" SEWER
 - EX8"W EXISTING 8" WATER
 - 8"WTR PROPOSED 8" WATER
 - EXPI EXISTING PRESSURIZED IRRIGATION
 - PI PROPOSED PRESSURIZED IRRIGATION
 - 18"SD PROPOSED STORM DRAIN

POND A					
SUMP	NORTHING	EASTING	RIM	FLOWLINE	BOTTOM OF SUMP
SUMP#1	N=6142.54	E=11389.59	5634.60	5628.81	5626.60
SUMP#2	N=6137.68	E=11408.99	5634.60	5628.71	5626.60
SUMP#3	N=6118.24	E=11404.27	5634.60	5628.61	5626.60
SUMP#4	N=6132.82	E=11428.39	5634.60	5628.61	5626.60
SUMP#5	N=6127.95	E=11447.79	5634.60	5628.51	5626.60
SUMP#6	N=6123.09	E=11467.19	5634.60	5628.41	5626.60
SUMP#7	N=6118.23	E=11486.59	5634.60	5628.31	5626.60
SUMP#8	N=6113.29	E=11506.29	5634.60	5628.21	5626.60
SUMP#9	N=6108.43	E=11525.69	5634.60	5628.11	5626.60



**Mountain Spa Resort
Storm Drain Runoff Calculations**

November 11, 2022
Revised per proposed agreement with Lacy Lane and final road design

Most of the runoff from the site will be collected and retained in open space near the south property line. The northern part of the resort will be retained in a basin on Lacy Lane HOA property per an agreement with the HOA.

Portions of some buildings will have roof top gardens. The runoff coefficient has been reduced to 0.90 which is likely higher than the expected runoff.

A percolation rate of 2.0 inches per hour assumed for pot rock.
A 8' sump has a total volume of 855 cf.
A 8' sump has a percolation rate of 0.024 cfs with a soils percolation rate of 2.0 inches / hour.

Table 1 - Runoff Coefficient for Mountain Spa Resort

Drainage Area	Total Collected Area (acres)	C = 0.90 Buildings and Parking (acres)	C = 0.20 Landscaped or Natural Areas (acres)	Compsite Runoff Coefficient
A	11.78	4.24	7.54	0.45
B	12.92	3.71	9.21	0.40
C	1.28	0.37	0.91	0.40

Table 2 - 100 Year Storm Peak Runoff and Volume for Basin A

Time Period (min)	Rainfall Intensity (in/hr)	Area (acres)	Developed Runoff Coefficient	Peak Runoff Rate (cfs)	Total Runoff Volume (cf)
15	4.08	11.78	0.45	21.72	19,550
30	2.76	11.78	0.45	14.69	26,450
60	1.71	11.78	0.45	9.10	32,775
120	0.96	11.78	0.45	5.11	36,799
180	0.65	11.78	0.45	3.46	37,374
360	0.35	11.78	0.45	1.86	40,249
720	0.21	11.78	0.45	1.12	48,299
1440	0.13	11.78	0.45	0.69	59,799

Table 3 - Retention Pond Design for Basin A

Time Period (min)	Total Runoff Volume (cf)	Percolation Rate (in/hr)	9' x 8' Sump Volume (cf)	Percolation from Sump (cf)	Storage Needed in Pond (cf)
15	19,550	2.0	7,695	194	11,660
30	26,450	2.0	7,695	389	19,386
60	32,775	2.0	7,695	778	24,302
120	36,799	2.0	7,695	1,555	27,549
180	37,374	2.0	7,695	2,333	27,347
360	40,249	2.0	7,695	4,666	27,889
720	48,299	2.0	7,695	9,331	31,273
1440	59,799	2.0	7,695	18,662	33,442

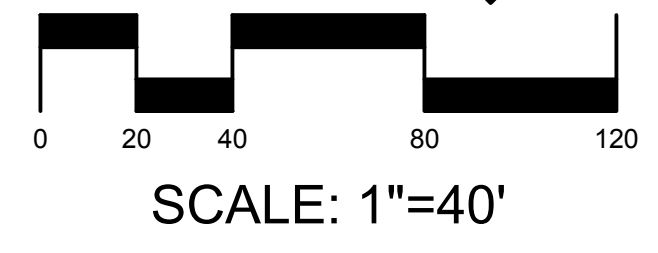
Table 4 - Retention Pond Storage Volume for Basin A at Lacy Lane

Elevation	Pond Depth (ft)	Pond Area (sf)	Pond Volume (cf)	Pond Volume (acre-ft)
5635	0.00	14,299	132	0.00
5636	1.00	16,708	15,636	0.36
5637	2.00	19,274	33,627	0.77
5638	3.00	21,996	54,262	1.25

contains the 100 year storm 1" of freeboard

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PAUL D. BERG P.E.
SERIAL NO. 295595
DATE: 14 NOV 2022



SCALE: 1"=40'

CHUCK HEATH
AMEYALLI - PHASE 1

AMEYALLI DRIVE - STORM
PLAN & PROFILE STA 4+00 - 12+00

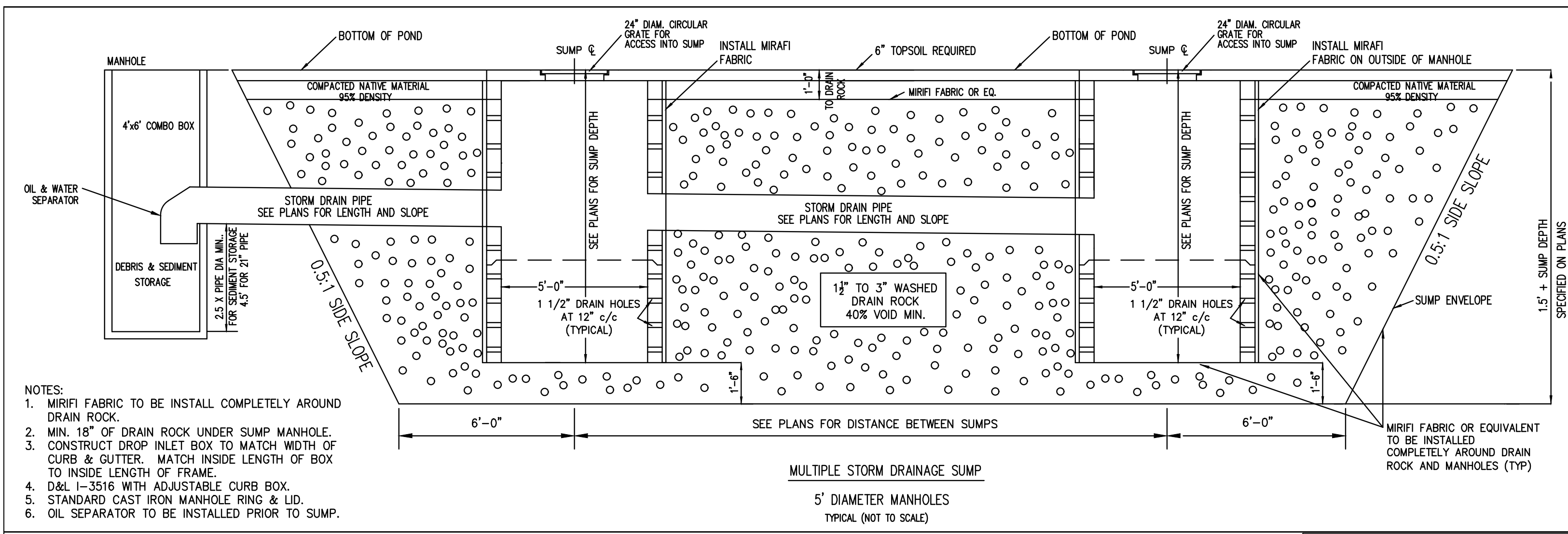
380 E Main St. Suite 204
Midway, UT 84049
ph 435.657.9749

DESIGN BY: PDB
DRAWN BY: DEJ

DATE: 14 NOV 2022
REV:

SHEET
22

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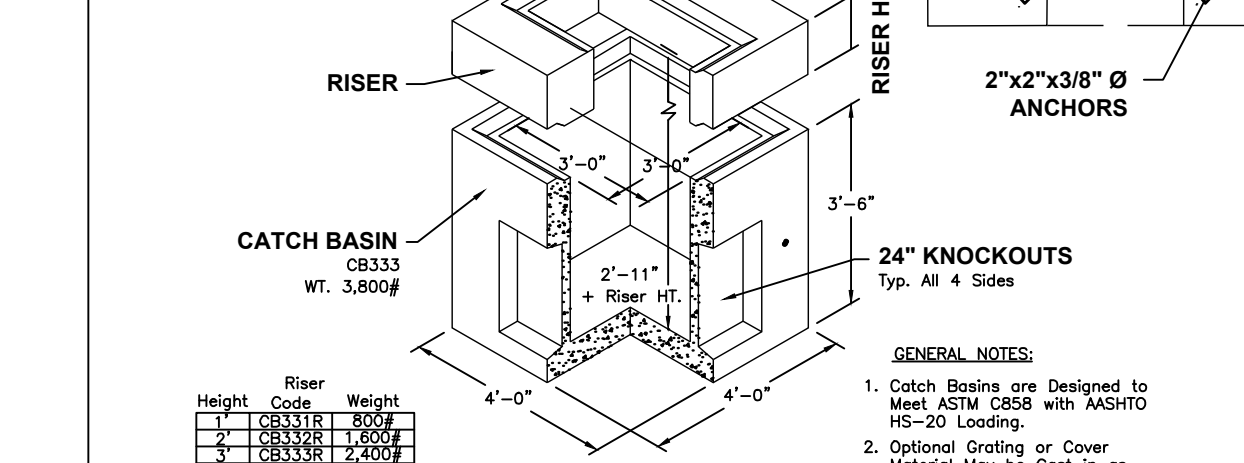
NOTES:

- MIRAFI FABRIC TO BE INSTALLED COMPLETELY AROUND DRAIN ROCK.
- MIN. 18" OF DRAIN ROCK UNDER SUMP MANHOLE.
- CONSTRUCT DROP INLET BOX TO MATCH WIDTH OF CURB & GUTTER. MATCH INSIDE LENGTH OF BOX TO INSIDE LENGTH OF FRAME.
- D&L 1-3516 WITH ADJUSTABLE CURB BOX.
- STANDARD CAST IRON MANHOLE RING & LID.
- OIL SEPARATOR TO BE INSTALLED PRIOR TO SUMP.

MULTIPLE STORM DRAINAGE SUMP
5' DIAMETER MANHOLES
TYPICAL (NOT TO SCALE)

STORM DRAIN NOTES:

- ALL STORM DRAIN CONSTRUCTION SHALL COMPLY WITH MIDWAY CITY STANDARDS AND SPECIFICATIONS AND WITH THESE PLANS.
- CONTRACTOR AND SURVEYOR SHALL REFER TO STORM DRAIN PLAN AND PROFILES FOR CATCH BASIN RIM ELEVATIONS.
- CONTRACTOR TO REFER TO STORM DRAIN PLAN AND PROFILE SHEETS FOR COORDINATES AND/OR STATIONING FOR CATCH BASINS AND SUMPS WITHIN THE PROJECT.
- CONTRACTOR TO REFER TO PLANS FOR REQUIRED SUMP DEPTH. ALL SUMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS ON THIS SHEET.
- ALL REFERENCES TO MIRAFI FILTER FABRIC ON THIS DETAIL SHEET SHALL BE A MINIMUM OF MIRAFI 140N OR ENGINEER APPROVED EQUIVALENT.
- ALL 18" SNOUT OIL AND WATER SEPARATOR OR EQUIVALENT SHALL BE INSTALLED IN THE CATCH BASIN BEFORE EACH SUMP.
- ALL RETENTION PONDS SHALL BE SIZED AND GRADED AS SHOWN ON THE STORM DRAIN PLAN. ALL RETENTION PONDS WITH SUMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS ON THIS SHEET.



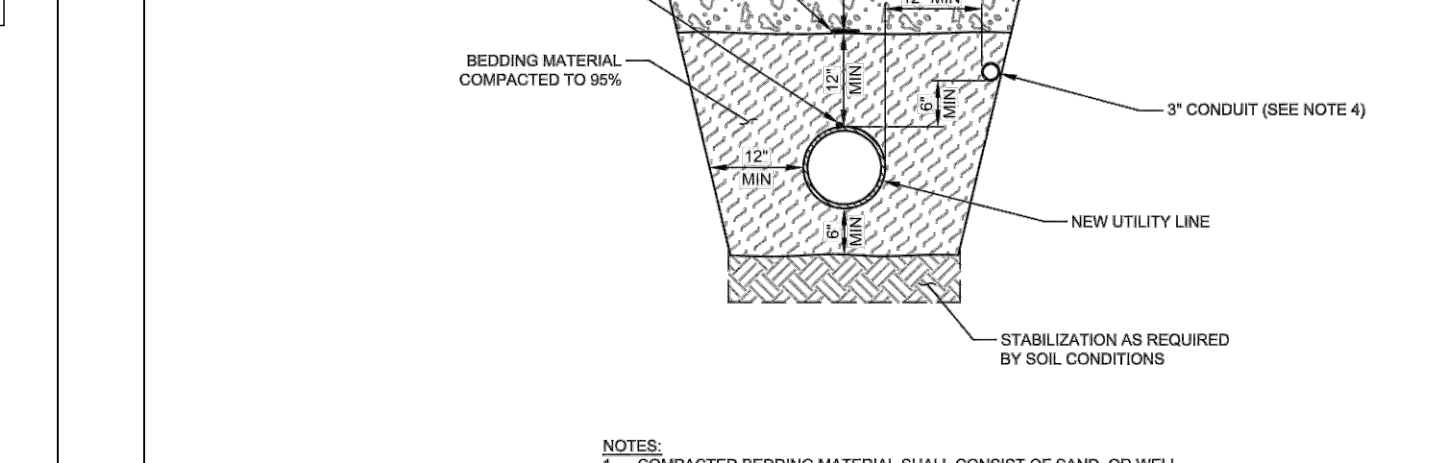
3'x3' W/ 17"X35" BOX REQUIREMENTS

- 17"X35" GRATE OPENING SHALL BE INSTALLED FOR BOX WITH AASHTO HS-20 LOADINGS.
- BOX SHOWN IN DETAIL BELOW USED IN DESIGN OF THIS PROJECT. CONTRACTOR MAY USE THIS BOX OR AN APPROVED EQUAL.
- BOXES AND GRATES TO BE PER HEBER CITY STANDARDS - JUNE 2008.

INSTALL D&L NO. 1-3517 OR EQUIVALENT WITH FLAT STEEL FRAME

GENERAL NOTES:

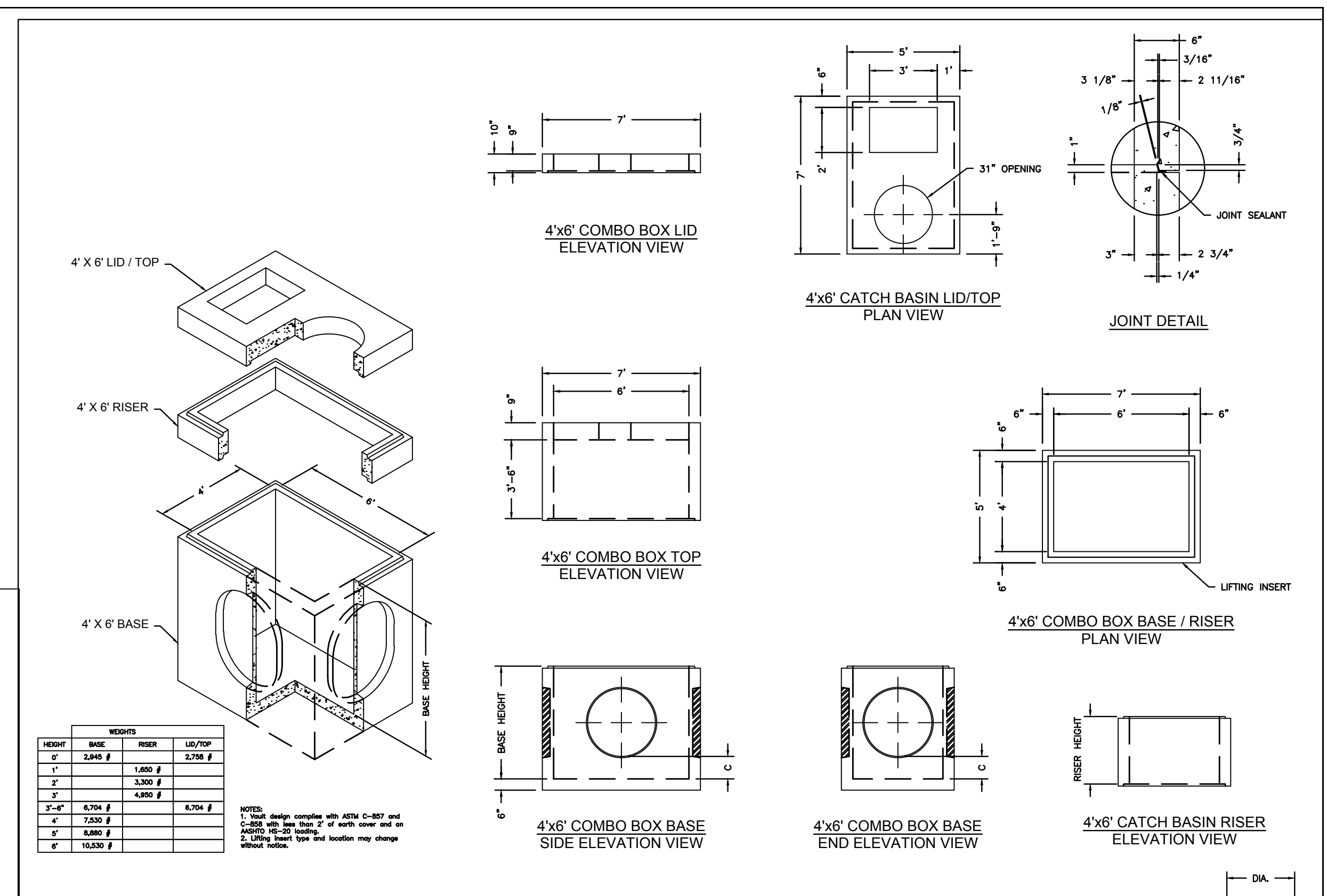
- Catch Basins are Designed to Meet ASTM C858 with AASHTO HS-20 Loading.
- Optional Grating or Cover Material May be Cast in as Required.
- Openings May be Sized and Located as Required.
- Check Hardware Section for Optional Accessories.



U1 TYP
UTILITY INSTALLATION IN EXISTING ROADWAY

NOTES:

- COMPACTED BEDDING MATERIAL SHALL CONSIST OF SAND OR WELL GRADED CRUSHED ROCK 1/2" MINIMUM 3/4" MAXIMUM MATERIALS. METHOD AND COMPACTION SHALL BE APPROVED BY ENGINEER. PEA GRAVEL IS PROHIBITED, EXCEPT WHEN APPROVED BY ENGINEER.
- USE PROPER MARKER TAPE APPROVED BY ENGINEER.
- REFER TO SECTION 02225.06 FOR COMPACTION DETAILS.
- MIDWAY CITY MAY CHOOSE AT THE CITY'S EXPENSE TO INSTALL 3" CONDUIT WITHIN TRENCH FOR FUTURE USE.

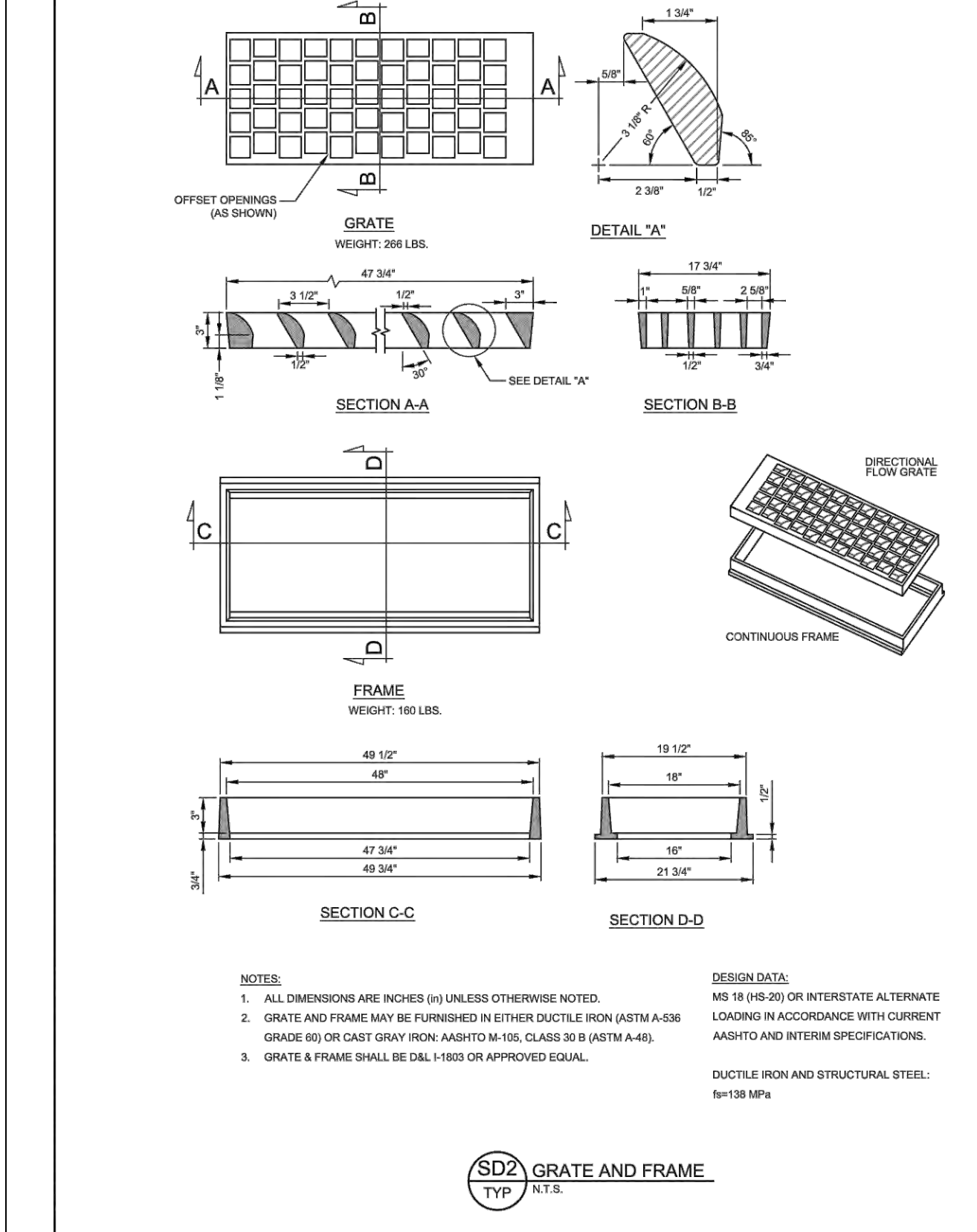


HEIGHT	WEIGHTS	
	BASE	RISER
4"	3,840 #	3,720 #
5"	3,300 #	4,800 #
6"	4,704 #	6,704 #
7"	7,250 #	
8"	8,880 #	
9"	10,530 #	

BASE HEIGHT	WIDE SIDE KNOCKOUT DIMENSIONS			SHORT SIDE KNOCKOUT DIMENSIONS		
	DIA.	A	B	DIA.	A	B
3'-6"	36"	36"	0"	36"	36"	0"
4'	36"	36"	0"	36"	36"	0"
5'	36"	36"	0"	36"	36"	0"
6'	36"	48"	12"	36"	48"	12"

NOTE: 1. Knockouts complying with ASTM C-887 and C-888 with less than 2" of north cover and on adjacent street side.
2. Lifting insert type and location may change with soil conditions.

KNOCKOUTS ARE 4" DEEP



SD2 GRATE AND FRAME
TYP N.T.S.

DESIGN DATA:

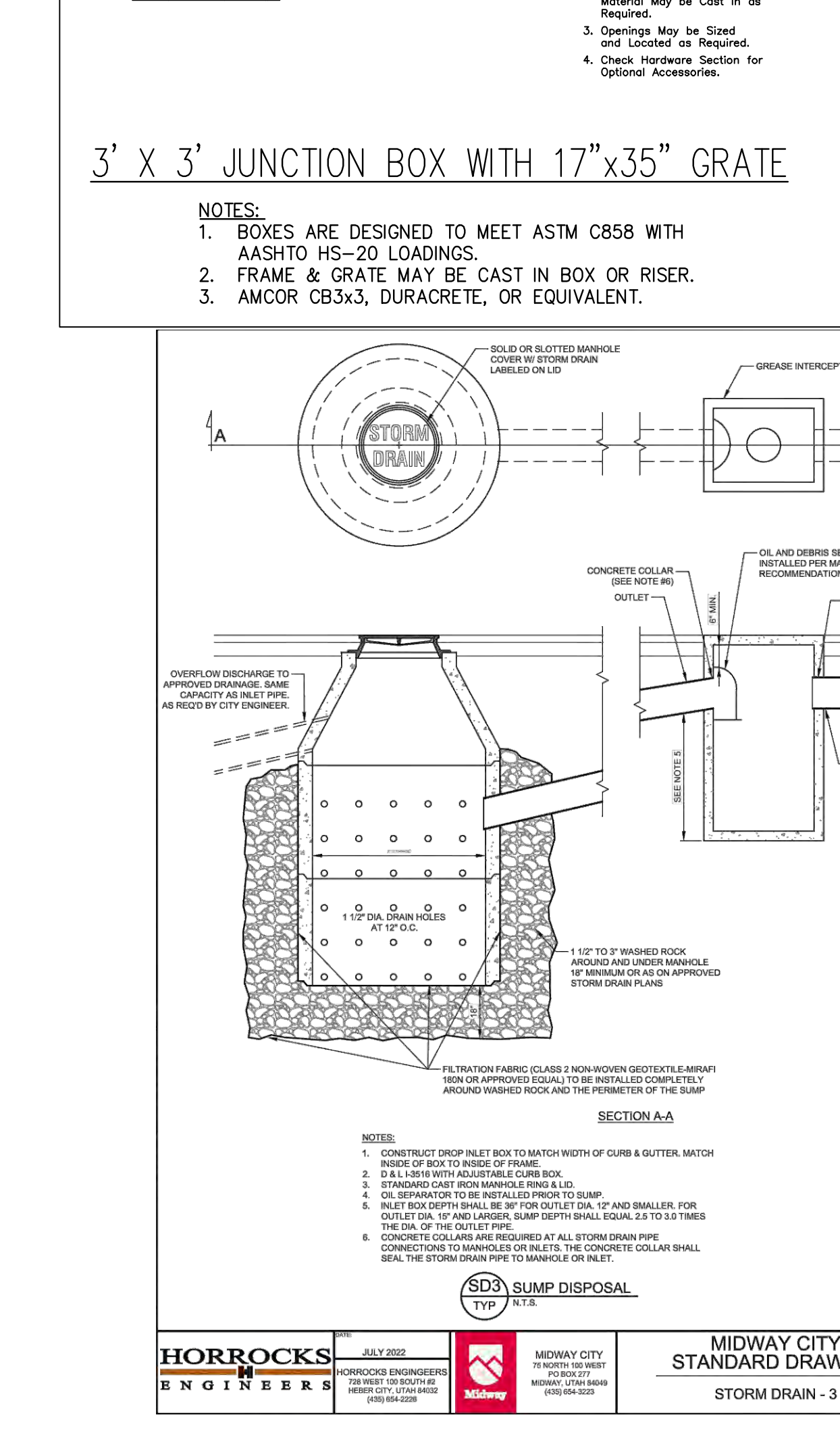
MS 18 (HS-20) OR INTERSTATE ALTERNATE LOADING IN ACCORDANCE WITH CURRENT AASHTO AND INTERIM SPECIFICATIONS.

DUCTILE IRON AND STRUCTURAL STEEL:
150-150 MPa

HORROCKS ENGINEERS JULY 2022
708 WEST 100 SOUTH ST.
HEBER CITY, UTAH 84020
(435) 864-2228

MIDWAY CITY
75 NORTH 100 WEST
PO BOX 277
MIDWAY, UTAH 84049
(435) 657-9223

MIDWAY CITY STANDARD DRAWING
STORM DRAIN - 2



SD3 SUMP DISPOSAL
TYP N.T.S.

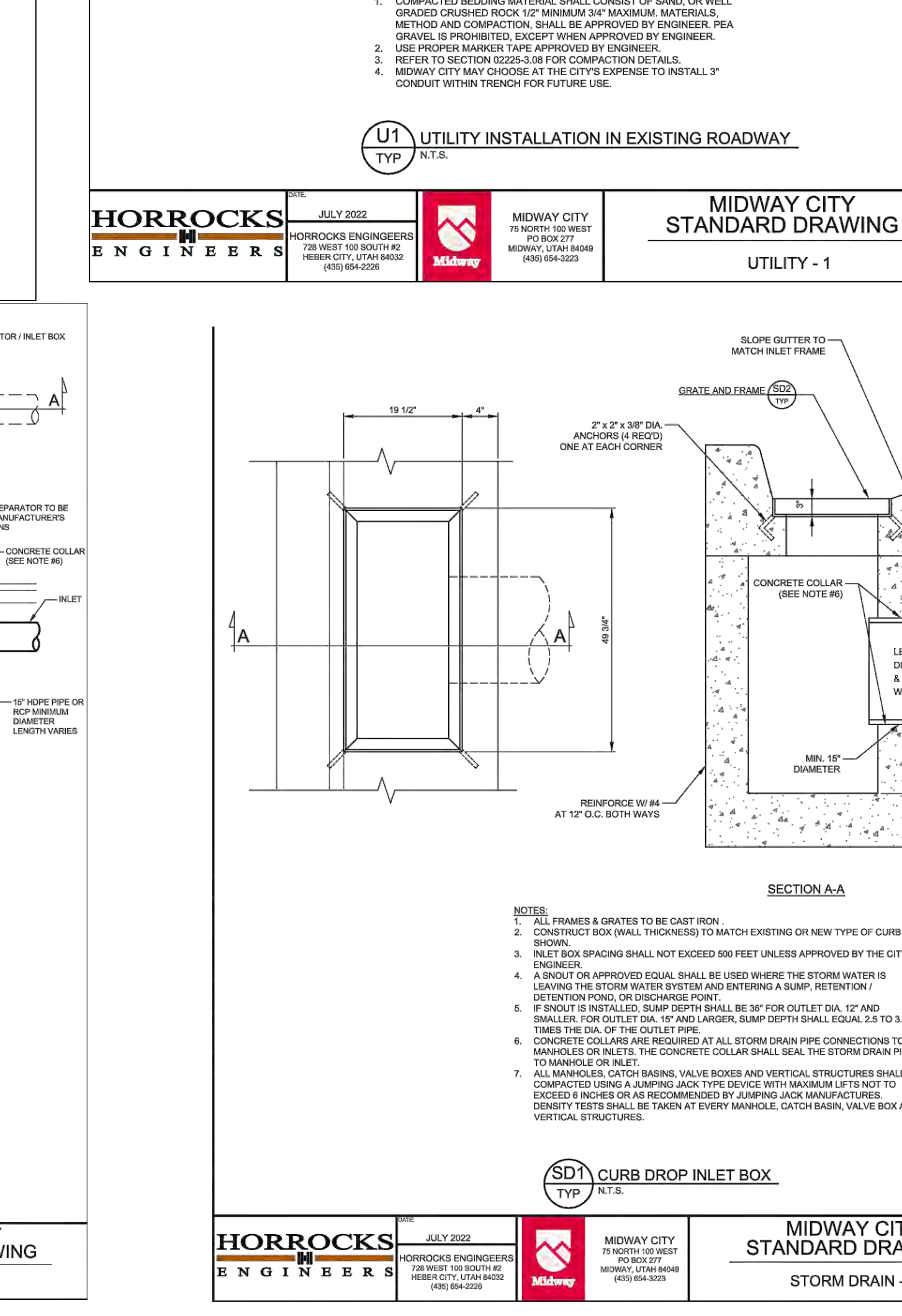
NOTES:

- CONSTRUCT DROP INLET BOX TO MATCH WIDTH OF CURB & GUTTER. MATCH RISE OF BOX TO RISE OF FRAME.
- D & L 1816 WITH ADJUSTABLE CURB BOX.
- STANDARD CAST IRON MANHOLE RING & LID.
- OIL SEPARATOR TO BE INSTALLED PRIOR TO SUMP.
- INLET BOX DEPTH SHALL BE 30" FOR OUTLET DIA. 12" AND SMALLER. FOR OUTLET DIA. 15" AND LARGER, SUMP DEPTH SHALL EQUAL 2.5 TO 3.0 TIMES THE DIA. OF THE OUTLET PIPE.
- CONCRETE COLLARS ARE REQUIRED AT ALL STORM DRAIN PIPE CONNECTIONS TO MANHOLES OR INLETS. THE CONCRETE COLLAR SHALL SEAL THE STORM DRAIN PIPE TO MANHOLE OR INLET.

HORROCKS ENGINEERS JULY 2022
708 WEST 100 SOUTH ST.
HEBER CITY, UTAH 84020
(435) 864-2228

MIDWAY CITY
75 NORTH 100 WEST
PO BOX 277
MIDWAY, UTAH 84049
(435) 657-9223

MIDWAY CITY STANDARD DRAWING
STORM DRAIN - 3



SD1 CURB DROP INLET BOX
TYP N.T.S.

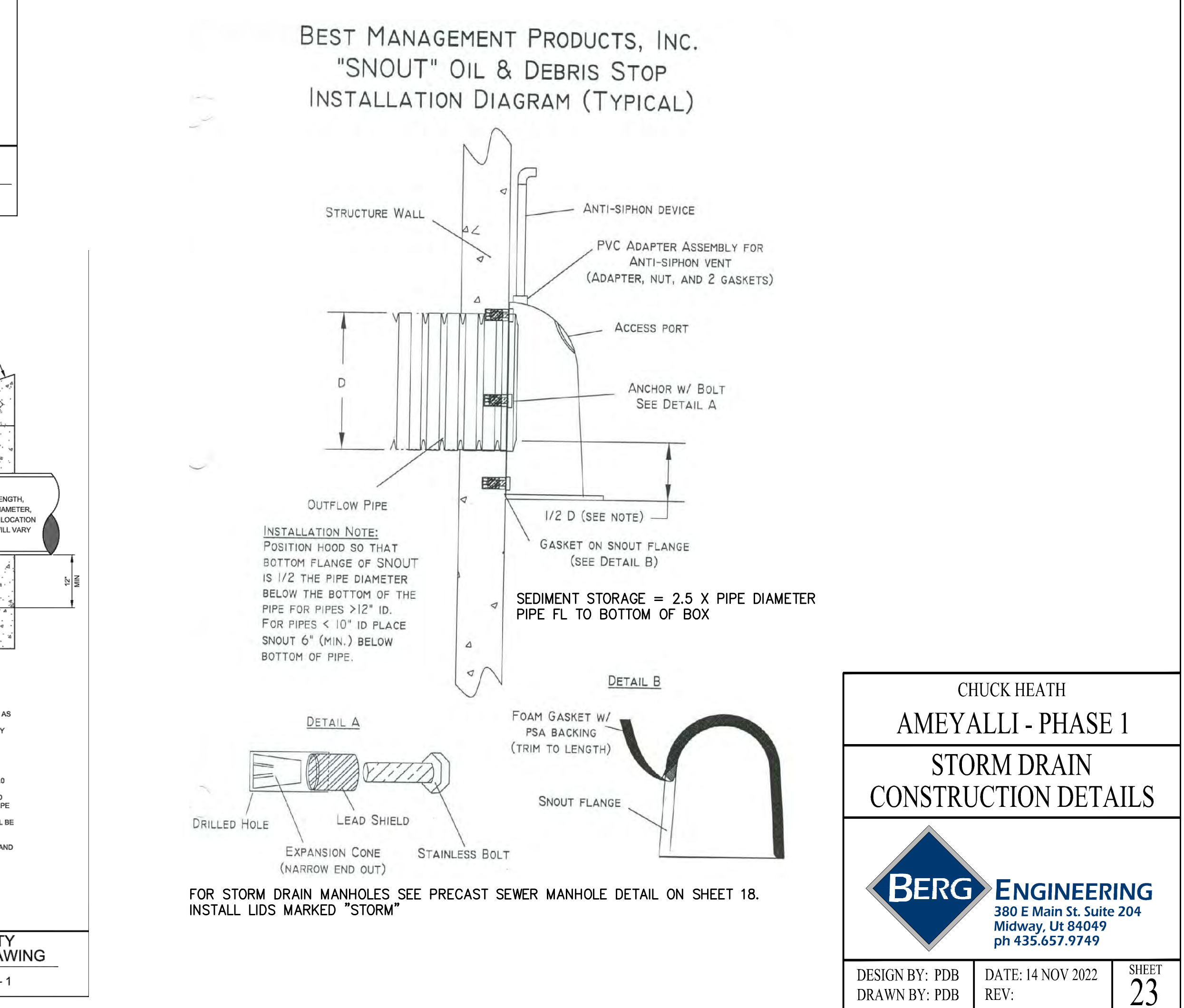
NOTES:

- ALL FRAMES & GRATES TO BE CAST IRON.
- CONSTRUCT BOX (MIN. THICKNESS) TO MATCH EXISTING OR NEW TYPE OF CURB AS SHOWN.
- INLET BOX SPACING SHALL NOT EXCEED 500 FEET UNLESS APPROVED BY THE CITY ENGINEER.
- SNOUT OR APPROVED EQUAL SHALL BE USED WHERE THE STORM WATER IS A SNOUT THE STORM WATER SYSTEM AND ENTERING A SUMP, RETENTION/DEFENTION POND, OR DISCHARGE POINT.
- SNOUTS INSTALLED IN SUMP (50-75) SHALL BE 30" FOR OUTLET DIA. 12" AND SMALLER. FOR OUTLET DIA. 15" AND LARGER, SUMP DEPTH SHALL EQUAL 2.5 TO 3.0 TIMES THE DIA. OF THE OUTLET PIPE.
- CONCRETE COLLARS ARE REQUIRED AT ALL STORM DRAIN PIPE CONNECTIONS TO MANHOLES OR INLETS. THE CONCRETE COLLAR SHALL SEAL THE STORM DRAIN PIPE TO MANHOLE OR INLET.
- ALL MANHOLES, CATCH BASINS, VALVE BOXES AND VERTICAL STRUCTURES SHALL BE COMPACTIONED USING A JUMPING JACK TYPE DEVICE WITH MAXIMUM LIFTS NOT TO EXCEED 8" ON 8" OR AS RECOMMENDED BY JUMPING JACK MANUFACTURER. DENSITY TESTS SHALL BE TAKEN AT EVERY MANHOLE, CATCH BASIN, VALVE BOX AND VERTICAL STRUCTURES.

HORROCKS ENGINEERS JULY 2022
708 WEST 100 SOUTH ST.
HEBER CITY, UTAH 84020
(435) 864-2228

MIDWAY CITY
75 NORTH 100 WEST
PO BOX 277
MIDWAY, UTAH 84049
(435) 657-9223

MIDWAY CITY STANDARD DRAWING
STORM DRAIN - 1



BEST MANAGEMENT PRODUCTS, INC.
"SNOUT" OIL & DEBRIS STOP
INSTALLATION DIAGRAM (TYPICAL)

CHUCK HEATH
AMEYALLI - PHASE 1

STORM DRAIN CONSTRUCTION DETAILS

BERG ENGINEERING
380 E Main St. Suite 204
Midway, Ut 84049
ph 435.657.9749

DESIGN BY: PDB
DRAWN BY: PDB

DATE: 14 NOV 2022
REV:

SHEET
23

Keith, X. Village Manager, See Health Department 2022 (1) for Phase 1 Water Plan. November 14, 2022 | plotted by: cde



- LEGEND**
- WETLANDS (3.75 ACRES)
 - SLOPES > 25% (0.33 ACRES OUTSIDE OF HOT POT/CRATER)
 - HOT POT/CRATER SENSITIVE LANDS (3.52 ACRES)
 - EXISTING SEWER
 - PROPOSED SEWER
 - EXISTING WATER
 - PROPOSED WATER
 - EXISTING PRESSURIZED IRRIGATION
 - PROPOSED PRESSURIZED IRRIGATION
 - PROPOSED STORM DRAIN

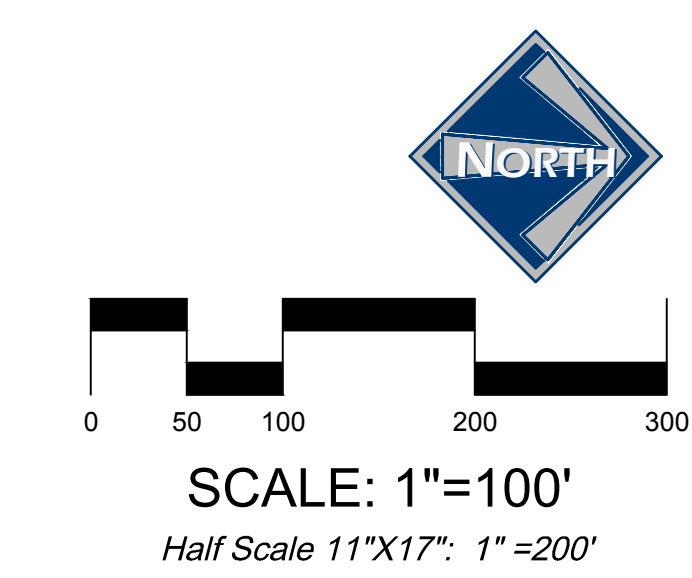
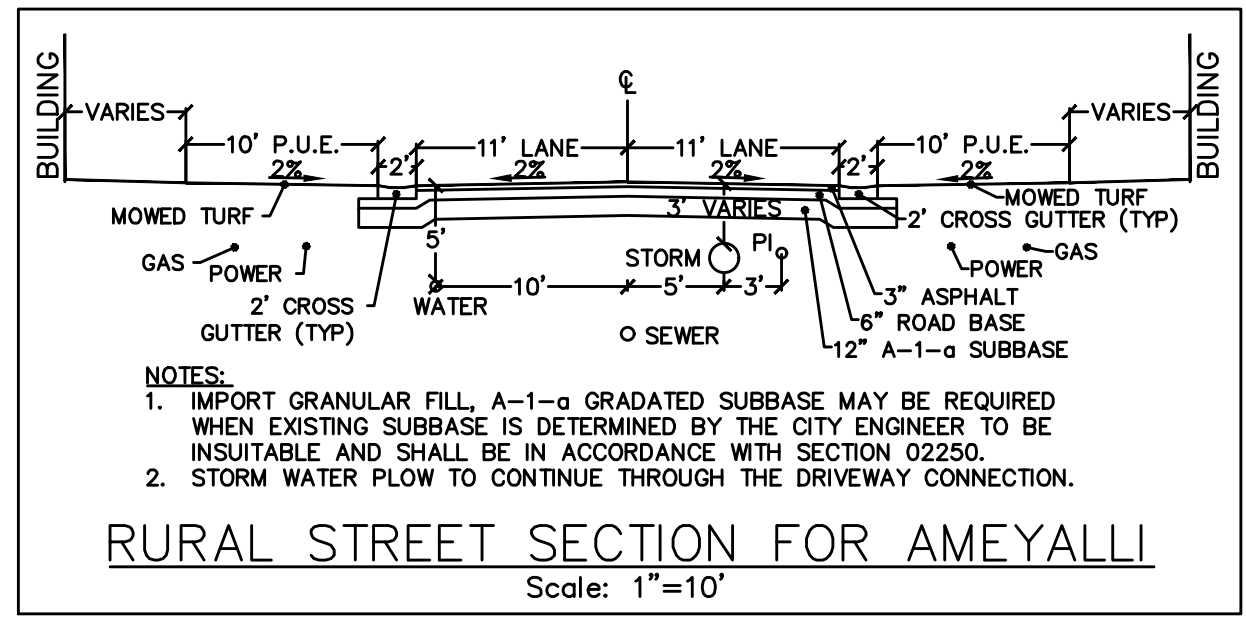
BLUE STAKE NOTE:

- LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.

WATER NOTES:

- ALL WATER IMPROVEMENTS SHALL MEET MIDWAY CITY STANDARDS AND SPECIFICATIONS.
- ALL COTTAGES/DUPLEXES WILL HAVE A 1" WATER SERVICE.

ALL SEWER LATERALS AND WATER SERVICES TO FUTURE BUILDINGS TO BE STUBBED 10' BEYOND THE BACK OF CURB



CHUCK HEATH
 AMEYALLI - PHASE 1
 PHASE 1 WATER PLAN

BERG ENGINEERING
 380 E Main St. Suite 204
 Midway, UT 84049
 ph 435.657.9749

DESIGN BY: PDB
 DRAWN BY: DEJ
 DATE: 14 NOV 2022
 REV:
 SHEET 24

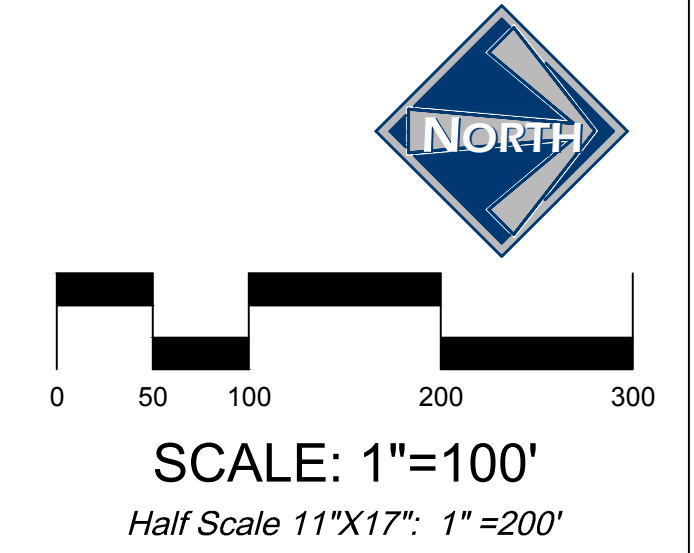
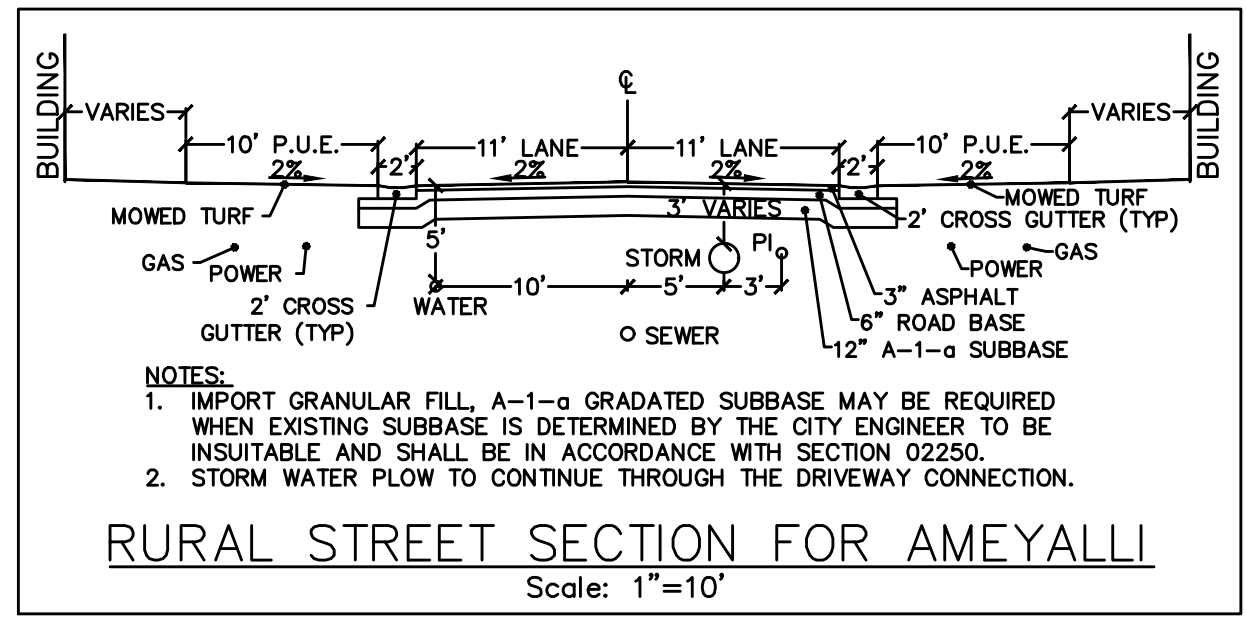
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 PAUL D. BERG P.E.
 SERIAL NO. 295595
 DATE: 14 NOV 2022

Heath, C. X. Village, Utah, 2022 (Phase 1) - Phase 1
 11/14/2022 11:00 AM
 11/14/2022 11:00 AM



- LEGEND**
- WETLANDS (3.75 ACRES)
 - SLOPES > 25% (0.33 ACRES OUTSIDE OF HOT POT/CRATER)
 - HOT POT/CRATER SENSITIVE LANDS (3.52 ACRES)
 - EXISTING SEWER
 - PROPOSED SEWER
 - EXISTING WATER
 - PROPOSED WATER
 - EXISTING PRESSURIZED IRRIGATION
 - PROPOSED PRESSURIZED IRRIGATION
 - PROPOSED STORM DRAIN

- BLUE STAKE NOTE:**
- LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.
- PRESSURIZED IRRIGATION NOTES:**
- ALL PRESSURIZED IRRIGATION IMPROVEMENTS SHALL MEET MIDWAY IRRIGATION COMPANY STANDARDS AND SPECIFICATIONS
 - ALL PRESSURIZED IRRIGATION MAIN SHALL BE AWWA C900 DR18 PURPLE PIPE.
 - ALL P.I. SERVICES IN THE RESORT ARE 1"



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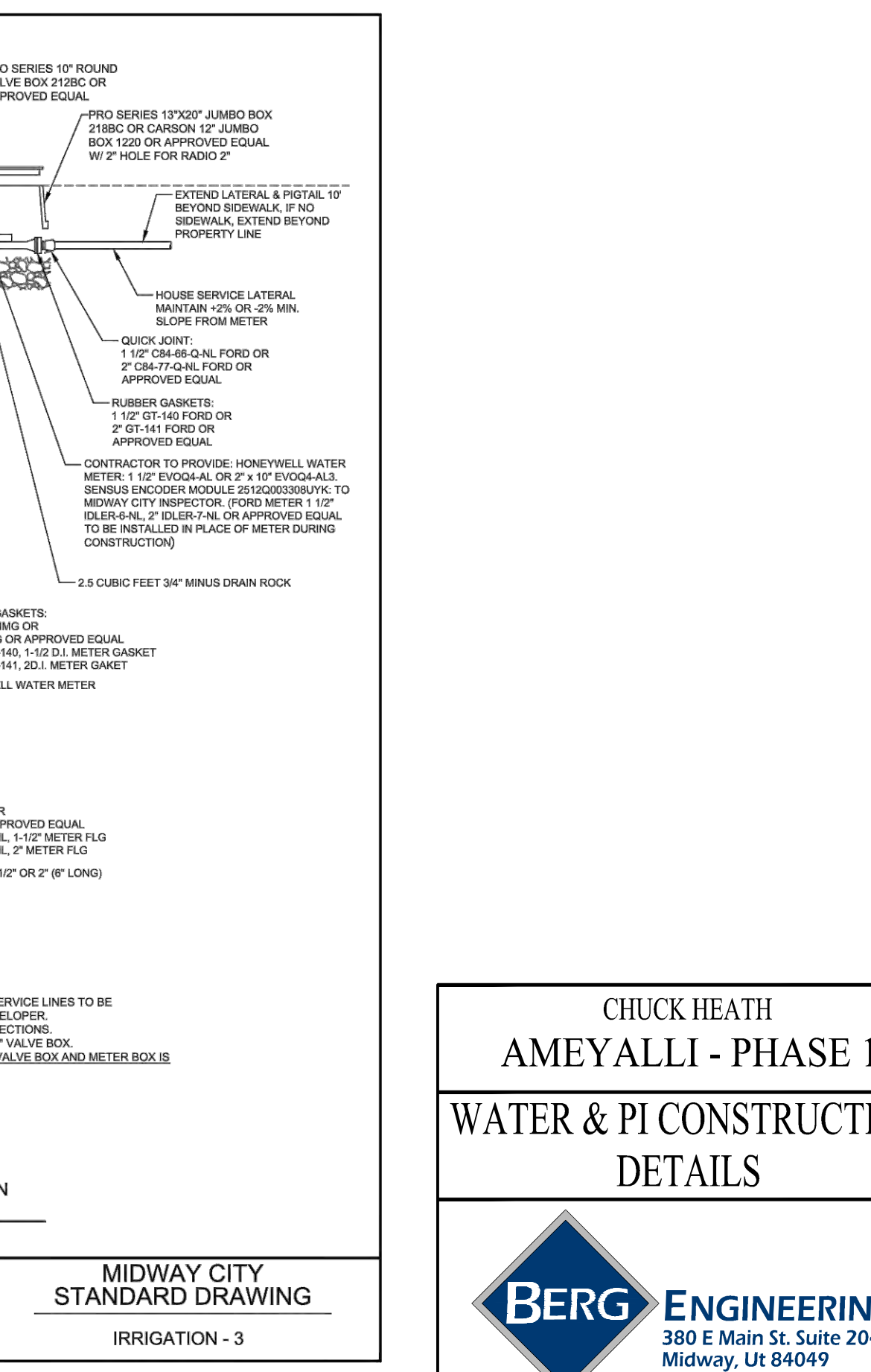
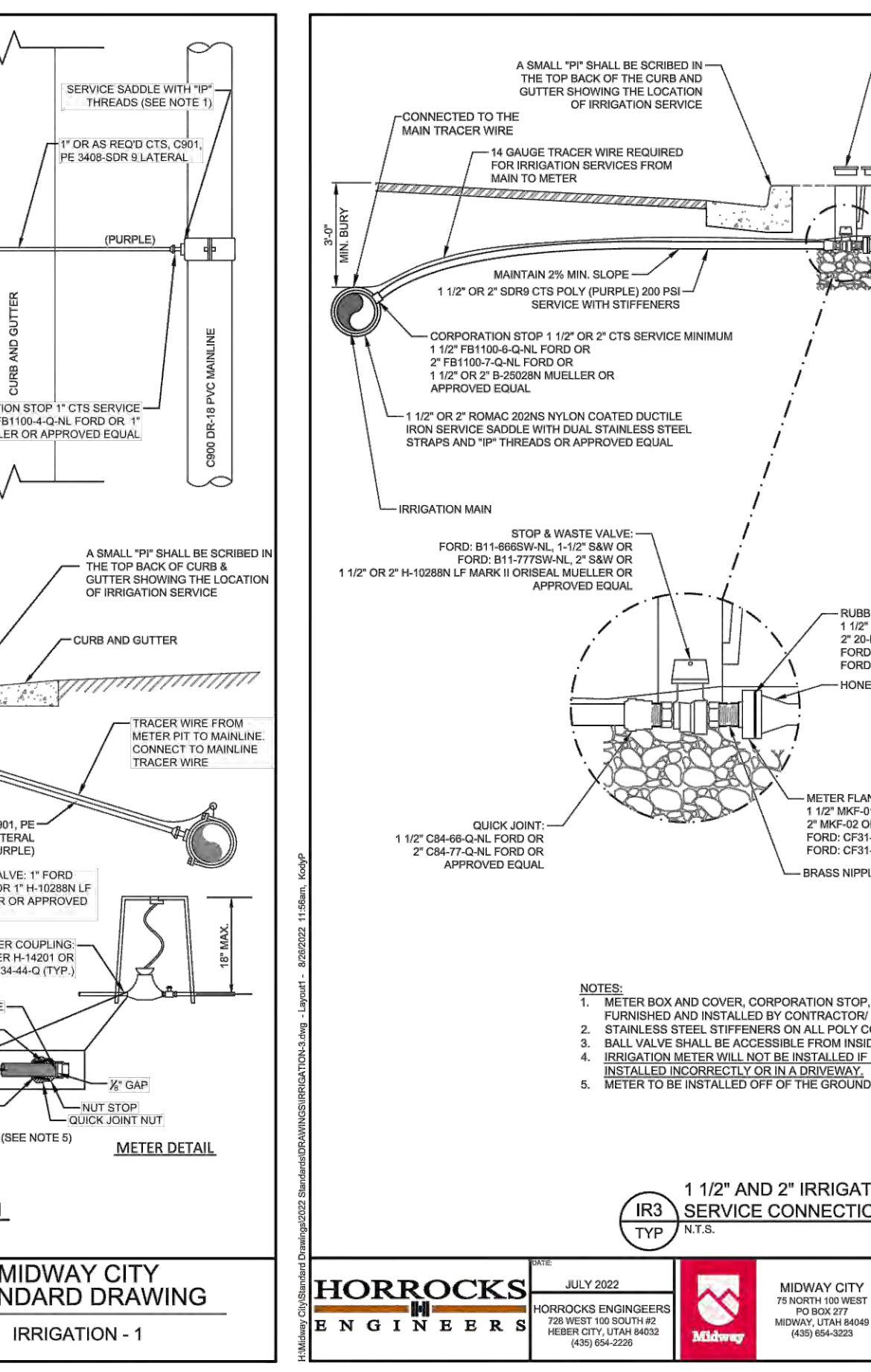
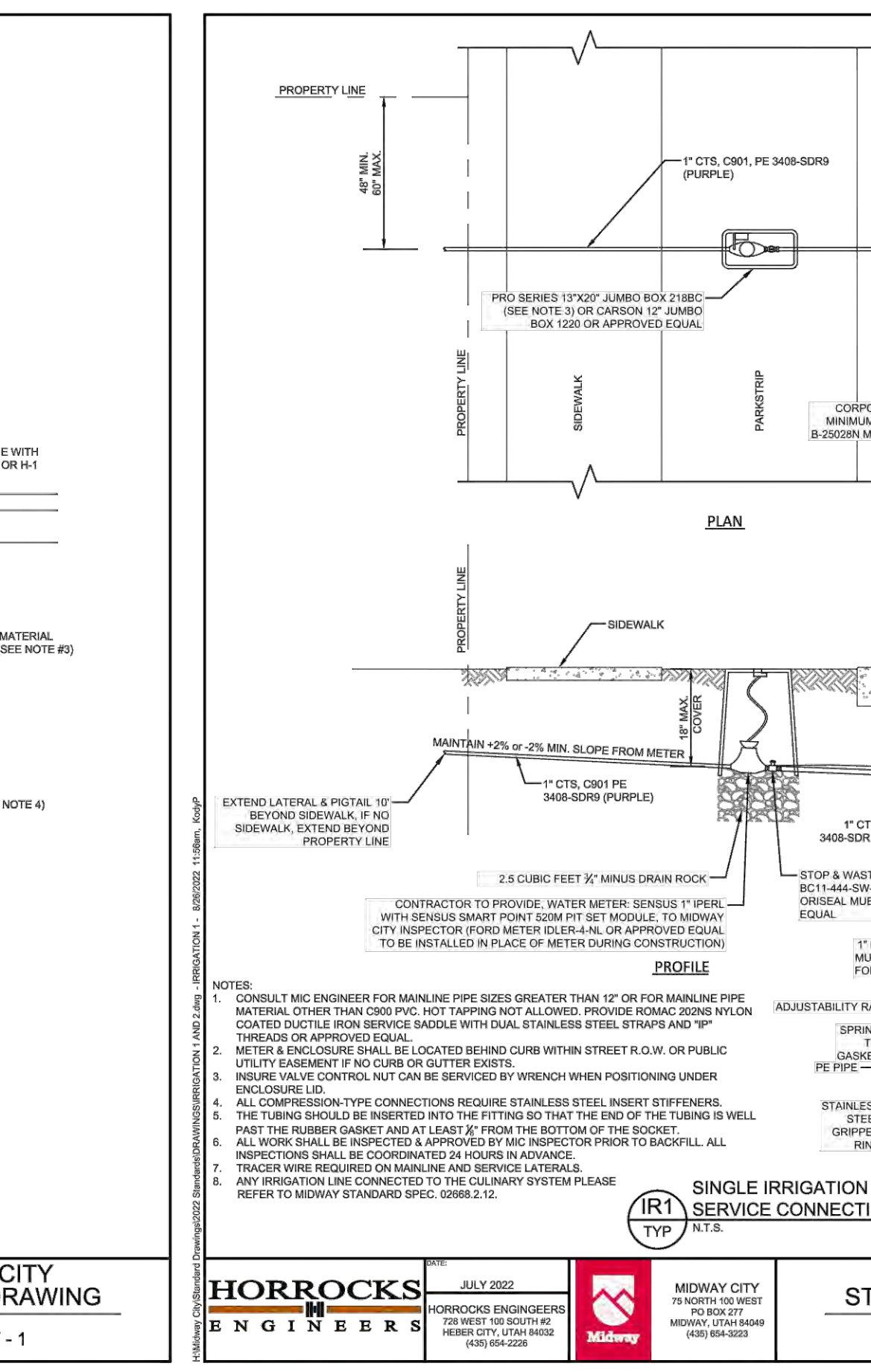
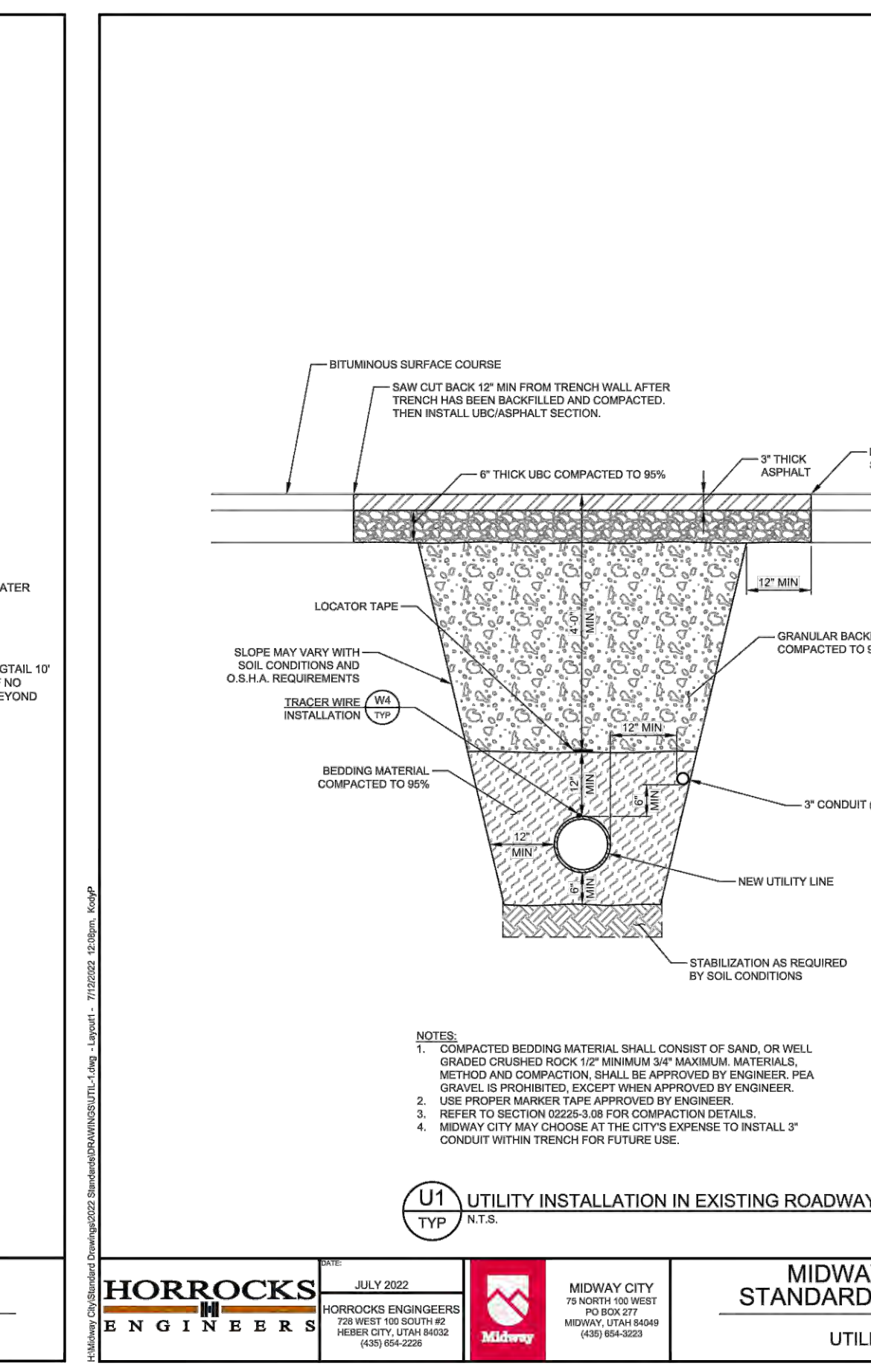
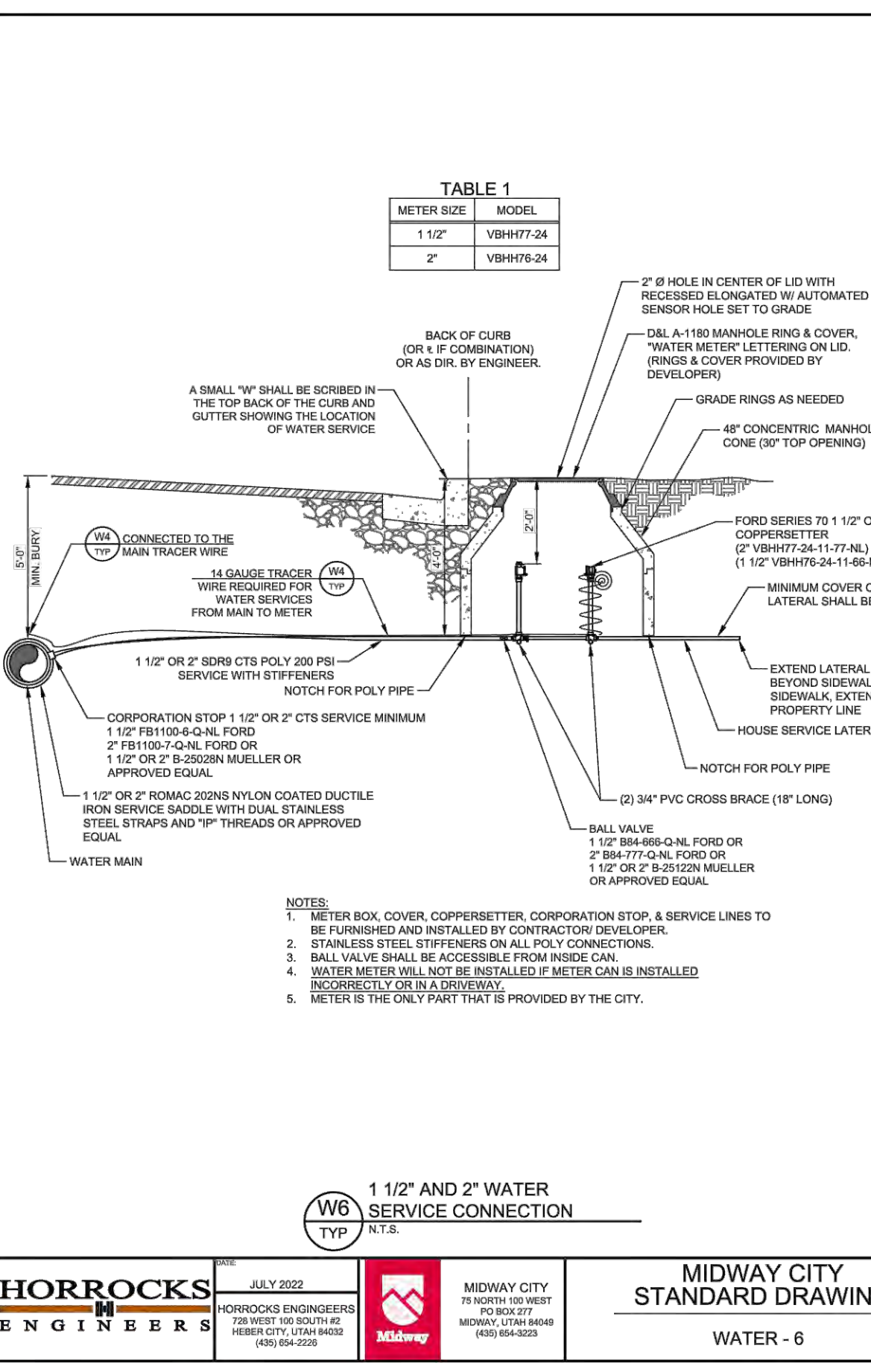
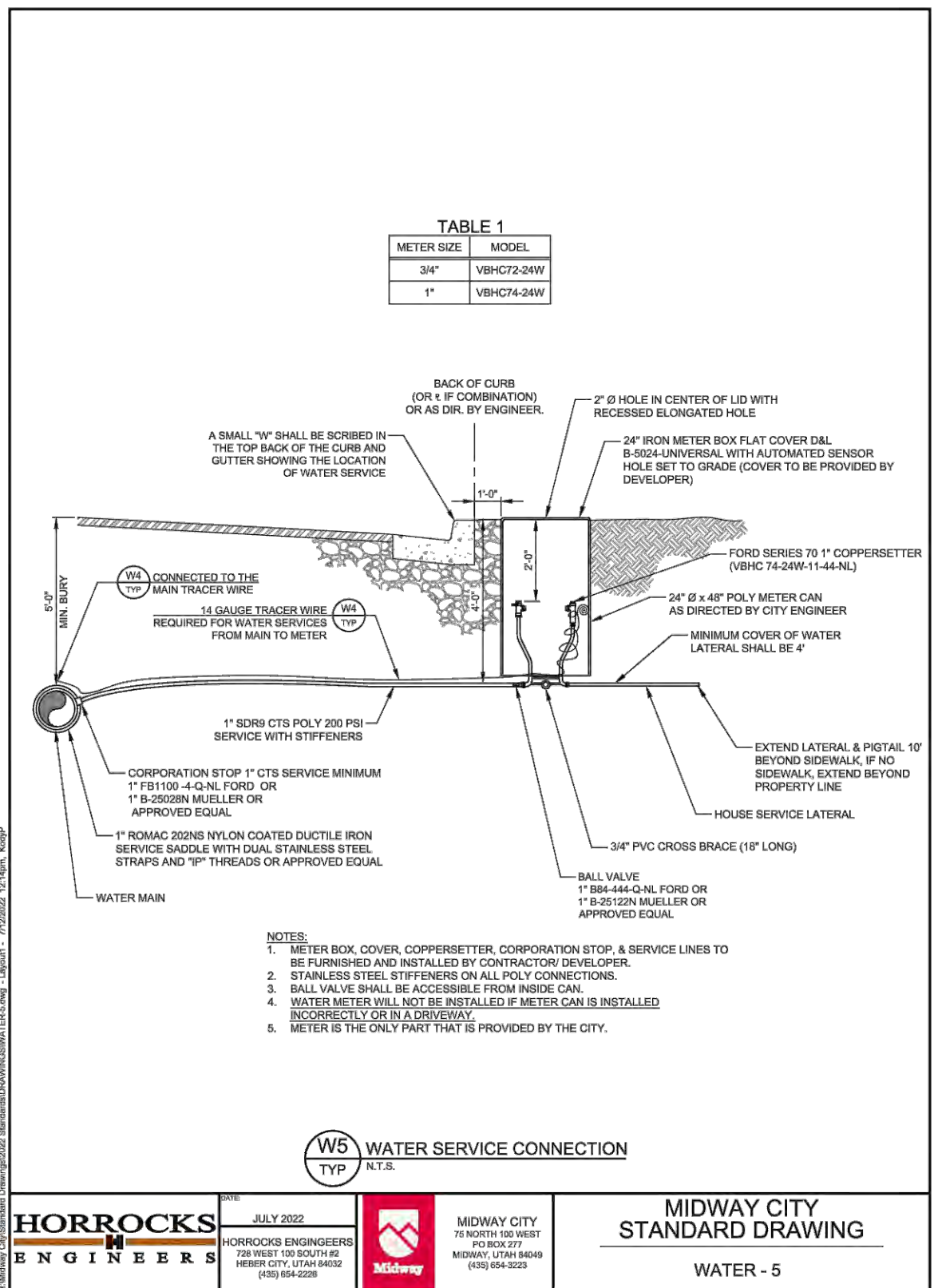
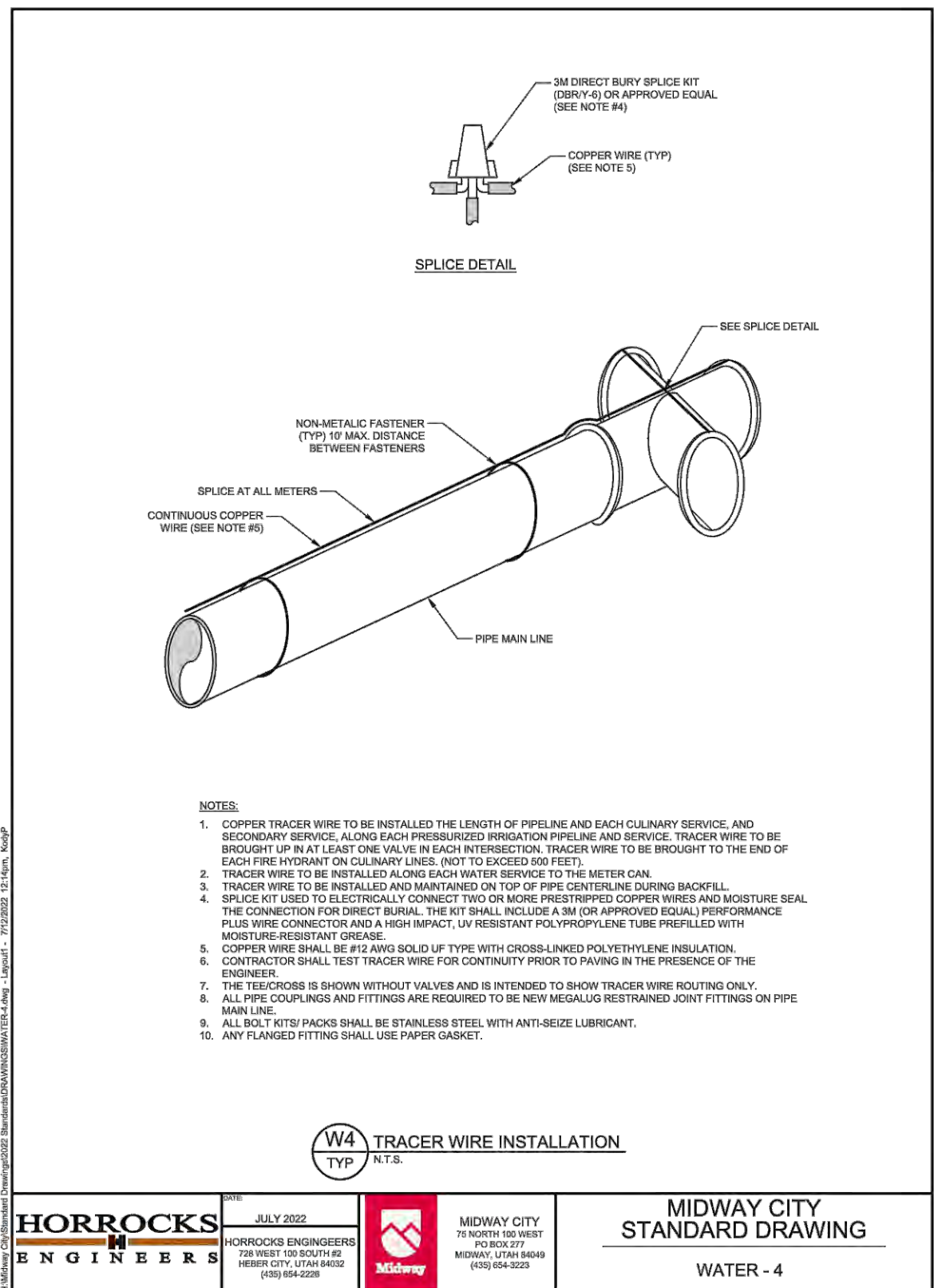
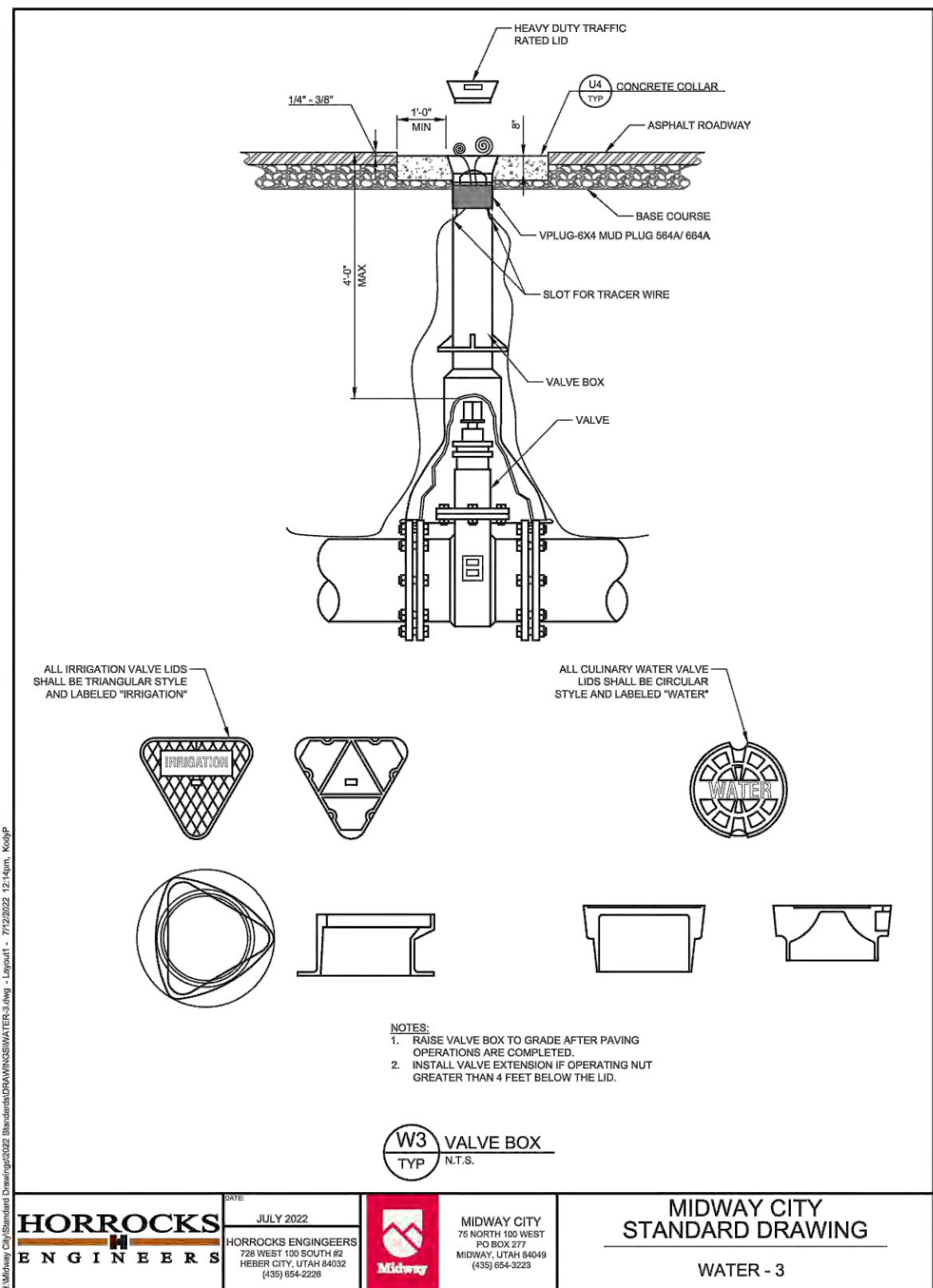
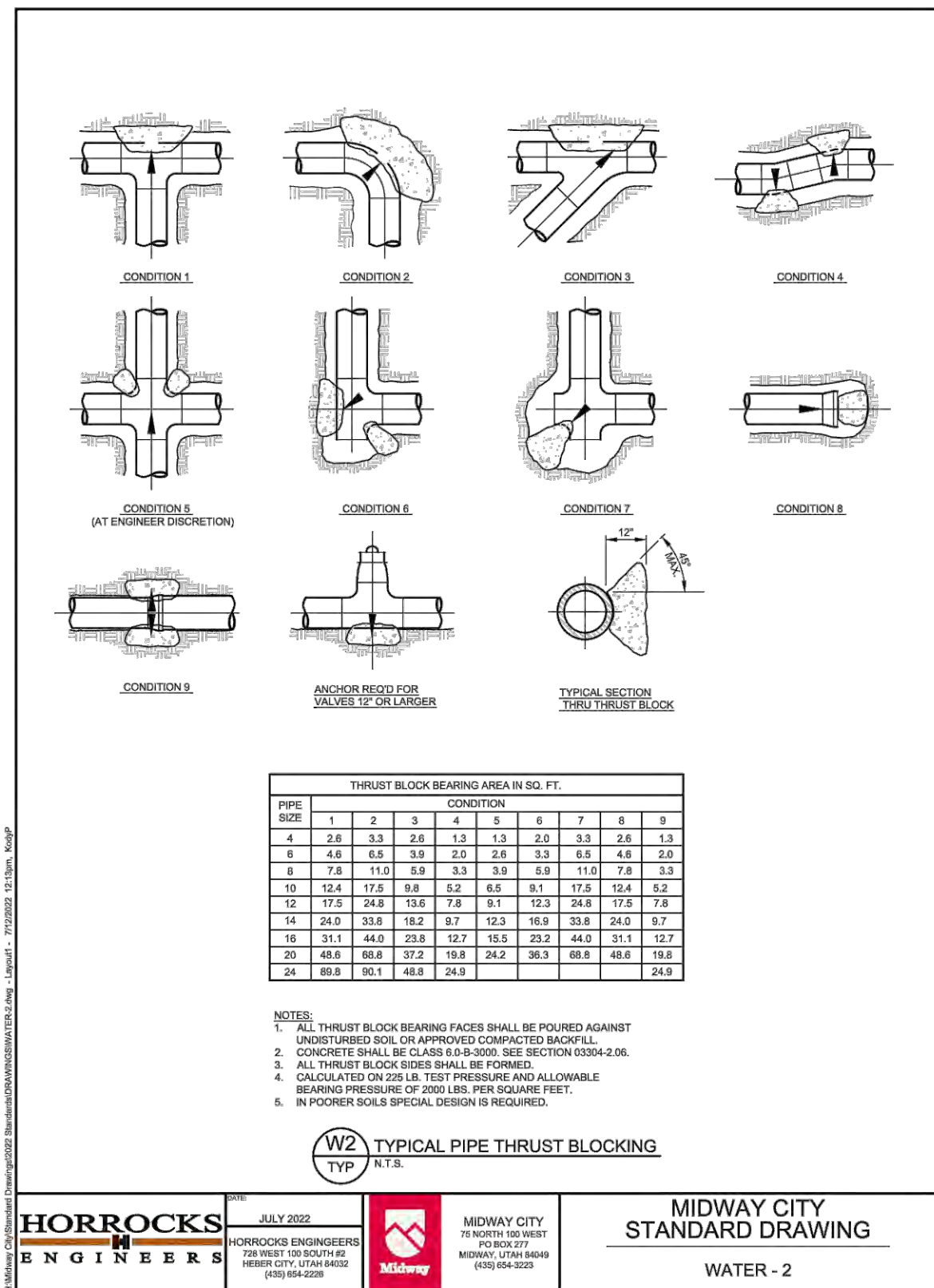
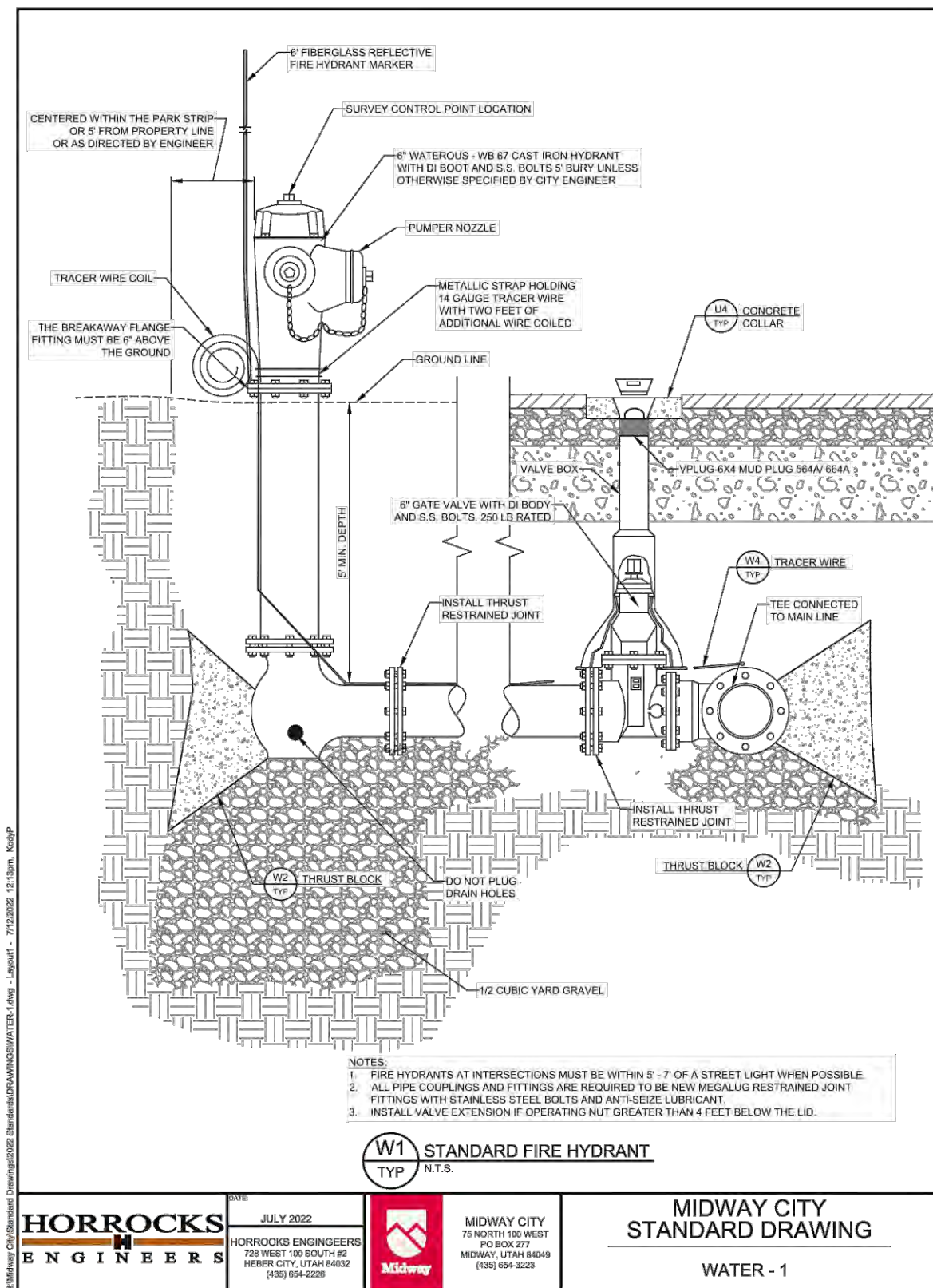
PAUL D. BERG P.E.
SERIAL NO. 295595
DATE: 14 NOV 2022

CHUCK HEATH
AMEYALLI - PHASE 1
PHASE 1 PRESSURIZED IRRIGATION PLAN

BERG ENGINEERING
380 E Main St. Suite 204
Midway, UT 84049
ph 435.657.9749

DESIGN BY: PDB
DRAWN BY: DEJ
DATE: 14 NOV 2022
REV:

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CHUCK HEATH
AMEYALLI - PHASE 1
WATER & PI CONSTRUCTION
DETAILS

BERG ENGINEERING
380 E Main St. Suite 204
Midway, UT 84049
ph 435.657.9749

DESIGN BY: PDB
DRAWN BY: DEJ

DATE: 14 NOV 2022
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GENERAL LANDSCAPE NOTES:

- CODES, LAWS, REGULATIONS & PERMITS BY FEDERAL, STATE, COUNTY AND CITY AGENCIES FOR DESIGN CONCEPT, MATERIALS AND WORKMANSHIP MUST BE RESEARCHED AND SATISFIED BY THE CONTRACTOR. REPORT ANY PROBLEMS OR REQUIREMENTS TO THE LANDSCAPE ARCHITECT. THE CONTRACTOR MUST VERIFY THE REGULATIONS FOR AND SECURE ANY PERMITS BEFORE BEGINNING CONSTRUCTION. THE COST FOR THE PERMIT FEES MAY BE SUBMITTED TO THE OWNER FOR REIMBURSEMENT. CALL BLUE STAKES AND REFER TO DRAINAGE AND CIVIL PLANS BEFORE ANY TRENCHING OR EXCAVATION.
- CONSTRUCTION SAFETY & CLEANUP MUST MEET OSHA STANDARDS AT ALL TIMES. ALL CONTRACTORS MUST HAVE ADEQUATE LIABILITY, PERSONNEL INJURY AND PROPERTY DAMAGE INSURANCE. CLEAN UP MUST BE PERFORMED DAILY, AND ALL HARDSCAPE ELEMENTS MUST BE WASHED FREE OF DIRT AND MUD ON FINAL CLEAN UP. CONSTRUCTION MUST OCCUR IN A TIMELY MANNER.
- LANDSCAPE PLANS AND DETAIL DRAWINGS ARE SCHEMATIC ONLY. DISCREPANCIES MAY EXIST, INCLUDING BUT NOT LIMITED TO BUILDING LOCATION, PROPERTY LINES, ANY DIMENSIONS SPECIFIED OR IMPLIED. THE CONTRACTOR WILL BE REQUIRED TO ADJUST PLANS AS NECESSARY TO RETAIN CONCEPT INTEGRITY. CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT IF DISCREPANCIES EXIST.
- PLANT MATERIAL EXCAVATION. CONTRACTOR TO CALL BLUE STAKE AND MAKE REFERENCE TO DRAINAGE AND CIVIL PLANS BEFORE EXCAVATION FOR PLANT MATERIAL. ALL HOLES MUST ALLOW FOR A MINIMUM OF SIX (6) INCHES OF SPECIFIED PLANTING MIX BACKFILL MATERIAL ON ALL SIDES OF ROOT BALL FOR SHRUBS, AND 3X BALL DIAMETER FOR TREES.
- ALL WORK IS TO BE PERFORMED BY AN EXPERIENCED LANDSCAPE CONTRACTOR WITH NO LESS THAN FIVE(5) YEARS OF EXPERIENCE OF PROJECTS SIMILAR IN SCOPE AND SIZE.
- THE LANDSCAPE CONTRACTOR IS TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION. ALL UTILITIES MUST BE CLEARLY MARKED. BEFORE EXCAVATION ALL UTILITIES ARE TO BE POT-HOLED BY HAND OR EQUIPMENT IN A MANNER THAT DOES NOT CAUSE DAMAGE.
UTILITY SETBACKS:
WATER & SEWER LINES - 10 FEET
GAS LINES - 4 FEET
FIRE HYDRANTS- 5 FEET (LIMIT PLANT HEIGHT TO 8')
- CONTRACTOR TO VERIFY ALL PLANT LOCATIONS AND QUANTITY BEFORE INSTALLATION. IF DISCREPANCIES BETWEEN PLAN AND PLANTING SCHEDULE EXIST, PLAN TAKES PRECEDENCE OVER PLANTING SCHEDULE.
- ANY FIELD ADJUSTMENTS TO PLANT LOCATIONS SHALL BE MADE UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ANY PLANT LOCATION ADJUSTMENTS OR SUBSTITUTIONS SHALL BE APPROVED BY OWNER PRIOR TO ANY CHANGE FROM THE APPROVED LANDSCAPE PLAN.
- THE WARRANTY PERIOD UNLESS STATED OTHERWISE WILL BE ONE YEAR AFTER SUBSTANTIAL COMPLETION. ALL LANDSCAPE MATERIAL DAMAGED OR DEAD DUE TO INSTALLATION METHODS WILL BE REPLACED AT OWNER'S DISCRETION.
- PLANTING**
TOP SOIL MUST BE A PREMIUM QUALITY DARK SANDY LOAM, FREE OF ROCKS, CLODS, ROOTS, AND PLANT MATTER. THE TOPSOIL WILL BE EVENLY SPREAD AND SMOOTH GRADED ON A CAREFULLY PREPARED SUBGRADE TO A DEPTH OF SIX (6) INCHES IN SHRUB AREAS, SIX (6) INCHES UNDER SOD AREAS.
ALL TREES IN TURF AREAS ARE TO BE PLANTED WITH SHREDED CEDAR MULCH AT A DEPTH OF 4". NO WEED BARRIER FABRIC UNDER CEDAR MULCH.
STAKE ALL TREES WITH 6" TREATED WOOD POSTS. USE GUY WIRES WITH NON-STRETCH NYLON PROTECTIVE STRAPS AROUND TRUNK.
- 2 STAKES PER DECIDUOUS TREE
- 2 STAKES PER EVERGREEN TREE
- ALL PLANTING PITS ARE TO BE CLEARED OF ALL ROCK, SUB BASE MATERIAL, AND DEBRIS. AMENDED TOPSOIL TO BE INSTALLED WITHIN PER DETAIL.
- NO FINAL GRADES CAUSING DRAINAGE AWAY FROM CURBS, DESIGNATED DRAINAGE INLETS, OR STAGNATE WATER WILL BE ALLOWED.
- ALL TREES TO BE BALLED & BURLAP WITH SIZES AND SPECIES TRUE TO THE PLANT LEGEND.
- TREE WRAPPING MAY BE USED TO PROTECT YOUNG TREES FROM WINTER DAMAGE. TREE WRAPS SHALL BE INSTALLED IN THE FALL. IF THE CONTRACTOR INSTALLS WRAPS FOR TREE PROTECTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PROMPTLY REMOVE WRAPS THE FOLLOWING SPRING.
- PLANT SUBSTITUTIONS SHALL BE REQUESTED IN WRITING AND APPROVED BY THE OWNER PRIOR TO CONSTRUCTION.
- ALL PLANTING MATERIAL SHALL BE APPROVED AND INSPECTED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. TREE AND SHRUB TAGS SHALL BE LEFT ON PLANTS UNTIL INSPECTED.
- LANDSCAPE CONTRACTOR IS TO COORDINATE SCHEDULE IN A MANNER THAT ALLOWS PLANTING MATERIAL TO BE INSTALLED IN A TIMELY MANNER. IF TEMPORARY STORAGE IS NECESSARY, CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FROM WEATHER AND HEAT. REGULAR WATERING IS REQUIRED UNTIL INSTALLATION.
- NO OPEN PLANTING PITS SHALL BE LEFT OPEN OR UNATTENDED.
- THE PLANT SCHEDULE IS FOR REFERENCE ONLY. CONTRACTOR TO VERIFY ALL QUANTITIES AND LOCATIONS SHOWN ON THE LANDSCAPE PLAN.
- ALL PLANTING MATERIAL SHALL COMPLY TO THE STANDARDS OF ANSI FOR NURSERY STOCK.
- GROUND COVERS/MULCHES**
- THE FINAL GRADE IN SOD AREAS ARE TO BE 1" BELOW ANY PAVED SURFACE OR EDGING IN ORDER TO RETAIN SOD.
- INSTALL PLASTIC COMPOSITE EDGING BETWEEN SOD/NATIVE GRASS & PLANTING BEDS.
- NO EDGING IS TO BE PLACED BETWEEN SOD & NATIVE GRASS AREAS. CONTRACTOR TO CUT SOD TO REFLECT THE PLANS. EDGING TO BE CLEAN, AVOID TEARS AND JAGGED CUTTING.
- THE FINAL GRADE IN ALL MULCHED AREAS ARE TO BE 3" BELOW ANY PAVED SURFACE OR EDGING IN ORDER TO RETAIN MULCH.
- ROCK MULCH AREAS ARE TO HAVE WEED BARRIER FABRIC INSTALLED UNDERNEATH. DEPTH OF ROCK MULCH SHALL BE 3" MINIMUM & OBTAINED FROM A LOCAL SUPPLIER, OWNER TO APPROVE PROVIDED SAMPLE BEFORE INSTALLATION.
- WEED BARRIER FABRIC IS TO BE POLYSPUN 300, DEWITT PRO 5.5 OR APPROVED EQUAL. SECURE FABRIC WITH COMMERCIAL GRADE FABRIC PINS, 6" LONG BY 1" WIDE. LAY FABRIC PARALLEL TO FINAL GRADE WITH 6" OVERLAPS BETWEEN SECTIONS.
- CEGAR MULCH AREAS DO NOT REQUIRE WEED BARRIER FABRIC. DEPTH OF CEDAR MULCH SHALL BE 3" MINIMUM & OBTAINED FROM A LOCAL SUPPLIER, OWNER TO APPROVE PROVIDED SAMPLE BEFORE INSTALLATION.
- SOD**
- SOD MUST BE PREMIUM QUALITY, ULTRA GREEN, EVENLY CUT, ESTABLISHED, HEALTHY, WEED AND DISEASE FREE, AND FROM AN APPROVED SOURCE. SOD MUST BE DELIVERED AND LAID IMMEDIATELY AFTER CUTTING. SOD MUST BE LAID WITHOUT GAPS BETWEEN PIECES ON A CAREFULLY PREPARED TOPSOIL LAYER. THE LAID SOD MUST BE IMMEDIATELY WATERED AFTER INSTALLATION. ANY BURNED AREAS WILL REQUIRE REPLACEMENT. ADJUST SPRINKLER SYSTEM TO ASSURE HEALTHY GREEN SURVIVAL OF THE SOD WITHOUT WATER WASTE
- REFER TO LANDSCAPE PLAN AND SCHEDULE FOR ALL TURF AREAS. TURF SHALL BE AN IMPROVED KENTUCKY BLUEGRASS VARIETY WITH AT LEAST THREE VARIETIES.
- CONTRACTOR TO SUBMIT PRODUCT INFORMATION TO OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- LAY TURF WITHIN 24 HOURS OF DELIVERY, PRIOR TO INSTALLATION THE CONTRACTOR SHALL HAVE THE IRRIGATION SYSTEM FULLY OPERATIONAL.
- TURF SHALL BE FREE OF NOXIOUS WEEDS AND IN HEALTHY CONDITION. ALL DEBRIS 1 INCH OR GREATER SHALL BE REMOVED.
- ON FINAL GRADES 3:1 OR GREATER, CONTRACTOR TO STABILIZE ROLLS WITH WOOD PEGS OR SOD STAPLES. TURF TO BE LAID PARALLEL TO SLOPE, STAGGER ROLLS WITH NO OVERLAPPING OR GAPS.
- AFTER TURF IS INSTALLED, ALL AREAS ARE TO BE IMMEDIATELY IRRIGATED.
- CONTRACTOR TO ERECT FENCING OR WARNING TAP AROUND TURF AREAS TO DETER FOOT TRAFFIC DURING THE ENTIRETY OF THE WARRANTY PERIOD OR UNTIL SOD IS COMPLETELY ESTABLISHED.
- SOIL PREPARATION & EROSION CONTROL**
- AREAS RECEIVING PLANT MATERIAL SHALL BE AMENDED WITH GOOD GRADE TOPSOIL.
- TOP DRESS ALL SHRUB BED AREAS AND OTHER AREAS LABELED ROCK MULCH WITH 4" DEPTH SIZE CRUSHED ROCK OVER DEWITT PRO-4 WEED BARRIER FABRIC.
- FABRIC SHALL BE INSTALLED AFTER PRE-EMERGENT HAS BEEN APPLIED.
- COMPOST SHALL BE SPREAD AT A RATE OF 3 CY / 1000 SQ FT IN PLANTING BEDS AND SOD AREAS, 2 CY / 1000 SQ FT IN SEEDED AREAS. TILL COMPOST INTO TOPSOIL AT A DEPTH OF 6 INCHES.
- CLEAR SOIL OF ALL ROCK, BRANCHES OR MISC. DEBRIS OVER 1 INCH IN SIZE.
- FERTILIZER**
- SOD - COMMERCIAL GRADE (NPK: 18-46-0) APPLICATION RATE: 10LBS / 1000 SQ FT
- SEED - COMMERCIAL GRADE (NPK: 18-46-0) APPLICATION RATE: 10LBS / 1000 SQ FT
- PLANTS - BIOSOLE FORTE (NPK: 7-2-1)
- SEED**
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE SEEDED UNLESS STATED OTHERWISE.
- APPLY 4" INCHES OF NATIVE TOPSOIL FROM THE LOCAL AREA. NO SUBSURFACE SOIL SHALL BE USED.
- IT IS IMPORTANT TO SUE SOIL THAT HAS MINIMAL AMOUNT OF WEED SEED.
- SEEDING SHALL TAKE PLACE IN LATE SUMMER OR FALL.
- ALL SEEDED AREAS SHALL BE RIPPED AND TILLED AT A DEPTH OF 4" WITH FINAL GRADE ESTABLISHED PRIOR TO SEEDING.
- CONTRACTOR TO USE A BRILLION TYPE SEEDER WITH ROWS NOT EXCEEDING 8 INCHES. IN AREAS WHERE EQUIPMENT IS NOT PRACTICAL, HAND BROADCAST AT TWICE THE RATE.
- NO SEEDING SHALL OCCUR DURING TIMES OF EXCESSIVE WIND OR FREEZING TEMPERATURES.
- STRAW MULCH OR HYDRO-MULCH NEEDS TO BE INSTALLED WITHIN 24 HOURS AFTER SEEDING. STRAW MULCH IS TO BE SPREAD AT A RATE OF 2 TONS/ACRE. HYDRO-MULCH IS TO BE SPREAD AT A RATE OF 1 TON/ACRE UNIFORMLY. NO OPEN OR BARE AREAS SHALL BE ALLOWED.
- SEED SHALL BE 95% PURE LIVE SEED.
- NATIVE SEED MIXTURE:** APPLY SEED AT A RATE 20LBS / ACRE BY HYDRO-SEEDING

GENERAL IRRIGATION NOTES:

- THE DRAWINGS ARE TO BE CONSIDERED DIAGRAMMATIC, AS IT MAY NOT BE POSSIBLE TO ACCURATELY DEPICT THE EXACT LOCATIONS FOR ALL MATERIAL, OR ANTICIPATE THOSE IN-FIELD VARIATIONS WHICH MAY REQUIRE ADJUSTMENT ON SITE. THE INSTALLER SHALL BE EXPECTED TO MAKE MINOR MODIFICATIONS WHICH MAY BE NECESSARY TO MAINTAIN COMPLETE AND ACCURATE COVERAGE, WITHOUT DEVIATION FROM THE DESIGN CONCEPTS OR INTENT. THE FINAL LOCATIONS OF ALL MAJOR EQUIPMENT, SUCH AS CONTROLLERS, VALVES, SUPPLY CONNECTIONS, MAINLINES, ETC. SHALL BE DETERMINED IN THE FIELD, USING THE DRAWINGS AS A GUIDE, AND APPROVED PRIOR TO INSTALLATION.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH PREVAILING CODES AND REGULATIONS. ALTHOUGH DUE DILIGENCE HAS BEEN EXERCISED IN THE PREPARATION OF THE DOCUMENTS TO AVOID CONFLICTS, THE RESPONSIBILITY FOR VERIFICATION AND CONFORMANCE TO THE PARTICULAR CODES FOR THIS LOCATION SHALL REMAIN SOLELY THAT OF THE INSTALLER. THE INSTALLER SHALL OBTAIN ANY NECESSARY LOCATES, PERMITS AND INSPECTIONS.
- ALL WORK SHALL BE CLOSELY COORDINATED WITH THAT OF OTHER TRADES, IN ORDER TO AVOID CONFLICTS. THE INSTALLATION SHALL BE COORDINATED WITH ALL NEW AND EXISTING IMPROVEMENTS, AND WITH THE ACTUAL BEDLINES, SOD LIMITS AND PLANT LOCATIONS.
- ALL MATERIAL AND LABOR REQUIRED TO PROVIDE A COMPLETE, OPERATIONAL, AND FULLY GUARANTEED SYSTEM SHALL BE CONSIDERED PART OF THE WORK, WHETHER OR NOT THEY ARE SPECIFICALLY INDICATED IN THE DOCUMENTS. LANDSCAPE CONTRACTOR SHALL CHANGE NOZZLES AS NECESSARY TO ASSURE PROPERTY COVERAGE, TAKING INTO CONSIDERATION ON SITE OBSTRUCTIONS, PREVAILING WINDS, ETC. ANY MATERIAL NECESSARY FOR COMPLETE COVERAGE SHALL BE ADDED BY THE LANDSCAPE CONTRACTOR AT NO EXTRA COST TO THE OWNER (I.E. HEADS, PIPE, FITTINGS).
- UNLESS SPECIFICALLY STATED IN THE DOCUMENTS, ALL MAINLINE PIPING AND WIRING PASSING UNDER PAVED SURFACES SHALL BE SLEEVED WITH SCH. 40 PVC SIZED TWO SIZES LARGER THAN THE CONTAINED PIPE, OR 1" OR LARGER AS NEEDED FOR CONTROL WIRING. LATERAL PIPING PASSING UNDER TRAFFIC-BEARING PAVEMENT OF ANY WIDTH, OR UNDER SIDEWALKS 4' IN WIDTH OR GREATER, SHALL BE SLEEVED IN A SIMILAR MANNER. IT SHALL BE ASSUMED THAT ALL SLEEVING IS TO BE PART OF THIS WORK, UNLESS SPECIFICALLY EXCEPTED IN THE DOCUMENTS. ANY NEEDED SLEEVES WHICH ARE UNUSABLE OR CANNOT BE FOUND SHALL BE REPORTED IMMEDIATELY TO THE PROJECT MANAGER. ROADWAY/DRIVEWAY SLEEVES ARE CALLED OUT ON THIS DRAWING. ALL SIDEWALK SLEEVES ARE NOT SHOWN, BUT ARE UNDERSTOOD.
- CONTROL WIRING SHALL BE ROUTED WITH THE MAINLINE WHEREVER POSSIBLE.
- ALL HEADS SHALL BE OF THE PROPER TYPE FOR THE PLANT MATERIAL WHERE LOCATED, AND SHALL BE INSTALLED IN THE PRESCRIBED MANNER, PLUMB, AND WITH THE PROPER HEIGHT WITH RESPECT TO GRADE AND PLANT HEIGHT. ALL HEADS AND OTHER EQUIPMENT SHALL BE INSTALLED WITH ADEQUATE AND UNIFORM CLEARANCES FORM ALL PAVING, CURBS, SIDEWALKS, WALLS, AND OTHER OBSTACLES, SO THAT DAMAGE TO EQUIPMENT DOES NOT OCCUR DURING LANDSCAPE MAINTENANCE OPERATIONS. ALL SPRINKLERS SHALL BE ADJUSTED TO OBTAIN MAXIMUM COVERAGE OF PLANT MATERIAL. WHILE MINIMIZING OVERSPRAY ONTO WINDOWS OR WALLS, OR OTHER IMPERVIOUS SURFACES, PARTICULARLY WOODWORK AND/OR TRIM. THE INSTALLER SHALL UTILIZE SUITABLE PRESSURE-COMPENSATING SCREENS OR ADJUSTABLE-ARC NOZZLES WHERE REQUIRED TO ACHIEVE MAXIMUM COVERAGE CONTROL.
- EACH CONTROLLER SHALL REQUIRE A STANDARD 120-VAC POWER FEED, WHICH SHALL BE COORDINATED AND HOOKED UP BY THE INSTALLER OR HIS DESIGNATED ELECTRICIAN. A 3-WIRE POWER INPUT SURGE ARRESTOR SHALL BE PROVIDED ON THE POWER FEED, AND A DEDICATED GROUND ROD OR RODS SHALL BE INSTALLED, WHICH PROVIDE A RESISTANCE OF NO GREATER THAN 10 OHMS TO EARTH.
- LATERAL LINES SHALL BE NO SMALLER THAN 1". PIPES SHALL CARRY NO MORE THAN THE FOLLOWING.
1" PIPE MAX. 12GPM
1 1/2" PIPE MAX. 22GPM
1 3/4" PIPE MAX. 30GPM
2" PIPE MAX. 50GPM
2 1/2" PIPE MAX. 75GPM
3" PIPE MAX. 110GPM
4" PIPE MAX. 190GPM
- INSTALL MANUAL DRAINS AT ALL LOW POINTS ON THE MAINLINE PIPE WITH ADEQUATELY SIZED SUMPS.
- THE INSTALLER SHALL BE EXPECTED TO BE FAMILIAR WITH AND FOLLOW THE INSTRUCTIONS CONTAINED HEREIN, ON THE DRAWINGS, IN THE CONSTRUCTION DETAILS, AND IN THE WRITTEN SPECIFICATIONS. SHOULD A CONFLICT BE DISCOVERED WITH THE DOCUMENTS, IMMEDIATELY NOTIFY THE PROJECT MANAGER AND REQUEST CLARIFICATION.
- PROVIDE A REPRODUCIBLE IRRIGATION PLAN TO ARCHITECT AND OWNER SHOWING ALL PIPE, HEADS, VALVES, DRAINS, CLOCKS, ETC. AFTER CONSTRUCTION. PROVIDE INSTRUCTIONS TO MAINTENANCE PERSONNEL FOR WINTERIZATION. PROVIDE A COLOR CODED PLAN AT THE CONTROLLER LOCATION.

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
	ACE AMU	36	Acer ginnala	Amur Maple (Multi-trunk)	B&B	2"	Cal		PIC NID	18	Picea abies 'Nidiformis'	Nest Spruce	5 gal
	ACE BA2	10	Acer ginnala 'Flame'	Flame Amur Maple	B&B	2"	Cal		PIN SLO	75	Pinus mugo 'Slowmound'	Mugo Pine	5 gal
	AG	8	Acer tataricum 'GarAnn'	Hot Wings® Tatarian Maple	B&B	2"	Cal		PS	12	Pinus strobus 'Blue Shag' 4'h x 4'w	Blue Shag White Pine	5 gal
	AA	6	Amelanchier alnifolia 'Alttaglow'	Alttaglow Serviceberry	B & B	2"	Cal	PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
	AME GRA	3	Amelanchier x grandiflora 'Autumn Brilliance'	'Autumn Brilliance' Serviceberry	5 gal	2"	Cal		AC	18	Achillea clavennae	Silvery Yarrow	2 gal
	BET FAR	21	Betula platyphylla 'Fargo' TM	Dakota Pinnacle Asian White Birch	B&B	2"	Cal		ARC UVA	3	Arctostaphylos uva-ursi	Kinnikinnick	1 gal
	CAT SPE	11	Catalpa speciosa	Northern Catalpa	B&B	2"	Cal		AL	14	Artemisia ludoviciana	White Sagebrush	2 gal
	CEL OCC	3	Celtis occidentalis	Common Hackberry	B&B	2"	Cal		CER TOM	35	Cerastium tomentosum	Snow In Summer	1 gal
	CL2	24	Cercocarpus ledifolius	Cur-leaf Mountain Mahogany	B&B	2"	Cal		DA	124	Dianthus detoides 'Albus'	White Maiden Pink	2 gal
	CC	15	Cotinus obovatus 'Northstar' 18' T x15'W	Cotton Candy™ American Smoke Tree	B&B	2"	Cal		ECH PUR	66	Echinacea purpurea	Purple Coneflower	1 gal
	FH	8	Forestiera neomexicana 'Happy Boy'	Happy Boy New Mexico Privet	B&B	2"	Cal		LAV HI2	87	Lavandula angustifolia 'Hidcote Blue'	Hidcote Blue Lavender	1 gal
	MAL SPR	11	Malus x 'Spring Snow'	Spring Snow Crab Apple	B&B	2"	Cal		MON MAR	96	Monarda didyma 'Marshall's Delight'	Marshall's Delight Bee Balm	1 gal
	PRU CAN	17	Prunus virginiana 'Canada Red'	Canada Red Chokecherry	B&B	2"	Cal		PS EB	432	Phlox subulata 'Emerald Blue'	Emerald Blue Moss Phlox	1 gal
	TC	2	Tilia cordata 'Corzam'	Corinthian® Littleleaf Linden	B & B	2"	Cal		RUD GO2	30	Rudbeckia fulgida sultivanti 'Goldsturm'	Black-eyed Susan	1 gal
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
	ABI COR	2	Abies concolor	White Fir	B&B	6'-7'	H		CAL KAR	12	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal
	JUN B15	40	Juniperus Scopulorum 'Blue Arrow'	Blue Arrow Juniper	B&B	6'			ERA SPE	370	Eragrostis spectabilis	Purple Love Grass	1 gal
	PIC ENG	2	Picea englemannii	Englemann Spruce	B&B	6'-7'	H		PAN SHA	15	Panicum virgatum 'Shenendoah'	Burgundy Switch Grass	1 gal
	PIC BAB	15	Picea pungens glauca 'Baby Blue Eyes' TM	Baby Blue Eyes Spruce	B & B	8-10'		GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
	PIC BAK	8	Picea pungens glauca 'Bakeri'	Bakeri Blue Spruce	B&B	10-12'			NAT N16	183,139 sf	Native Grass & Wildflower Mix	Native Grass & Wildflower Mix	Hydroseed
	PSE BLU	1	Pseudotsuga menziesii 'Blue Bird'	Blue Bird Douglas Fir	B & B	8'			POA PRA	15,657 sf	Poa pratensis	Kentucky Bluegrass	sod
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	MULCH	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
	AME STA	16	Amelanchier alnifolia 'Standing Ovation' TM	Serviceberry	5 gal				MUL M10	25,913 sf	4" Wood Mulch	4" Wood Mulch	Mulch
	AW	42	Artemisia absinthium	Wormwood	2 gal				GRA GR7	27,047 sf	Decorative Landscape Rock		Mulch
	CAR DAR	67	Caryopteris x clandonensis 'Dark Knight'	Blue Mist Shrub	1 gal								
	CM	10	Chamaebatiaria millefolium	Fernbush	5 gal								
	CR	13	Chrysothamnus nauseosus	Rubber Rabbitbrush	5 gal								
	CA VAR	31	Cornus alba 'Variegata'	Dwarf Variegated Dogwood	5 gal								
	CS	7	Cotinus x 'Dusky Maiden' 6-8' x 6-8'	Dusky Maiden Smoke Tree	5 gal								
	JB	54	Juniperus sabinna 'Blue Forest'	Blue Forest Juniper	5 gal								
	PA	3	Pennisetum alopecuroides 'Desert Plains' 42"h x 3'w	Desert Plains Fountain Grass	1 gal								
	PHY DI2	36	Physocarpus opulifolius 'Diablo'	Diablo Ninebark	5 gal								
	PP	92	Prunus besseyi 'P0115'	Pawnee Buttes® Sand Cherry	2 gal								
	PT	19	Purshia tridentata	Antelope Bitterbrush	2 gal								
	SOR SOR	143	Sorbaria sorbifolia	Ash Leaf Spirea	5 gal								
	SPI WAT	210	Spiraea japonica 'Anthony Waterer'	Japanese Spirea	5 gal								
	SYM ALB	27	Symphoricarpos albus	Common White Snowberry	5 gal								
	SYR MEY	94	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	5 gal								

NATIVE SEED MIX		
COMMON NAME	SCIENTIFIC NAME	(LBS/ACRE)
WHEATGRASS, SIBERIAN	AGROPYRON FRAGILE	2 LBS
WHEATGRASS, CRESTED	AGROPYRON CRISTATUM	2 LBS
NEEDLEGRASS, COLUMBIA	ACHNATHERUM NELSONII	2 LBS
FESCUE, SHEEP	BOUTELOUA CURTIPENDULA	0.5 LBS
ALFALFA, YELLOW	MEDICAGO SATIVA FALCATA	1 LBS
KOCHIA, FORAGE-SNOWSTORM	KOCHIA PROSTRATA GRISEA	1 LBS
FLAX, BLUE	LINUM PERENNE	0.5 LBS
BEEPLANT, ROCKY MOUNTAIN	CLEOME SERRULATA	1 LBS
GLOBEMALLOW, SCARLET	SPHAERACEA COCCINEA	1 LBS
PENSTEMON, FIRECRACKER	PENSTEMON EATONII	0.25 LBS
YARROW, WESTERN	ACHILLEA MILLEFOLIUM	0.25 LBS
SUNFLOWER, ANNUAL	HELIANTHUS ANNUUS	1 LBS
BITTERBRUSH, ANTELOPE	PURSHIA TRIDENTATA	1 LBS
WINTERFAT	CERATOIDES LANATA	2 LBS
SALTBRUSH, FOURWING	ATRIPLEX CANESCENS	2 LBS
SALTBRUSH, SHADSCALE	ATRIPLEX CONFERTIFOLIA	2 LBS
SAGEBRUSH, WYOMING BIG	ARTEMISIA TRIDENTATA WYOMINGENSIS	0.5 LBS

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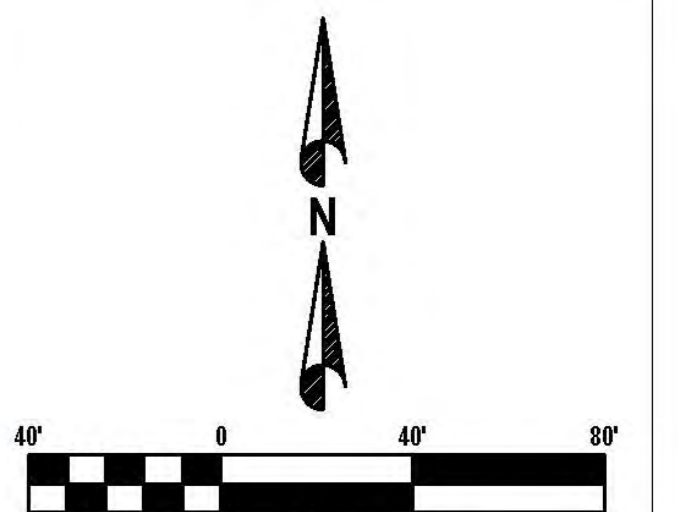
BRYAN M. NICHOLAS P.L.A.
SERIAL NO. 12902936-5301
DATE: 09 NOV 2022

AMEYALLI RESORT

LANDSCAPE NOTES & PLANT SCHEDULE

380 E Main St, Suite 204
Midway, Ut 84049 ph. (801) 723-2000

DESIGN BY:BMN DATE:09 NOV 2022 SHEET
DRAWN BY:BMN REV: L00



Scale 1" = 40'
Scale 1" = 80' for 11x17

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AMEYALLI RESORT
PHASE 1 OVERALL
LANDSCAPE PLAN

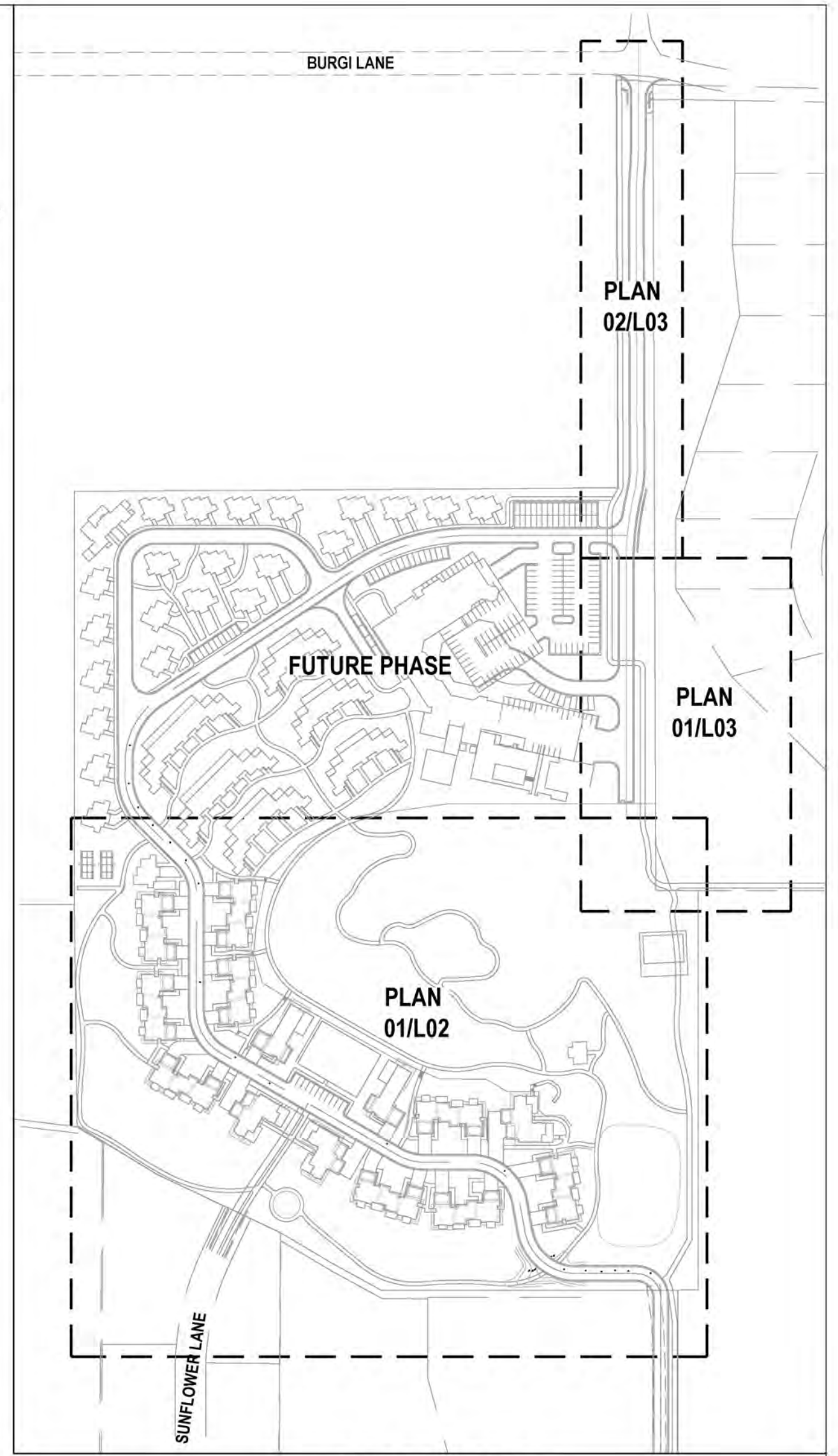


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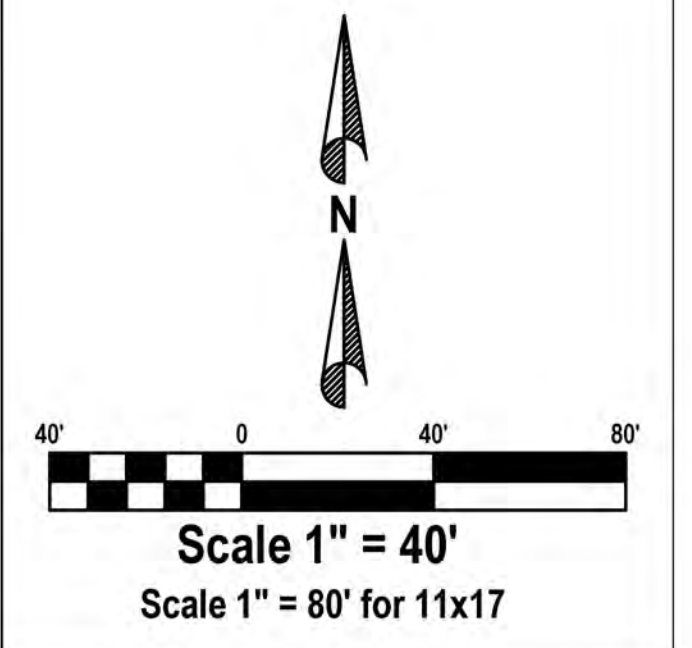
PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	EVERGREEN TREES	CODE	BOTANICAL NAME	COMMON NAME
	ACE AMU	Acer ginnala	Amur Maple (Multi-trunk)		ABI COR	Abies concolor	White Fir
	ACE BA2	Acer ginnala 'Flame'	Flame Amur Maple		JUN JS	Juniperus scopulorum	Rocky Mountain Juniper
	AG	Acer tataricum 'GarAnn'	Hot Wings® Tatarian Maple		JUN B15	Juniperus Scopulorum 'Blue Arrow'	Blue Arrow Juniper
	AA	Amelanchier alnifolia 'Altaglow'	Altaglow Serviceberry		PIC ENG	Picea englemannii	Englemann Spruce
	AME GRA	Amelanchier x grandiflora 'Autumn Brilliance' Multi Stem	'Autumn Brilliance' Serviceberry		PIC BAB	Picea pungens glauca 'Baby Blue Eyes'™	Baby Blue Eyes Spruce
	BET FAR	Betula platyphylla 'Fargo'™	Dakota Pinnacle Asian White Birch		PIC BAK	Picea pungens glauca 'Bakeri'	Bakeri Blue Spruce
	CAT SPE	Catalpa speciosa	Northern Catalpa		PSE BLU	Pseudotsuga menziesii 'Blue Bird'	Blue Bird Douglas Fir
	CEL OCC	Celtis occidentalis	Common Hackberry				
	CL2	Cercocarpus ledifolius	Cur-leaf Mountain Mahogany				
	CC	Cotinus obovatus 'Northstar' 18' T x15'W	Cotton Candy™ American Smoke Tree				
	FH	Forestiera neomexicana 'Happy Boy'	Happy Boy New Mexico Privet				
	MAL SPR	Malus x 'Spring Snow'	Spring Snow Crab Apple				
	PRU CAN	Prunus virginiana 'Canada Red'	Canada Red Chokecherry				
	TC	Tilia cordata 'Corzam'	Corinthian® Littleleaf Linden				



SHEET KEY MAP

NTS



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 BRYAN M. NICHOLAS, P.L.A.
 SERIAL NO. 12902936-5301
 DATE: 09 NOV 2022

AMEYALLI RESORT
PHASE 1
TREE PLANTING PLAN



380 E Main St, Suite 204
 Midway, Ut 84049 ph. (801) 723-2000

DESIGN BY: BMN DATE: 09 NOV 2022 SHEET
 DRAWN BY: BMN REV: L02

01 TREE PLANTING PLAN

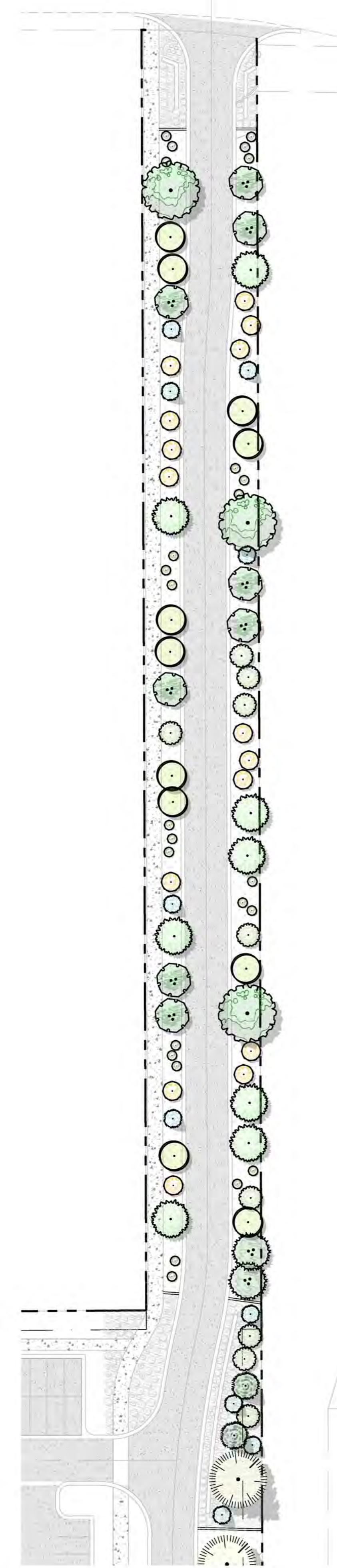
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PLANT SCHEDULE

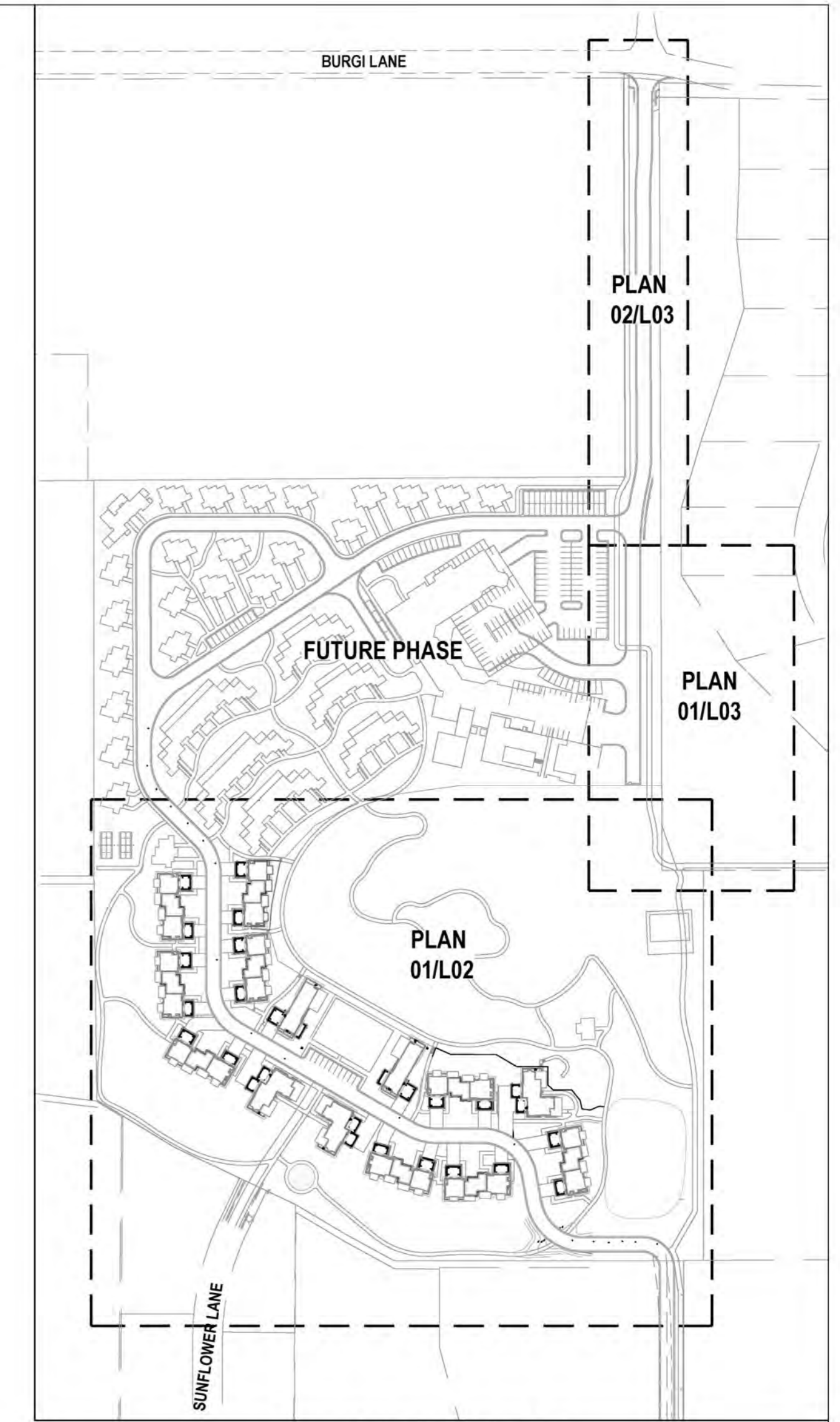
TREES	CODE	BOTANICAL NAME	COMMON NAME
	ACE AMU	Acer ginnala	Amur Maple (Multi-trunk)
	ACE BA2	Acer ginnala 'Flame'	Flame Amur Maple
	AG	Acer tataricum 'GarAnn'	Hot Wings® Tatarian Maple
	AA	Amelanchier alnifolia 'Alt glow'	Alt glow Serviceberry
	AME GRA	Amelanchier x grandiflora 'Autumn Brilliance' Multi Stam	'Autumn Brilliance' Serviceberry
	BET FAR	Betula platyphylla 'Fargo'™	Dakota Pinnacle Asian White Birch
	CAT SPE	Catalpa speciosa	Northern Catalpa
	CEL OCC	Celtis occidentalis	Common Hackberry
	CL2	Cercocarpus ledifolius	Curl-leaf Mountain Mahogany
	CC	Cotinus obovatus 'Northstar' 18' T x15'W	Cotton Candy™ American Smoke Tree
	FH	Forestiera neomexicana 'Happy Boy'	Happy Boy New Mexico Privet
	MAL SPR	Malus x 'Spring Snow'	Spring Snow Crab Apple
	PRU CAN	Prunus virginiana 'Canada Red'	Canada Red Chokecherry
	TC	Tilia cordata 'Corzam'	Corinthian® Littleleaf Linden
EVERGREEN TREES	CODE	BOTANICAL NAME	COMMON NAME
	ABI COR	Abies concolor	White Fir
	JS	Juniperus scopulorum	Rocky Mountain Juniper
	JUN B15	Juniperus Scopulorum 'Blue Arrow'	Blue Arrow Juniper
	PIC ENG	Picea englemannii	Englemann Spruce
	PIC BAB	Picea pungens glauca 'Baby Blue Eyes'™	Baby Blue Eyes Spruce
	PIC BAK	Picea pungens glauca 'Bakeri'	Bakeri Blue Spruce
	PSE BLU	Pseudotsuga menziesii 'Blue Bird'	Blue Bird Douglas Fir



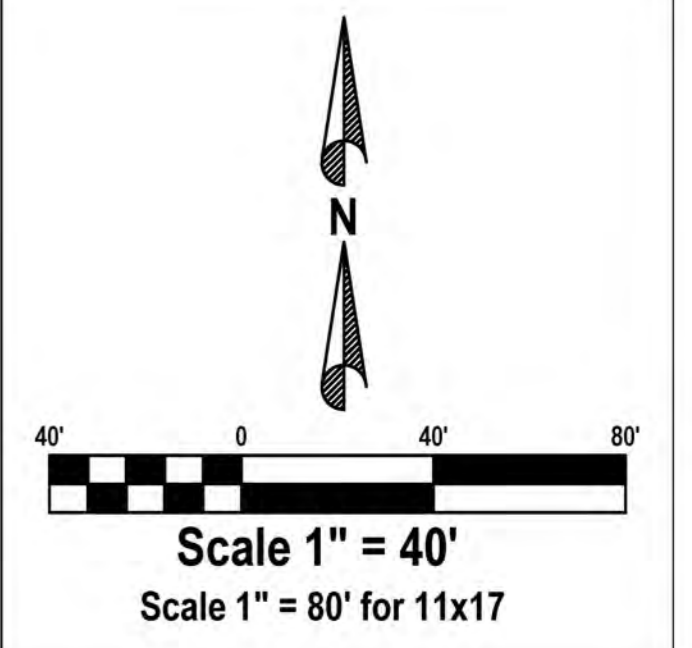
01 TREE PLANTING PLAN
SCALE: 1"=40'-0"



02 TREE PLANTING PLAN
SCALE: 1"=40'-0"



SHEET KEY MAP
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BRYAN M. NICHOLAS P.L.A.
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DATE: 09 NOV 2022

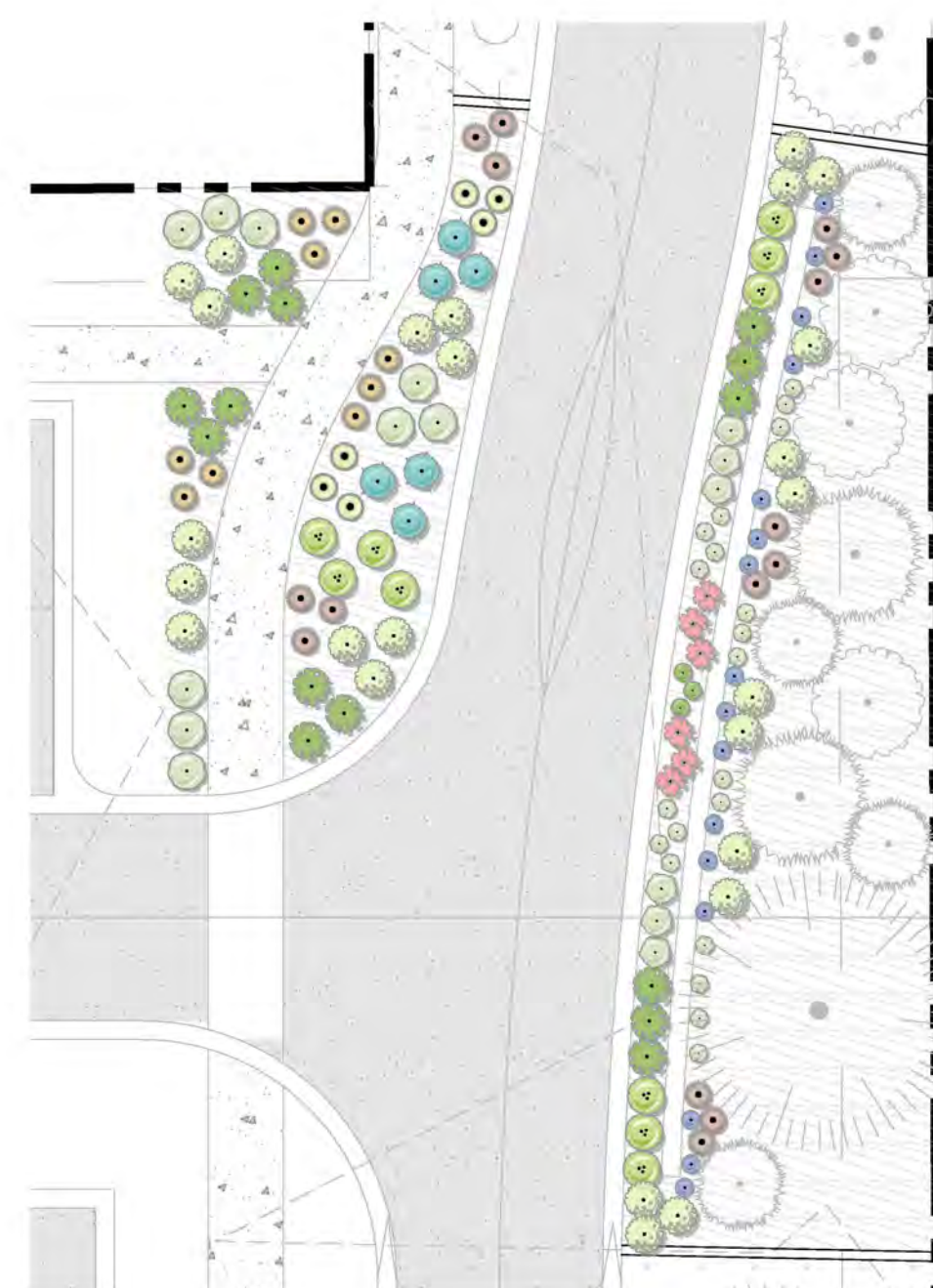
AMEYALLI RESORT
PHASE 1
TREE PLANTING PLANS



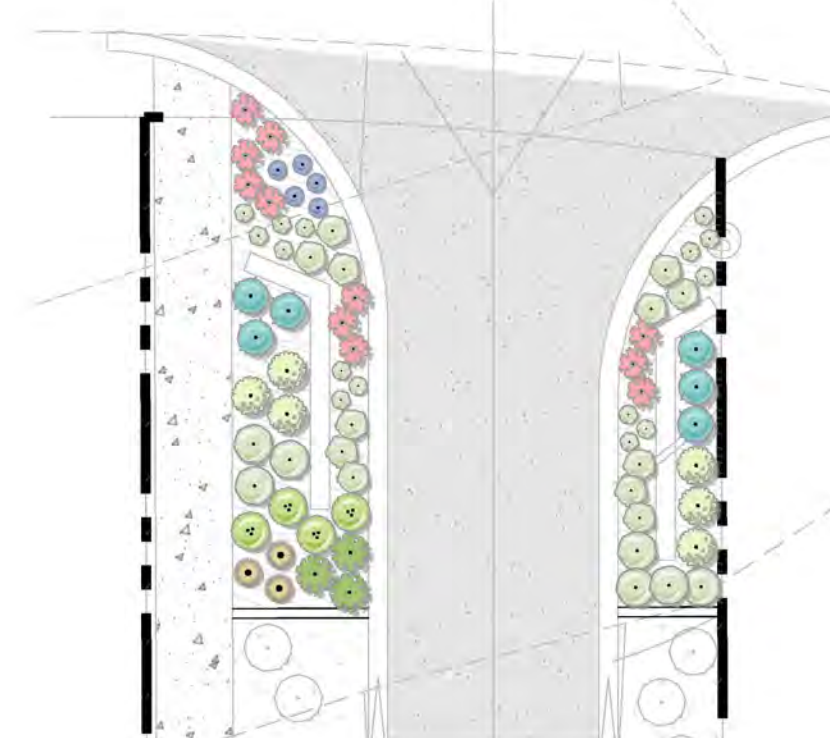
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DESIGN BY:BMN DATE:09 NOV 2022 SHEET
DRAWN BY:BMN REV: L03



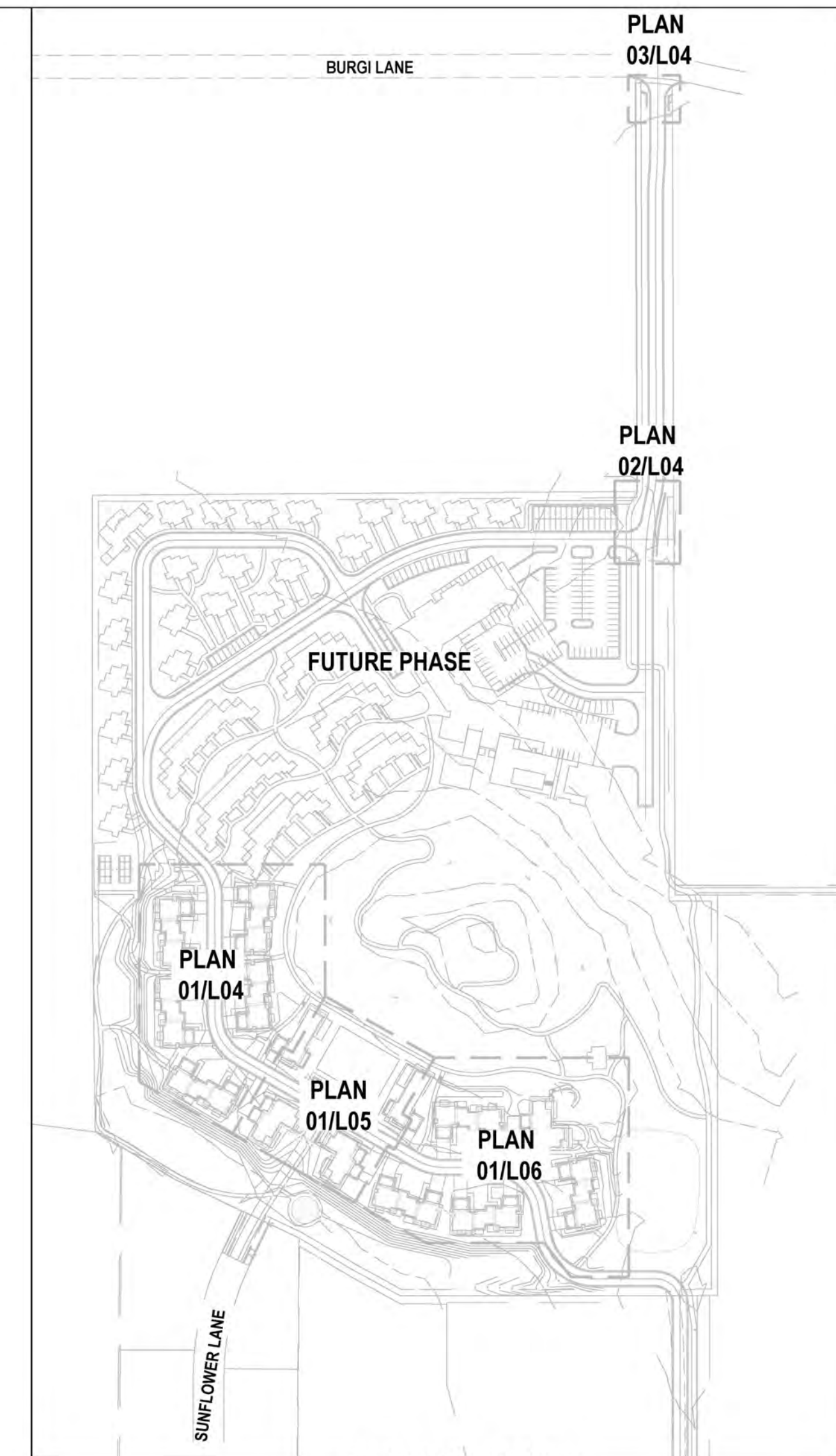
01 SHRUB PLANTING PLAN
SCALE: 1"=20'-0"



02 SHRUB PLANTING PLAN
SCALE: 1"=20'-0"



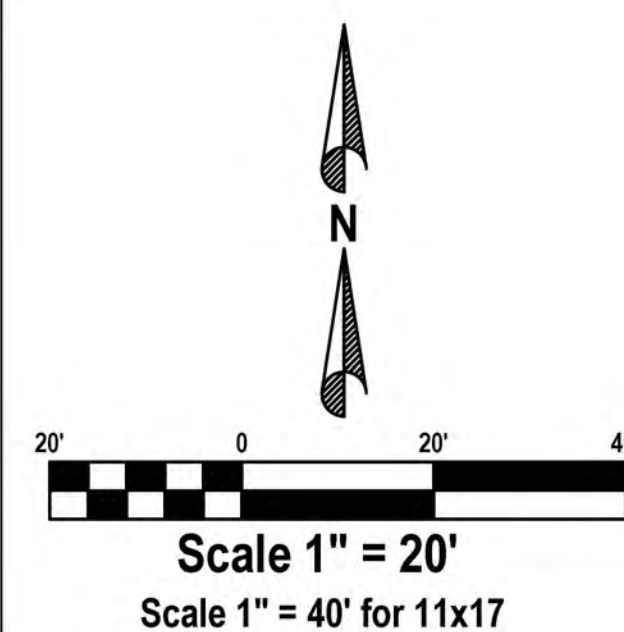
03 SHRUB PLANTING PLAN
SCALE: 1"=20'-0"



SHEET KEY MAP
NTS

PLANT SCHEDULE

SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME
	AME STA	Amelanchier alnifolia 'Standing Ovation'™	Serviceberry		AC	Achillea clavennae	Silvery Yarrow
	AW	Artemisia absinthium	Wormwood		ARC UVA	Arctostaphylos uva-ursi	Kinnikinnick
	CAR DAR	Caryopteris x clandonensis 'Dark Knight'	Blue Mist Shrub		AL	Artemisia ludoviciana	White Sagebrush
	CM	Chamaebatiaria millefolium	Fernbush		CER TOM	Cerastium tomentosum	Snow In Summer
	CR	Chrysothamnus nauseosus	Rubber Rabbitbrush		DA	Dianthus deltoides 'Albus'	White Maiden Pink
	CA VAR	Cornus alba 'Variegata'	Dwarf Variegated Dogwood		ECH PUR	Echinacea purpurea	Purple Coneflower
	CS	Cotinus x 'Dusky Maiden' 6-8' x 6-8'	Dusky Maiden Smoke Tree		LAV HIZ	Lavandula angustifolia 'Hidcote Blue'	Hidcote Blue Lavender
	JB	Juniperus sabina 'Blue Forest'	Blue Forest Juniper		MON MAR	Monarda didyma 'Marshall's Delight'	Marshall's Delight Bee Balm
	PA	Pennisetum alopecuroides 'Desert Plains' 42" h x 3" w	Desert Plains Fountain Grass		PS EB	Phlox subulata 'Emerald Blue'	Emerald Blue Moss Phlox
	PHY D2	Physocarpus opulifolius 'Diablo'	Diablo Ninebark		RUD GO2	Rudbeckia fulgida sullivanii 'Goldsturm'	Black-eyed Susan
	PP	Prunus besseyi 'P011S'	Pawnee Buttes® Sand Cherry		SB2	Stachys byzantina	Lamb's Ear
	PT	Purshia tridentata	Antelope Bitterbrush		TPA	Thymus praecox arcticus 'Coccineus'	Red Creeping Thyme
	SOR SOR	Sorbaria sorbifolia	Ash Leaf Spirea		CAL KAR	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass
	SPI WAT	Spiraea japonica 'Anthony Waterer'	Japanese Spirea		ERA SPE	Eragrostis spectabilis	Purple Love Grass
	SYM ALB	Symphoricarpos albus	Common White Snowberry		PAN SHA	Panicum virgatum 'Shenandoah'	Burgundy Switch Grass
	SYR MEY	Syringa meyeri 'Palibin'	Dwarf Korean Lilac				
EVERGREEN SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	GRASSES	CODE	BOTANICAL NAME	COMMON NAME
	PIC NID	Picea abies 'Nidiformis'	Nest Spruce				
	PIN SLO	Pinus mugo 'Slowmound'	Mugo Pine				
	PS	Pinus strobus 'Blue Shag' 4' h x 4' w	Blue Shag White Pine				



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BRYAN M. NICHOLAS, P.L.A.
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DATE: 09 NOV 2022

AMEYALLI RESORT
PHASE 1
SHRUB PLANTING PLAN



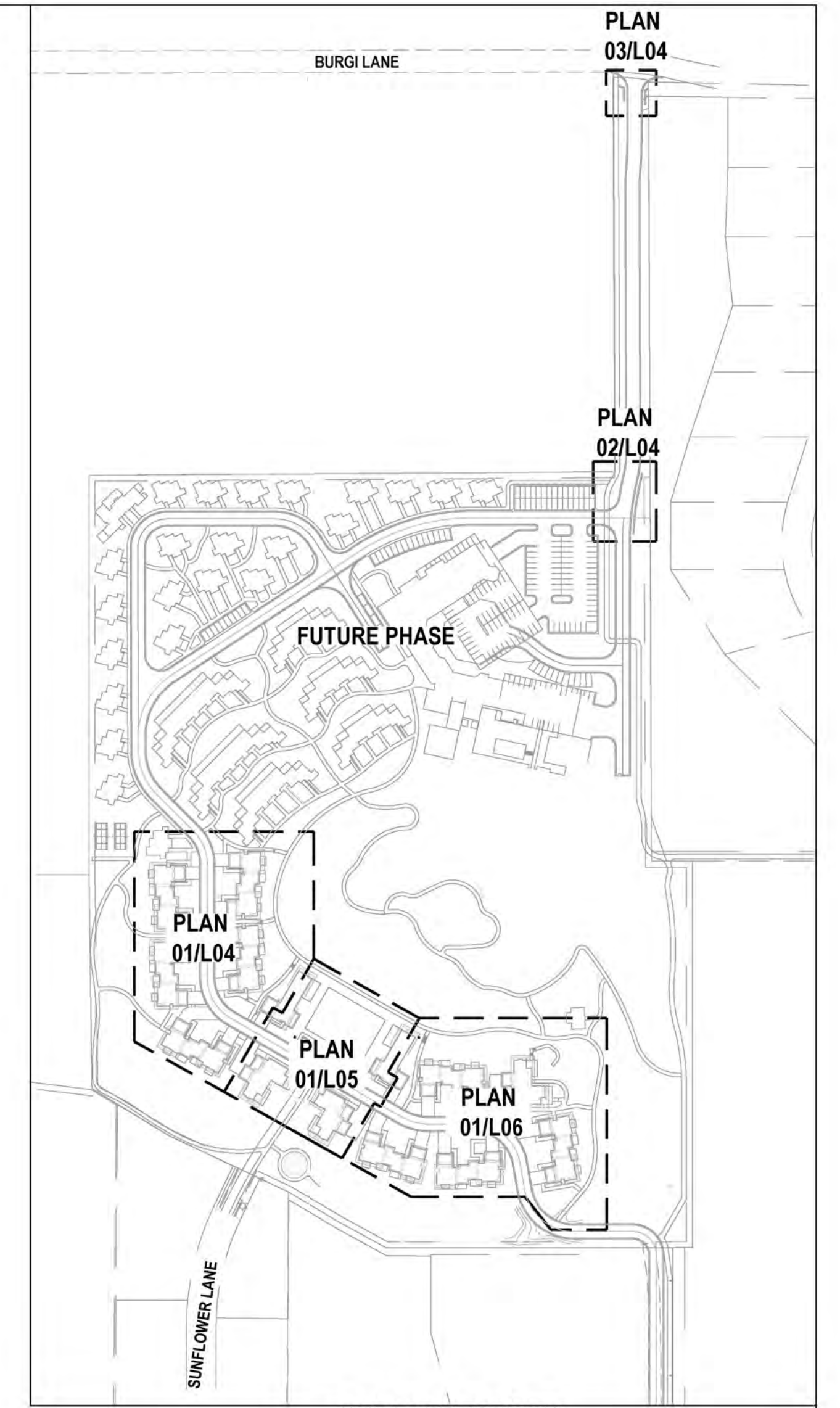
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PLANT SCHEDULE

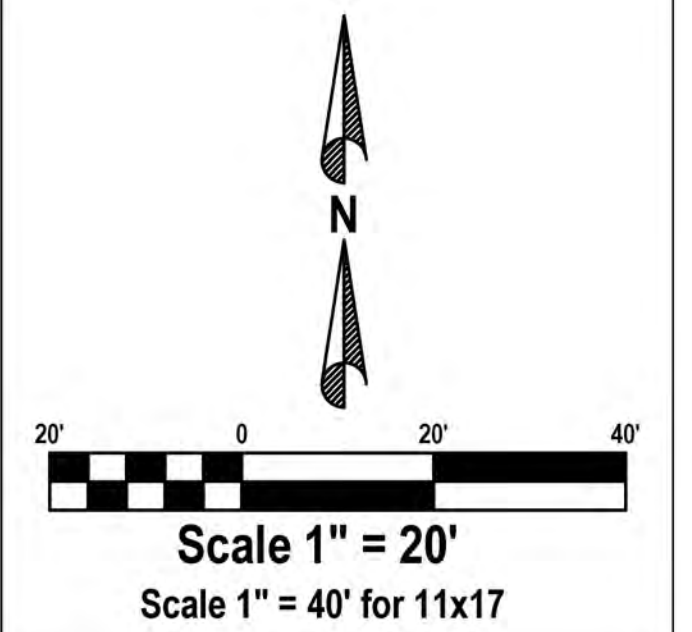
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME
	AME STA	Amelanchier alnifolia 'Standing Ovation'™	Serviceberry
	AW	Artemisia absinthium	Wormwood
	CAR DAR	Caryopteris x clandonensis 'Dark Knight'	Blue Mist Shrub
	CM	Chamaebatiaria millefolium	Fernbush
	CR	Chrysothamnus nauseosus	Rubber Rabbitbrush
	CA VAR	Cornus alba 'Variegata'	Dwarf Variegated Dogwood
	CS	Cotinus x 'Dusky Maiden' 6-8' x 6-8'	Dusky Maiden Smoke Tree
	JB	Juniperus sabina 'Blue Forest'	Blue Forest Juniper
	PA	Pennisetum alopecuroides 'Desert Plains' 42" h x 3" w	Desert Plains Fountain Grass
	PHY DI2	Physocarpus opulifolius 'Diablo'	Diablo Ninebark
	PP	Prunus besseyi 'P011S'	Pawnee Buttes® Sand Cherry
	PT	Purshia tridentata	Antelope Bitterbrush
	SOR SOR	Sorbaria sorbifolia	Ash Leaf Spirea
	SPI WAT	Spiraea japonica 'Anthony Waterer'	Japanese Spirea
	SYM ALB	Symphoricarpos albus	Common White Snowberry
	SYR MEY	Syringa meyeri 'Palibin'	Dwarf Korean Lilac
EVERGREEN SHRUBS	CODE	BOTANICAL NAME	COMMON NAME
	PIC NID	Picea abies 'Nidiformis'	Nest Spruce
	PIN SLO	Pinus mugo 'Stowmound'	Mugo Pine
	PS	Pinus strobus 'Blue Shag' 4' h x 4' w	Blue Shag White Pine
PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME
	AC	Achillea clavennae	Silvery Yarrow
	ARC UVA	Arctostaphylos uva-ursi	Kinnikinnick
	AL	Artemisia ludoviciana	White Sagebrush
	CER TOM	Cerastium tomentosum	Snow In Summer
	DA	Dianthus deltoides 'Albus'	White Maiden Pink
	ECH PUR	Echinacea purpurea	Purple Coneflower
	LAV HI2	Lavandula angustifolia 'Hidcote Blue'	Hidcote Blue Lavender
	MON MAR	Monarda didyma 'Marshall's Delight'	Marshall's Delight Bee Balm
	PS EB	Phlox subulata 'Emerald Blue'	Emerald Blue Moss Phlox
	RUD GO2	Rudbeckia fulgida sullivantii 'Goldsturm'	Black-eyed Susan
	SB2	Stachys byzantina	Lamb's Ear
	TPA	Thymus praecox arcticus 'Coccineus'	Red Creeping Thyme
GRASSES	CODE	BOTANICAL NAME	COMMON NAME
	CAL KAR	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass
	ERA SPE	Eragrostis spectabilis	Purple Love Grass
	PAN SHA	Panicum virgatum 'Shenendoah'	Burgundy Switch Grass



01 SHRUB PLANTING PLAN
SCALE: 1"=20'-0"



SHEET KEY MAP
NTS



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AMEYALLI RESORT

**PHASE 1
SHRUB PLANTING PLAN**



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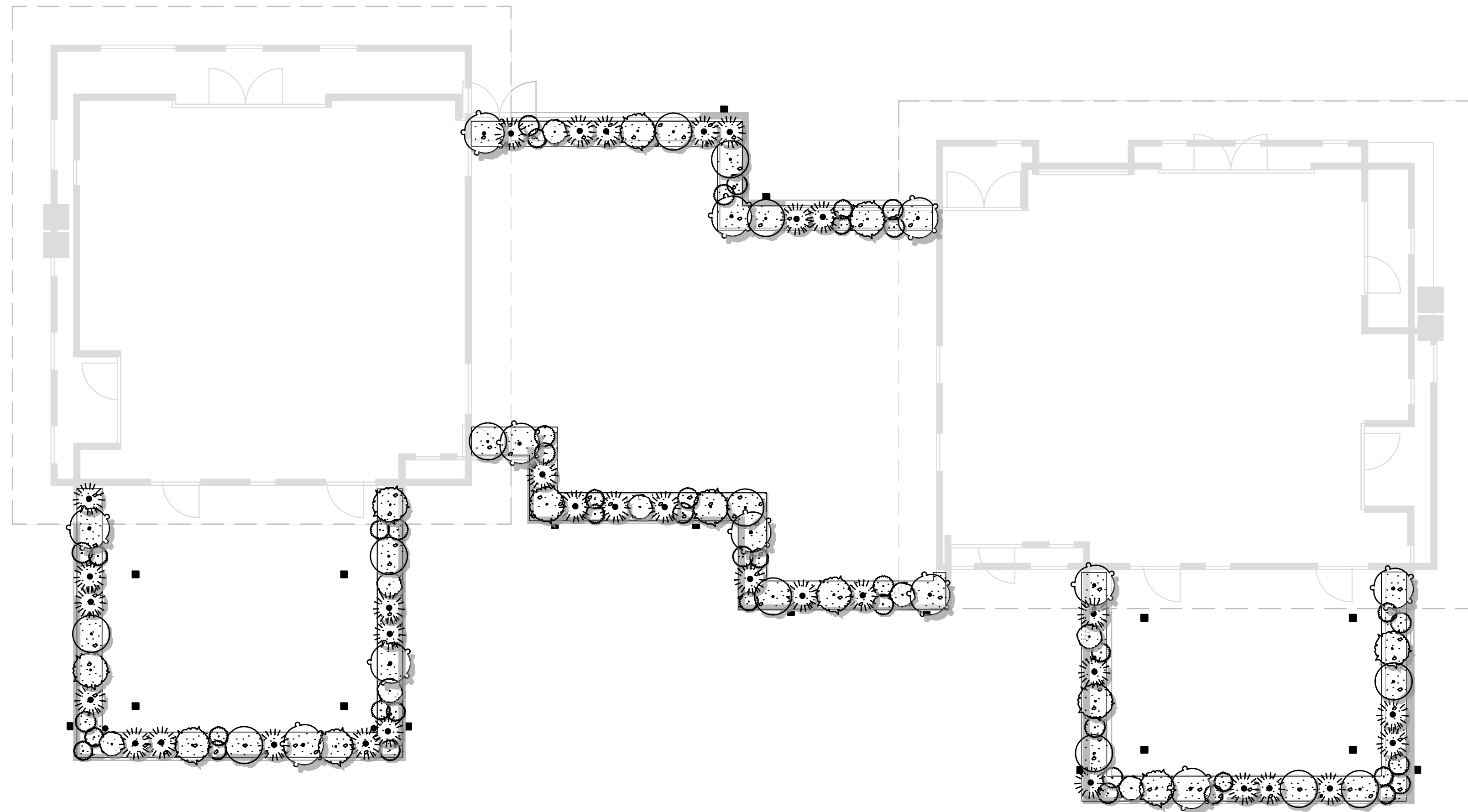
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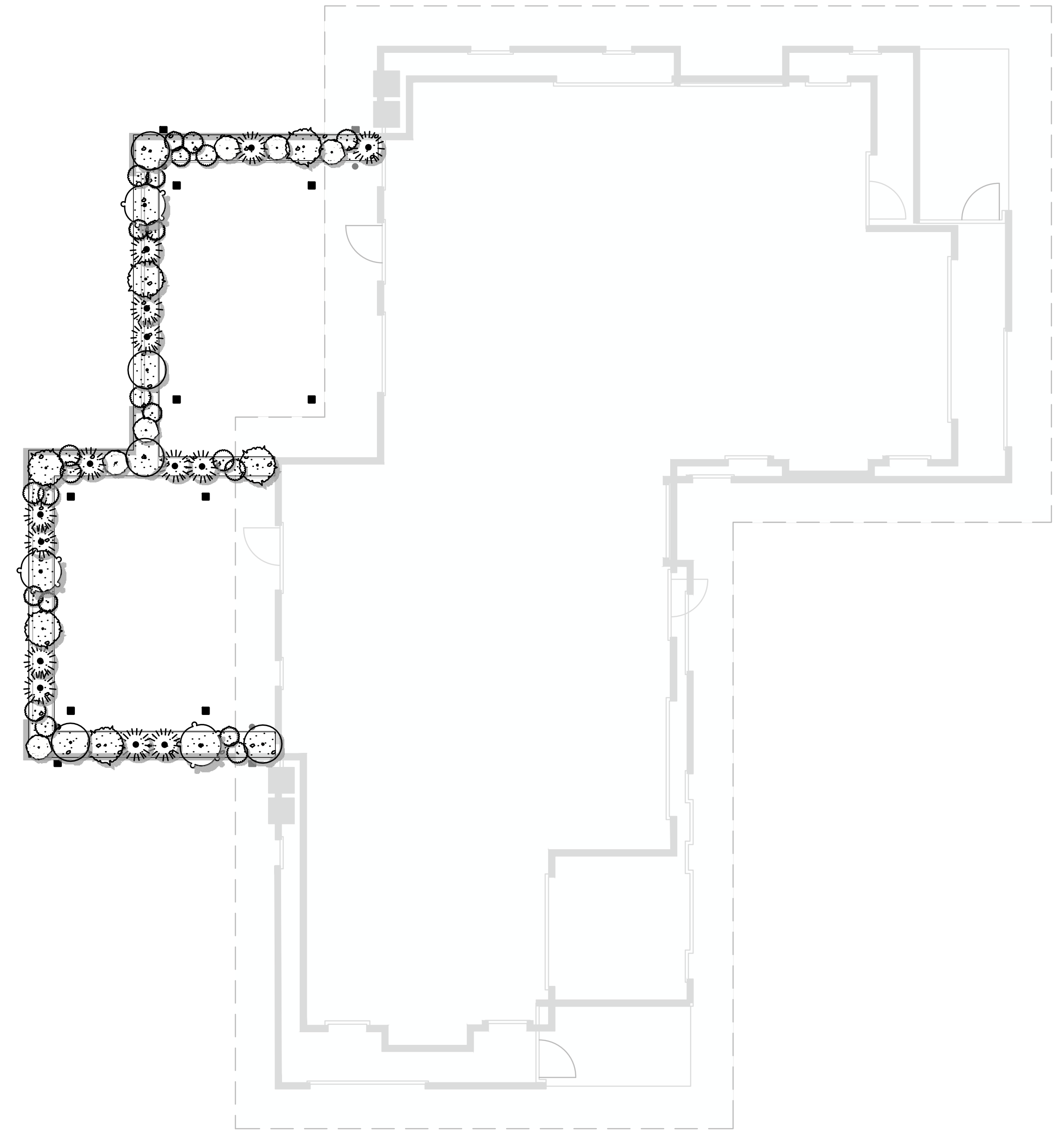
01 SHRUB PLANTING PLAN
SCALE: 1"=20'-0"

PLANT SCHEDULE

SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	GRASSES	CODE	BOTANICAL NAME	COMMON NAME
	AME STA	Amelanchier alnifolia 'Standing Ovation'™	Serviceberry		PP	Prunus besseyi 'P011S'	Pawnee Buttes® Sand Cherry		PS EB	Phlox subulata 'Emerald Blue'	Emerald Blue Moss Phlox
	AW	Artemisia absinthium	Wormwood		PT	Purshia tridentata	Antelope Bitterbrush		RUD GO2	Rudbeckia fulgida sultivantii 'Goldsturm'	Black-eyed Susan
	CAR DAR	Caryopteris x clandonensis 'Dark Knight'	Blue Mist Shrub		SOR SOR	Sorbaria sorbifolia	Ash Leaf Spirea		SB2	Stachys byzantina	Lamb's Ear
	CM	Chamaebatiaria millefolium	Fernbush		SPI WAT	Spiraea japonica 'Anthony Waterer'	Japanese Spirea		TPA	Thymus praecox arcticus 'Coccineus'	Red Creeping Thyme
	CR	Chrysothamnus nauseosus	Rubber Rabbitbrush		SYM ALB	Symphoricarpos albus	Common White Snowberry		CODE	BOTANICAL NAME	COMMON NAME
	CA VAR	Cornus alba 'Variegata'	Dwarf Variegated Dogwood		SYR MEY	Syringa meyeri 'Palibin'	Dwarf Korean Lilac		CAL KAR	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass
	CS	Cotinus x 'Dusky Maiden' 6-8' x 6-8'	Dusky Maiden Smoke Tree	EVERGREEN SHRUBS	CODE	BOTANICAL NAME	COMMON NAME		ERA SPE	Eragrostis spectabilis	Purple Love Grass
	JB	Juniperus sabina 'Blue Forest'	Blue Forest Juniper		PIC NID	Picea abies 'Nidiformis'	Nest Spruce		PAN SHA	Panicum virgatum 'Shenendoah'	Burgundy Switch Grass
	PA	Pennisetum alopecuroides 'Desert Plains' 42" h x 3' w	Desert Plains Fountain Grass		PIN SLO	Pinus mugo 'Slowmound'	Mugo Pine				
	PHY DI2	Physocarpus opulifolius 'Diablo'	Diablo Ninebark		PS	Pinus strobus 'Blue Shag' 4' h x 4' w	Blue Shag White Pine				











01 DUPLEX 'A'
NTS



02 DUPLEX 'B'
NTS

PLANT SCHEDULE

ORNAMENTAL GRASSES	QTY	COMMON / BOTANICAL NAME	CONT
	47	Morning Mist Prairie Dropseed / Sporobolus heterolepis 'Morning Mist'	2 gal
PERENNIALS	QTY	COMMON / BOTANICAL NAME	CONT
	18	Big Time Blue English Lavender / Lavandula angustifolia 'Armtipp01'	2 gal
	14	Evergreen Candytuft / Iberis sempervirens	2 gal
	15	Lamb's Ear / Stachys byzantina	2 gal
	18	Walker's Low Catmint / Nepeta x faassenii 'Walker's Low'	2 gal
PERENNIALS/GROUNDCOVERS	QTY	COMMON / BOTANICAL NAME	CONT
	30	Deep Pink Creeping Phlox / Phlox stolonifera 'Fort Hill'	1 gal
	36	Snow In Summer / Cerastium tomentosum	2 gal
MULCH	QTY	COMMON / BOTANICAL NAME	CONT
	643 sf	Gravel / Gravel - 3/8" minus - 3" Depth	Gravel



Stachys byzantina



Sporobolus heterolepis 'Morning Mist'



Nepeta x faassenii 'Walker's Low'



Cerastium tomentosum



Phlox stolonifera 'Fort Hill'



Iberis sempervirens



Lavandula angustifolia 'Armtipp01'

BUILDING TYPES:

- DUPLEX - A: 9 EACH
- DUPLEX - B: 3 EACH
- FAMILY LODGES: 2 EACH

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BRYAN M. NICHOLAS P.L.A.
SERIAL NO. 12902938-5301
DATE: 09 NOV 2022

AMEYALLI RESORT

**DUPLEX A & B
ROOFTOP PLANTING PLAN**



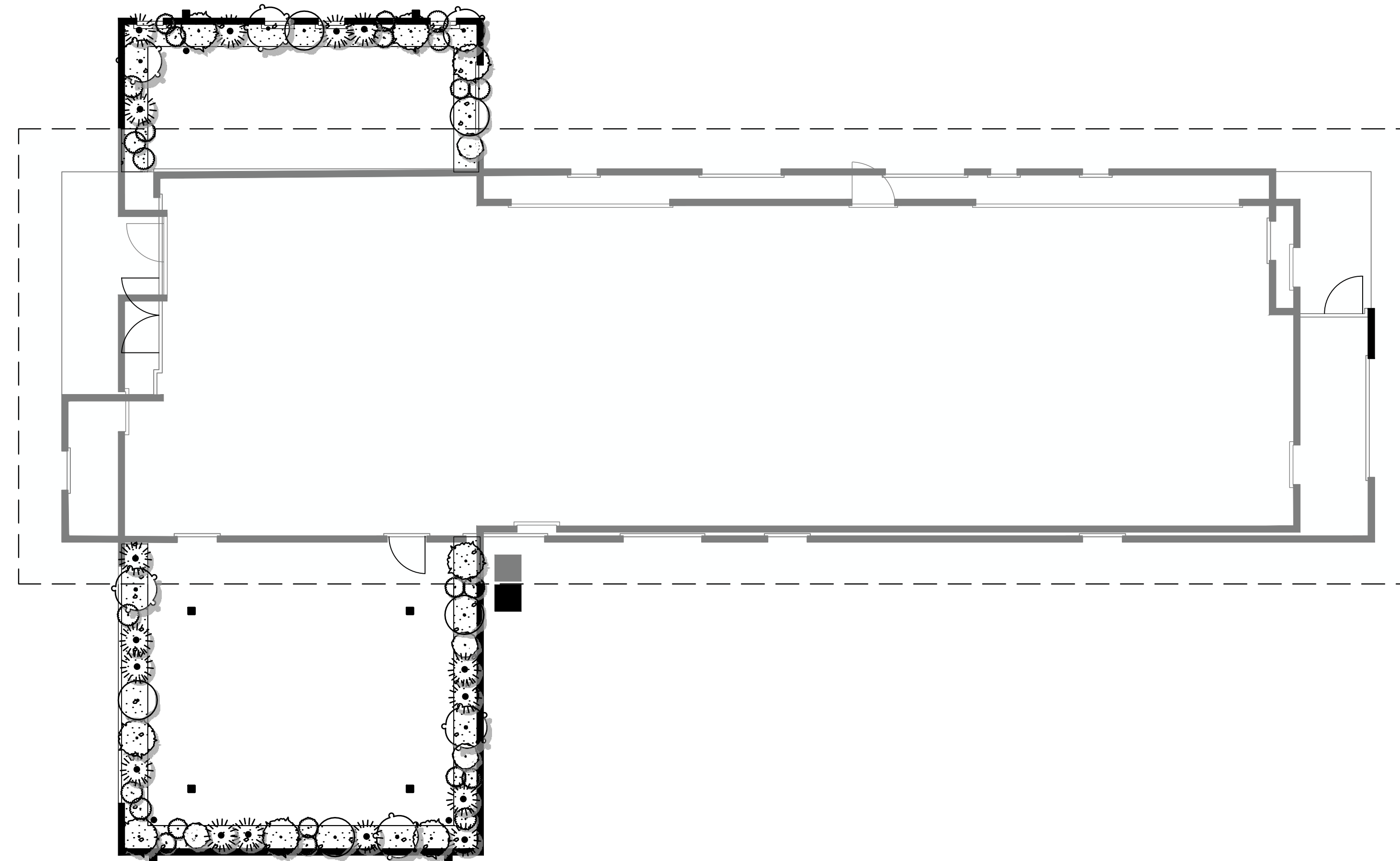
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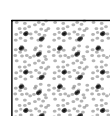
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L07





01 FAMILY LODGE
NTS

PLANT SCHEDULE FAMILY LODGE

ORNAMENTAL GRASSES	QTY	COMMON / BOTANICAL NAME	CONT
	16	Morning Mist Prairie Dropseed / Sporobolus heterolepis 'Morning Mist'	2 gal
PERENNIALS	QTY	COMMON / BOTANICAL NAME	CONT
	8	Big Time Blue English Lavender / Lavandula angustifolia 'Armtipp01'	2 gal
	4	Evergreen Candytuft / Iberis sempervirens	2 gal
	6	Lamb's Ear / Stachys byzantina	2 gal
	5	Walker's Low Catmint / Nepeta x faassenii 'Walker's Low'	2 gal
PERENNIALS/GROUNDCOVERS	QTY	COMMON / BOTANICAL NAME	CONT
	13	Deep Pink Creeping Phlox / Phlox stolonifera 'Fort Hill'	1 gal
	11	Snow In Summer / Cerastium tomentosum	2 gal
MULCH	QTY	COMMON / BOTANICAL NAME	CONT
	229 sf	Gravel / Gravel - 3/8" minus - 3" Depth	Gravel



Stachys byzantina



Sporobolus heterolepis 'Morning Mist'



Nepeta x faassenii 'Walker's Low'



Cerastium tomentosum



Phlox stolonifera 'Fort Hill'



Iberis sempervirens



Lavandula angustifolia 'Armtipp01'

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DATE: 09 NOV 2022

AMEYALLI RESORT

**FAMILY LODGE
ROOFTOP PLANTING PLAN**



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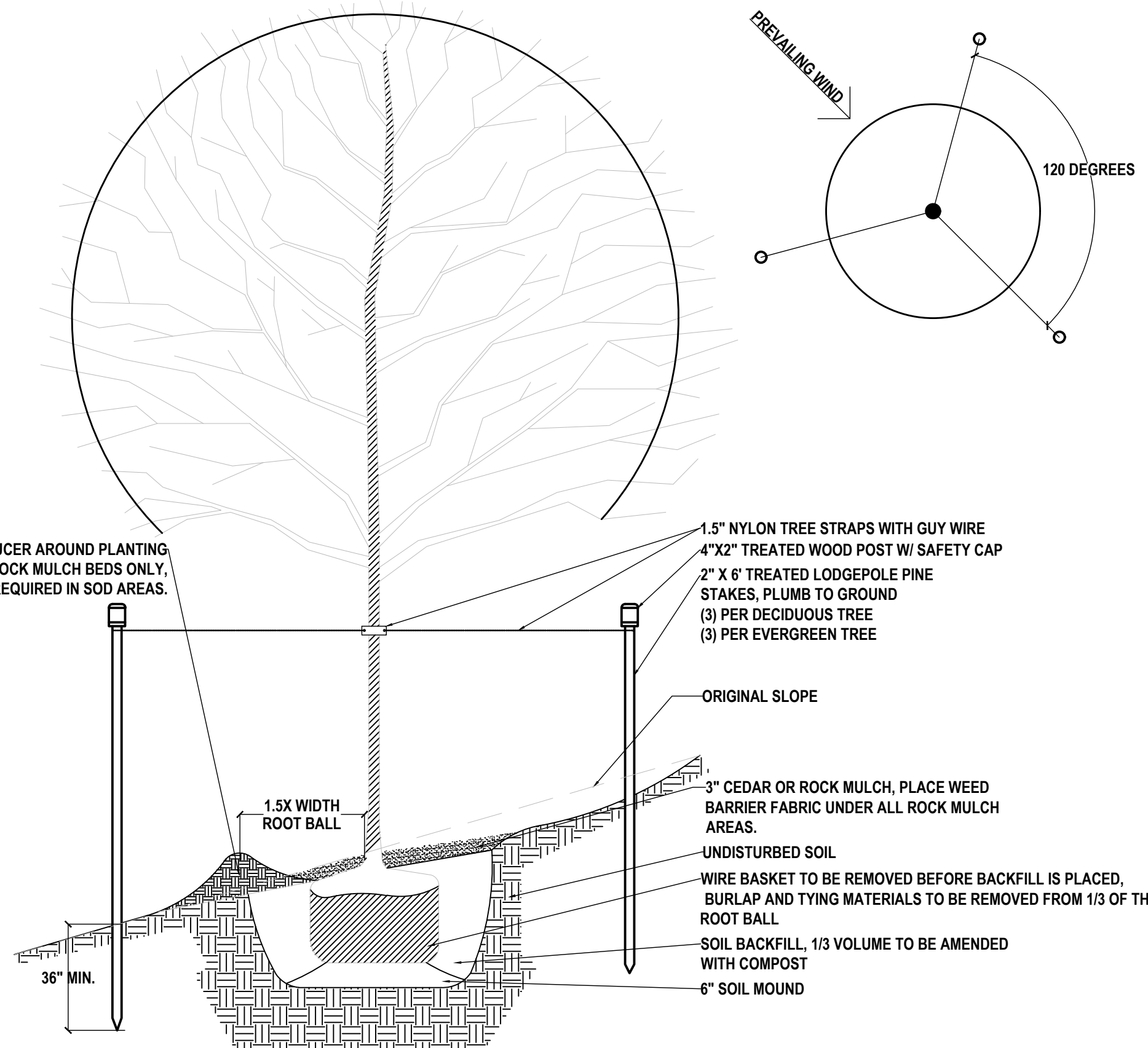
BUILDING TYPES:

- DUPLEX - A: 9 EACH
- DUPLEX - B: 3 EACH
- FAMILY LODGES: 2 EACH

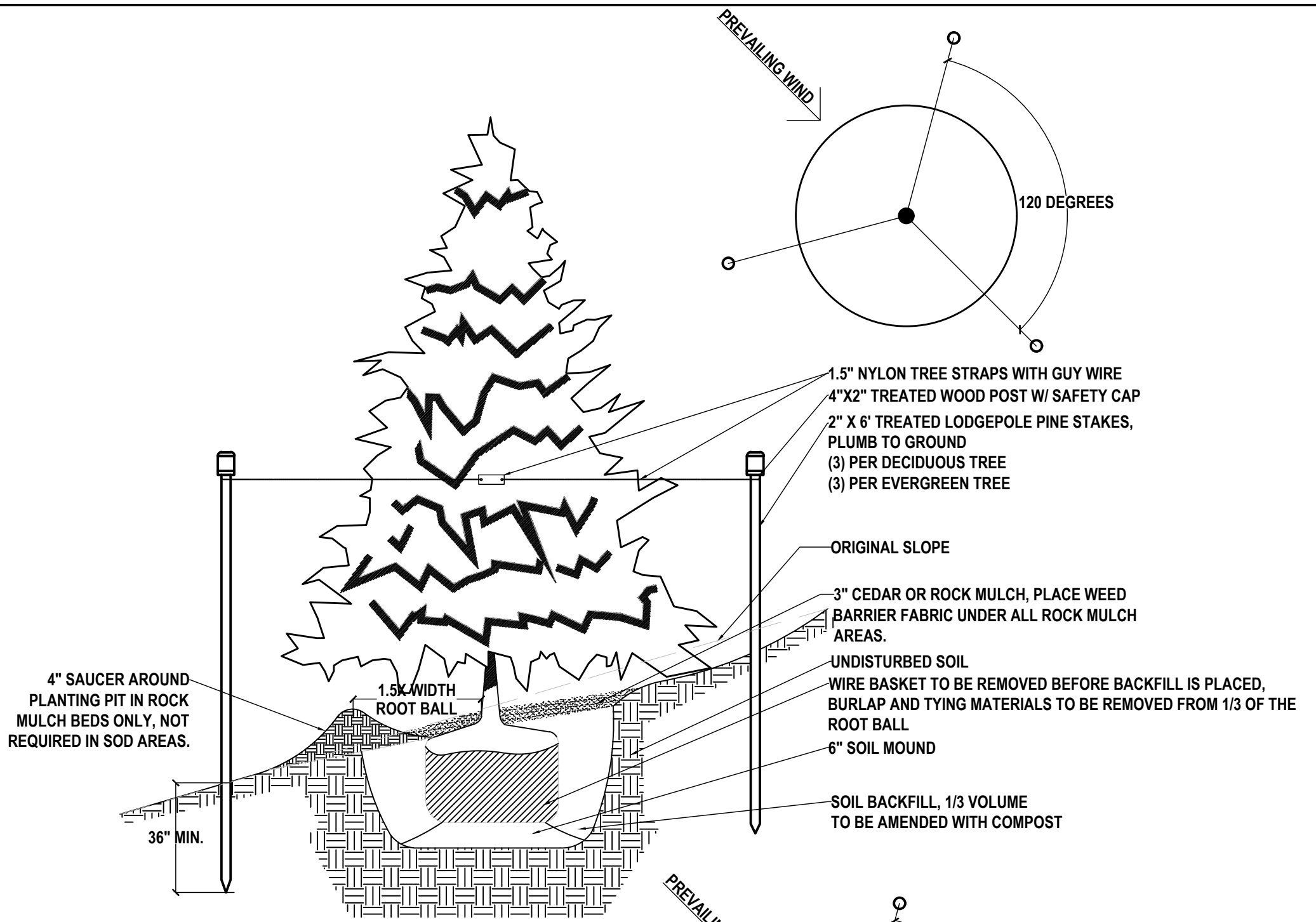
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DRAWN BY:BMN

DATE:09 NOV 2022
REV:

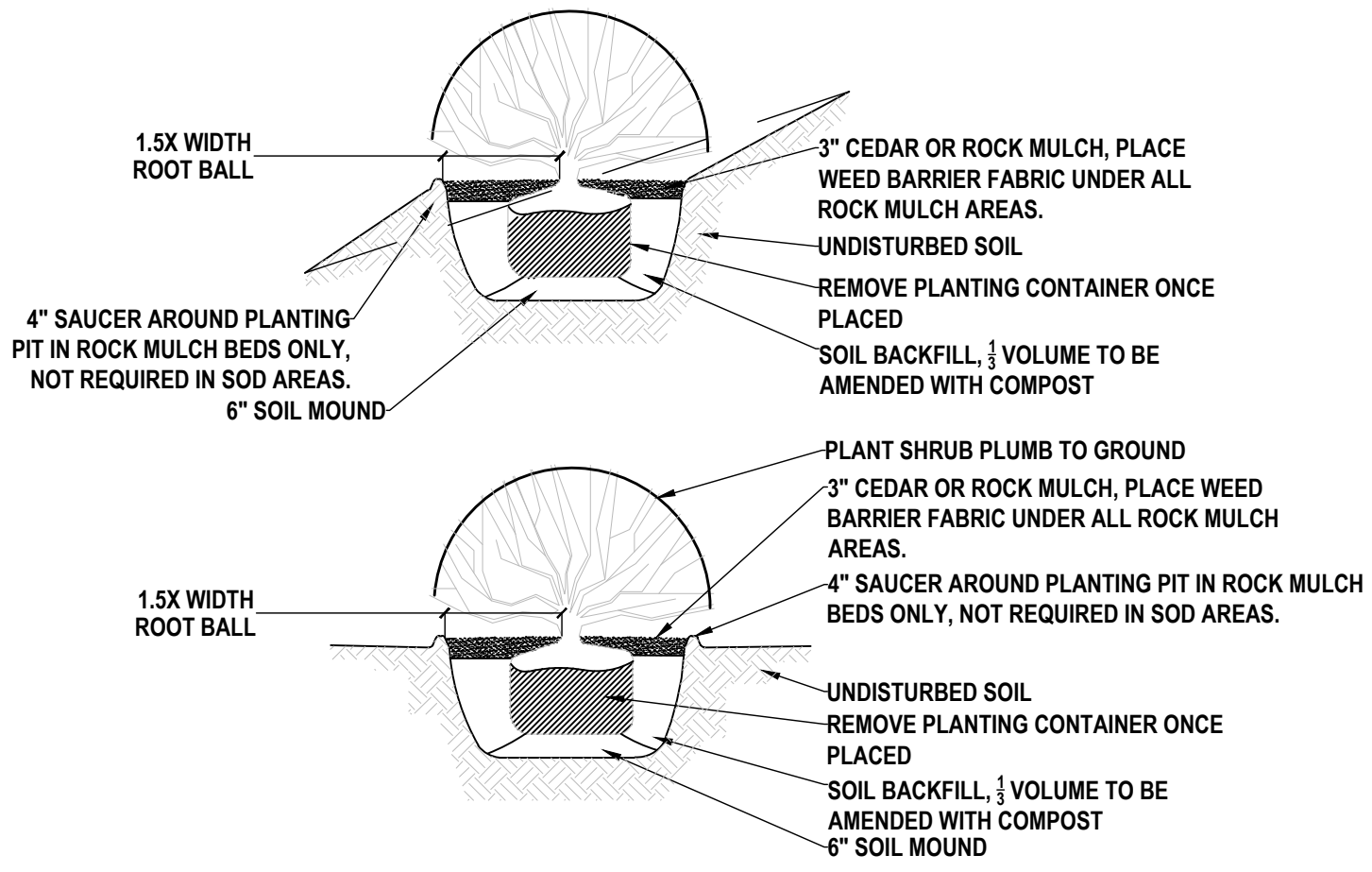
SHEET
L08



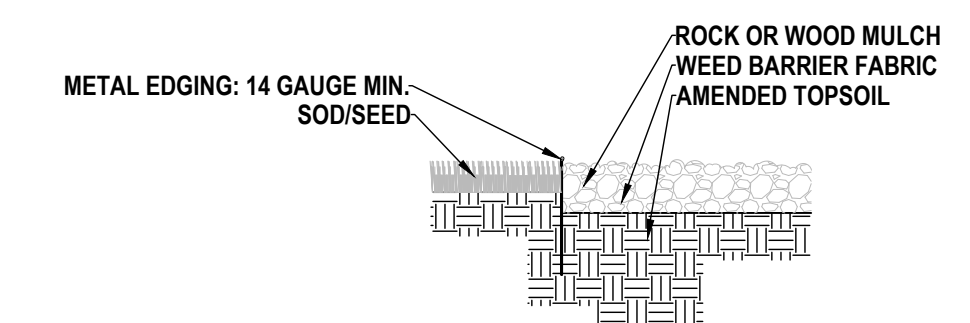
01 DECIDUOUS TREE PLANTING, TYP. NTS



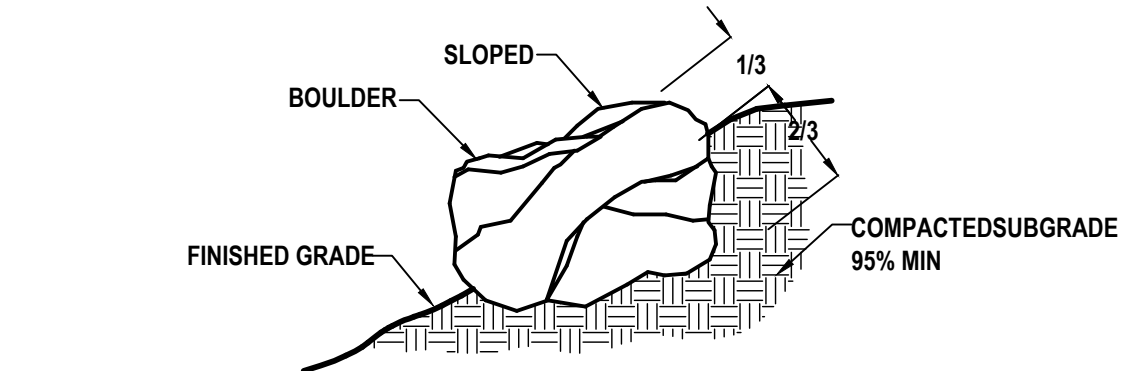
02 EVERGREEN TREE PLANTING, TYP. NTS



03 SHRUB PLANTING, TYP. NTS



04 METAL EGING, TYP. NTS



05 ROCK MULCH & BOULDER, TYP. NTS

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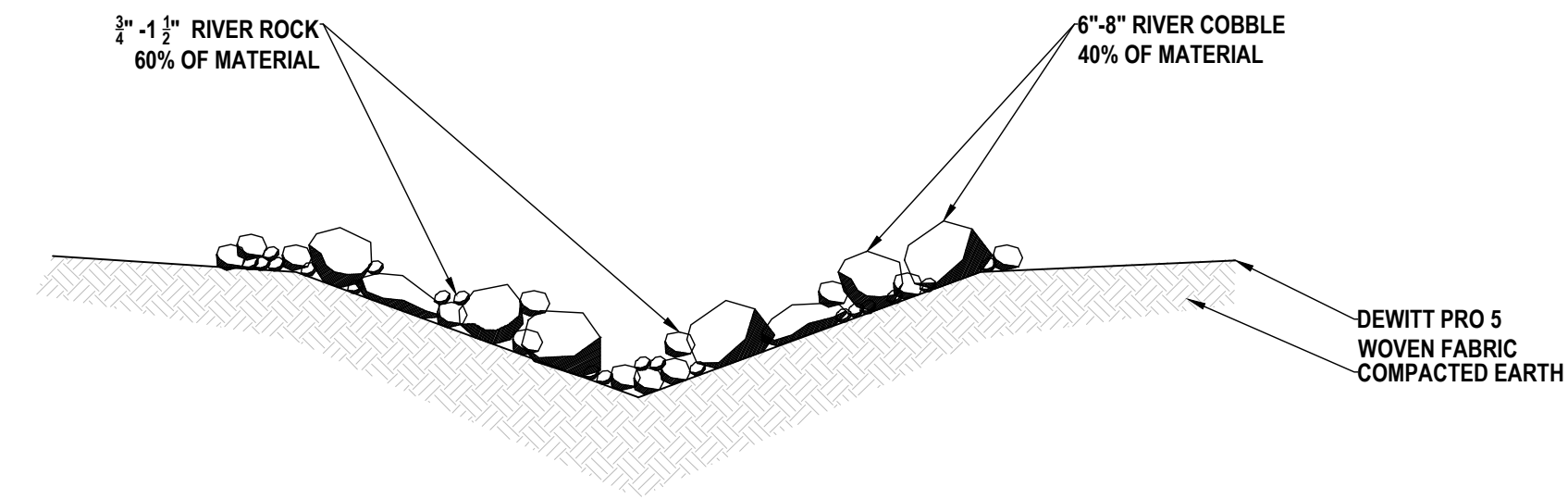
AMEYALLI RESORT

LANDSCAPE DETAILS

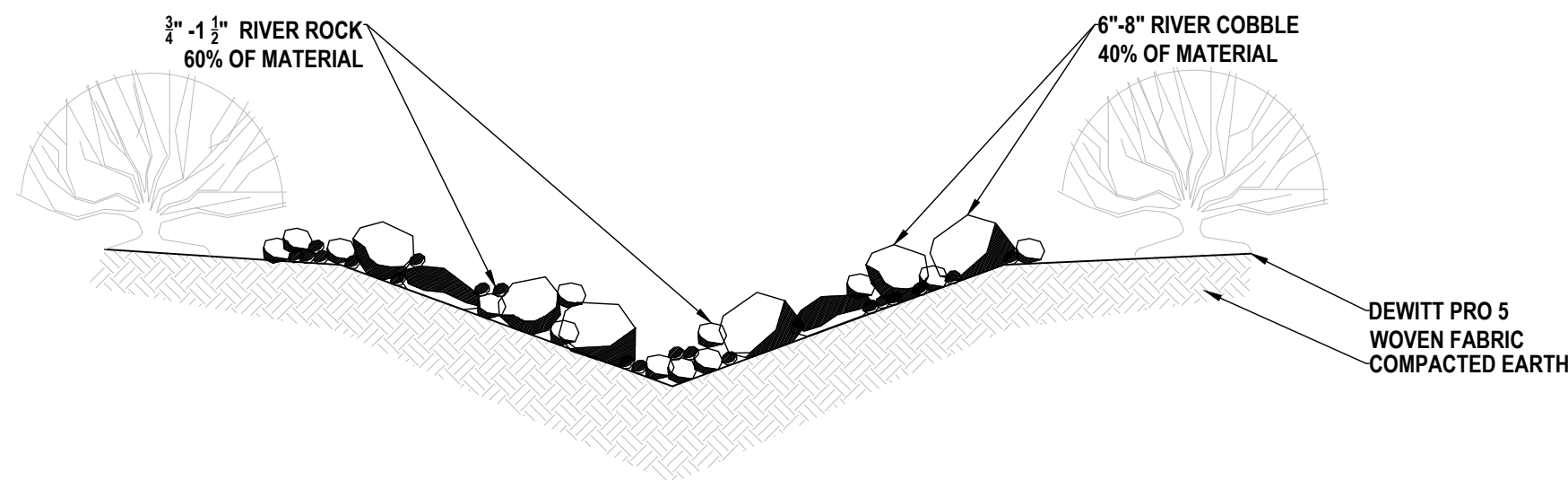
berg
LANDSCAPE ARCHITECTS

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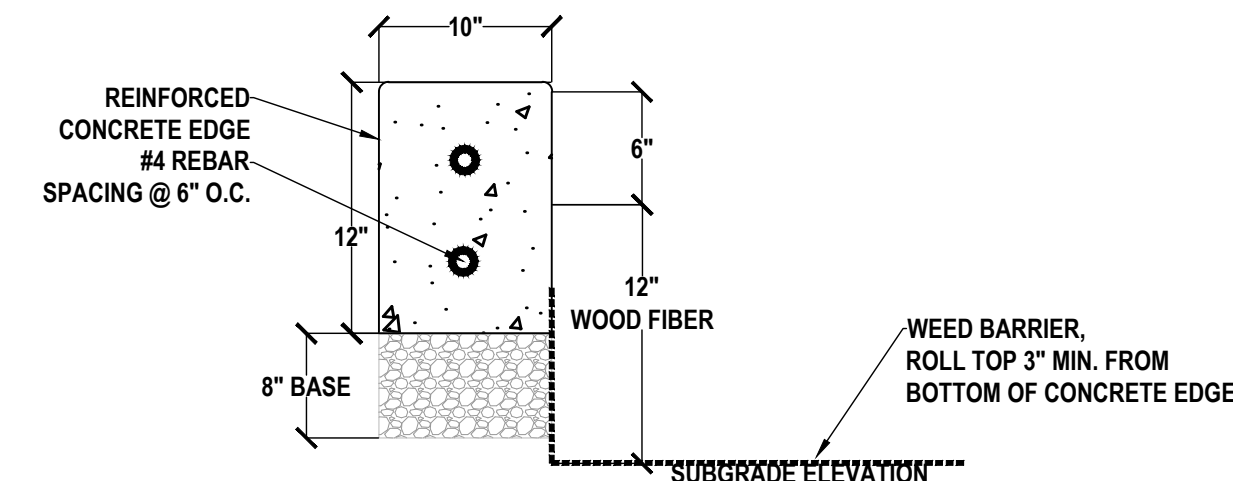


1. DEWITT PRO 5 FABRIC TO HAVE 6" MIN. OVERLAY BETWEEN LAYERS.
2. SUBGRADE TO BE HAND COMPACTED.
3. MIXTURE OF RIVER ROCK & COBBLE TO BE MIXED.
4. ROCK IS TO START MINIMUM 6" ABOVE START OF DOWN SLOPE.

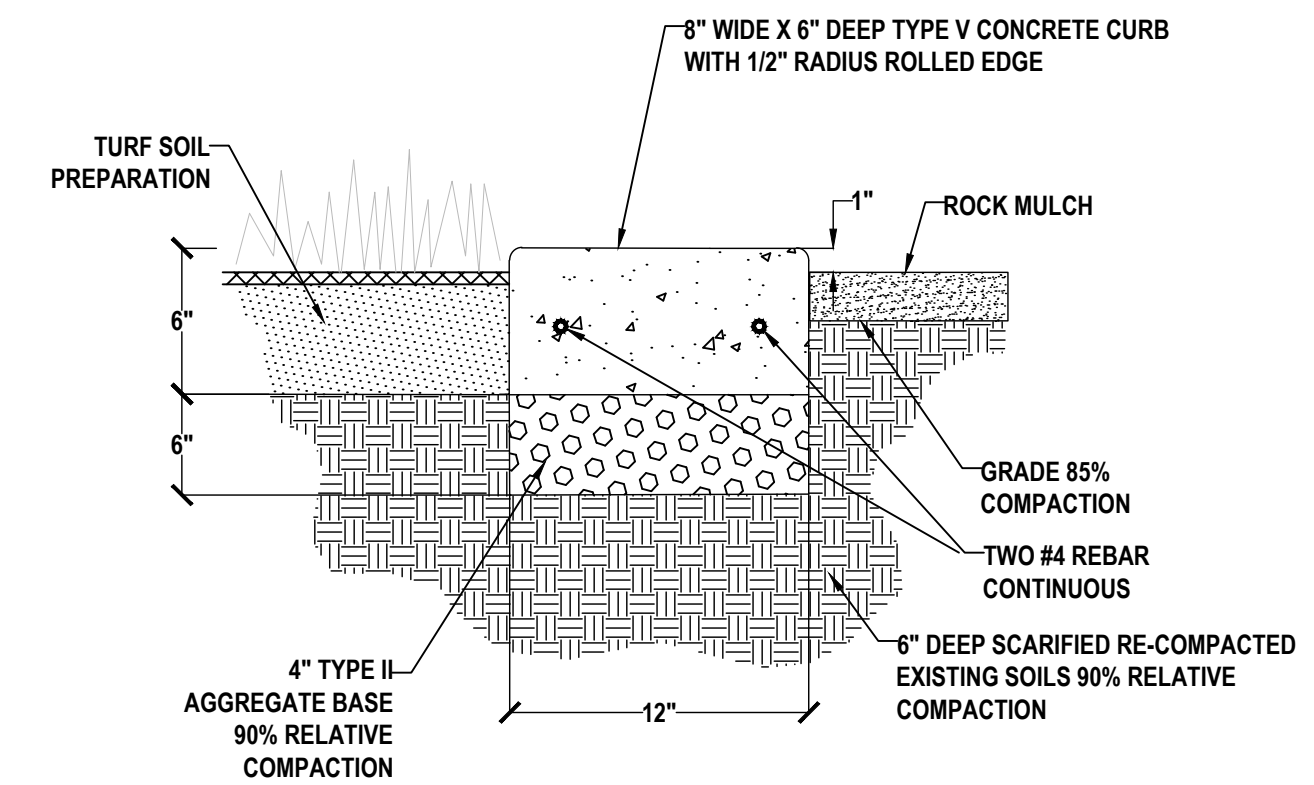


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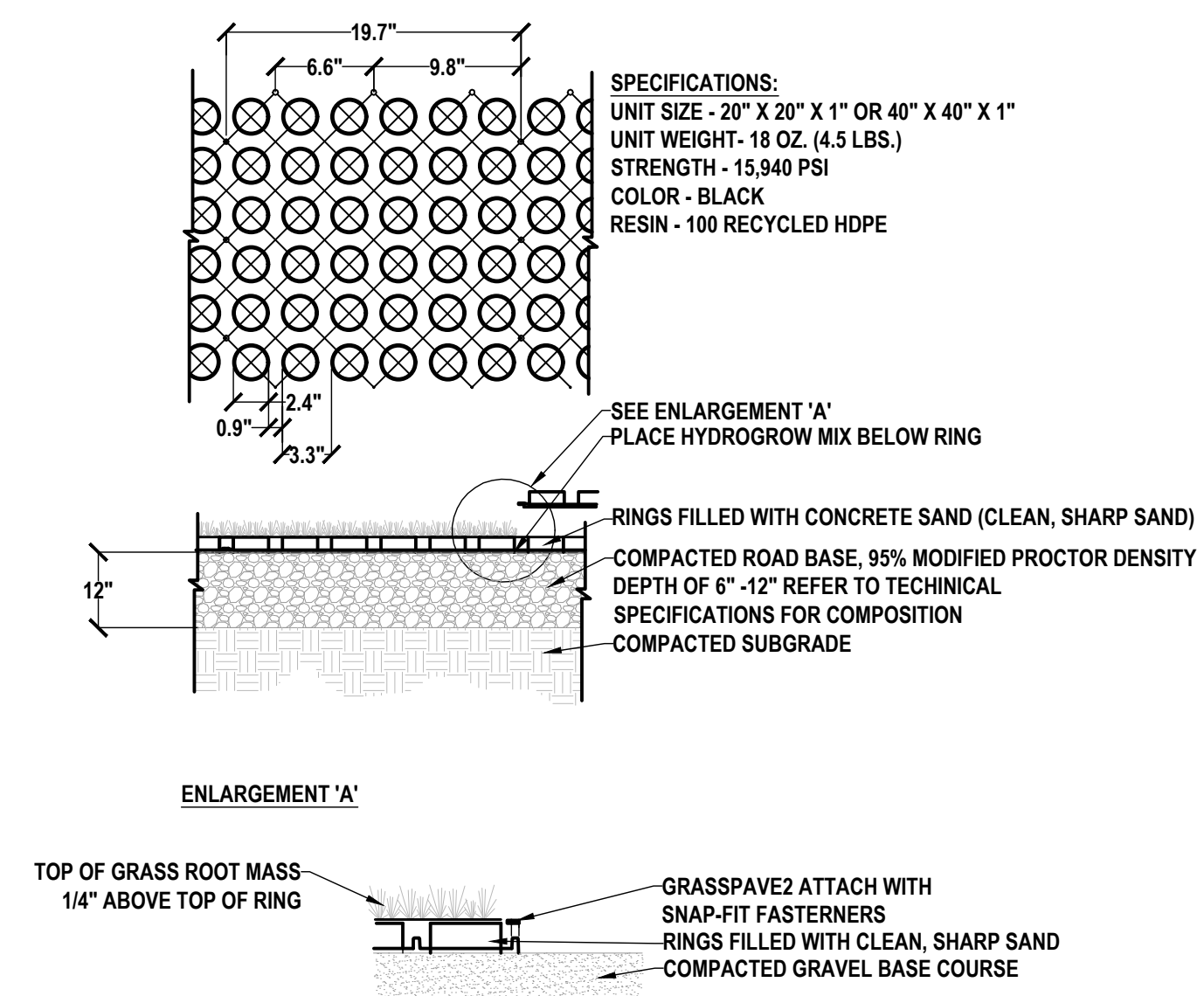
01 SWALE DETAIL, TYP.
NTS



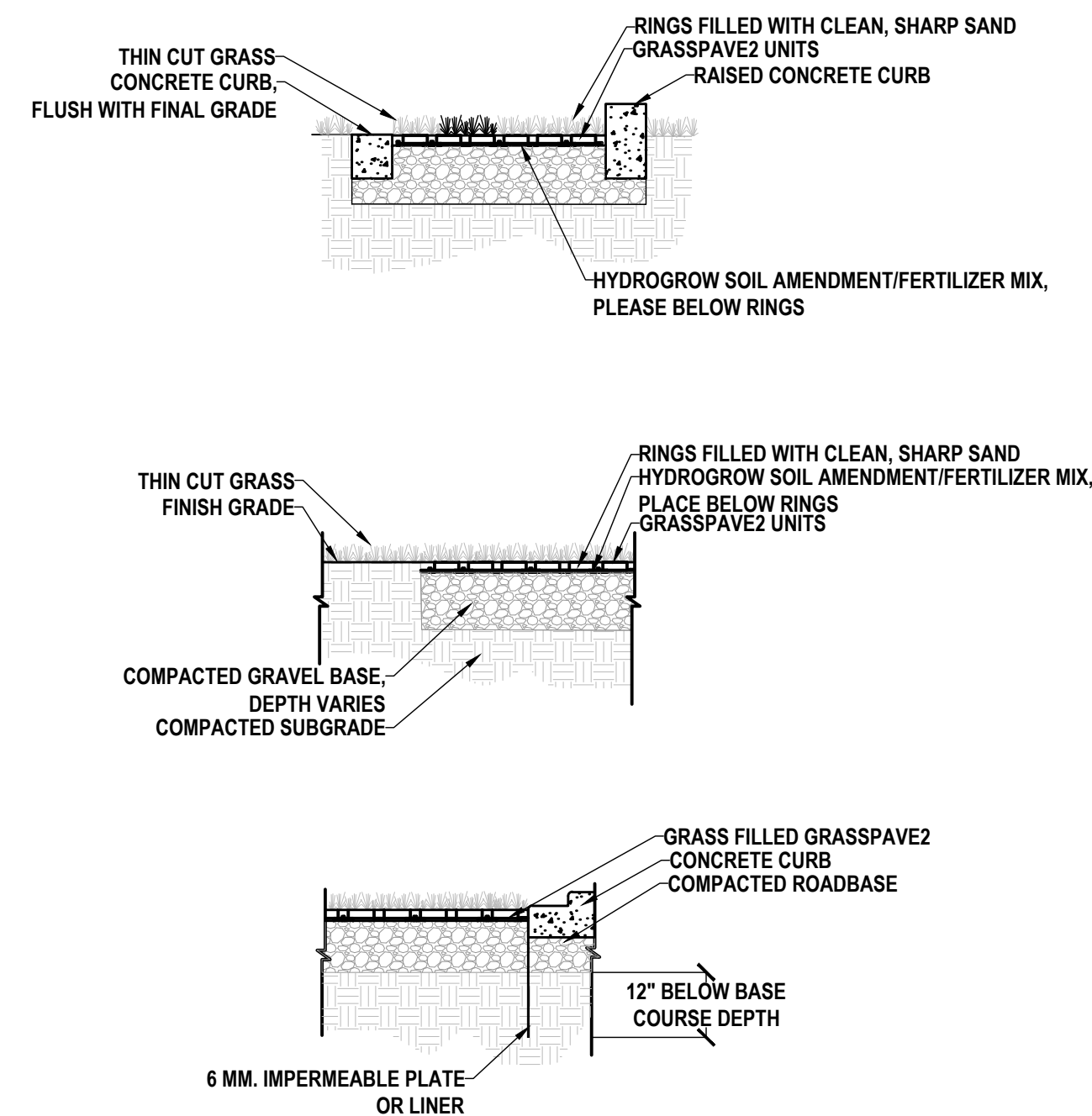
02 10" PLAYGROUND CONCRETE EDGE, TYP.
NTS



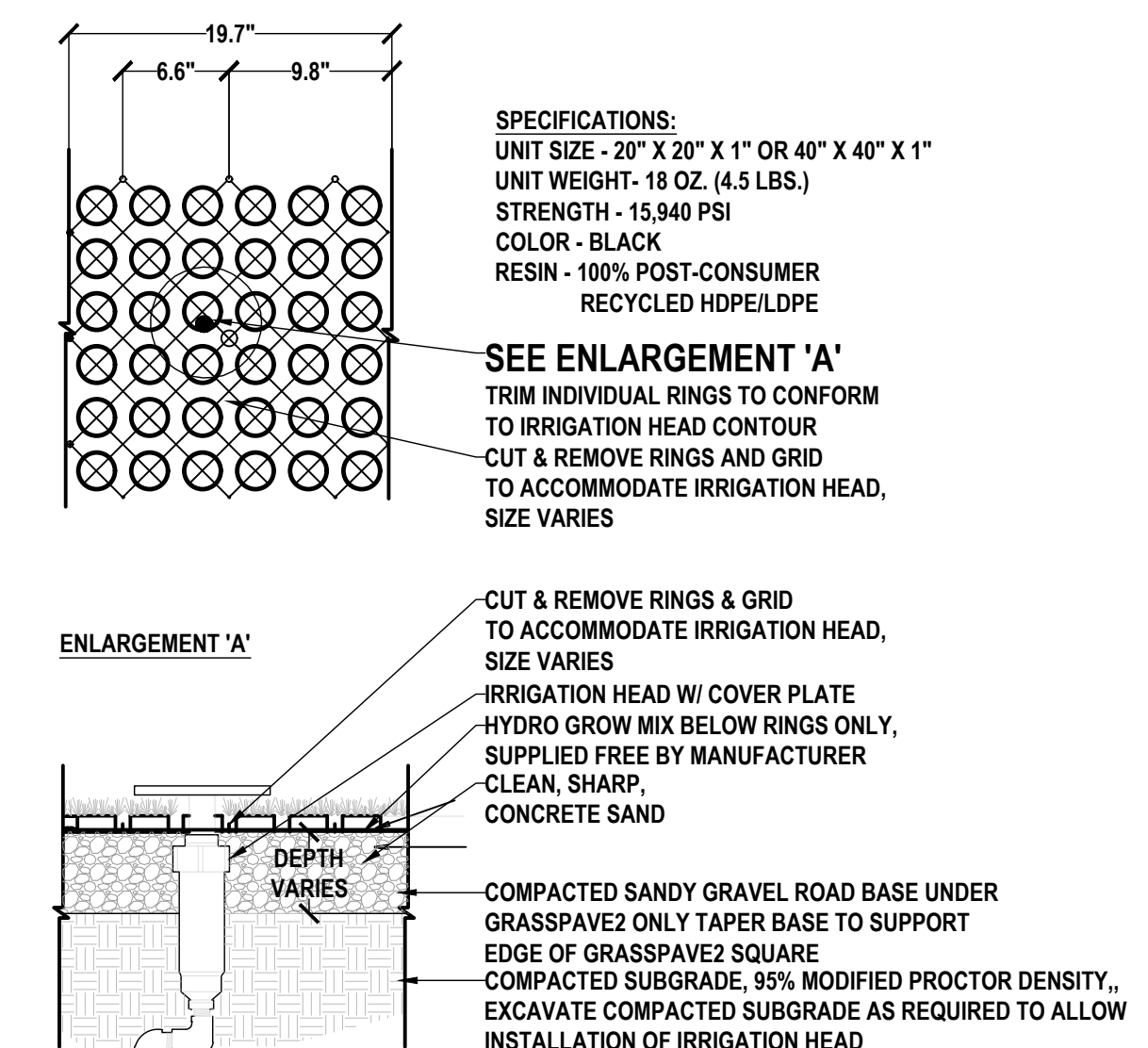
03 CONCRETE MOW CURB, TYP.
NTS



04 GRASSPAVE2, TYP.
NTS



05 GRASSPAVE2 W/ EDGING
NTS



06 GRASSPAVE2 W/ IRRIGATION, TYP.
NTS

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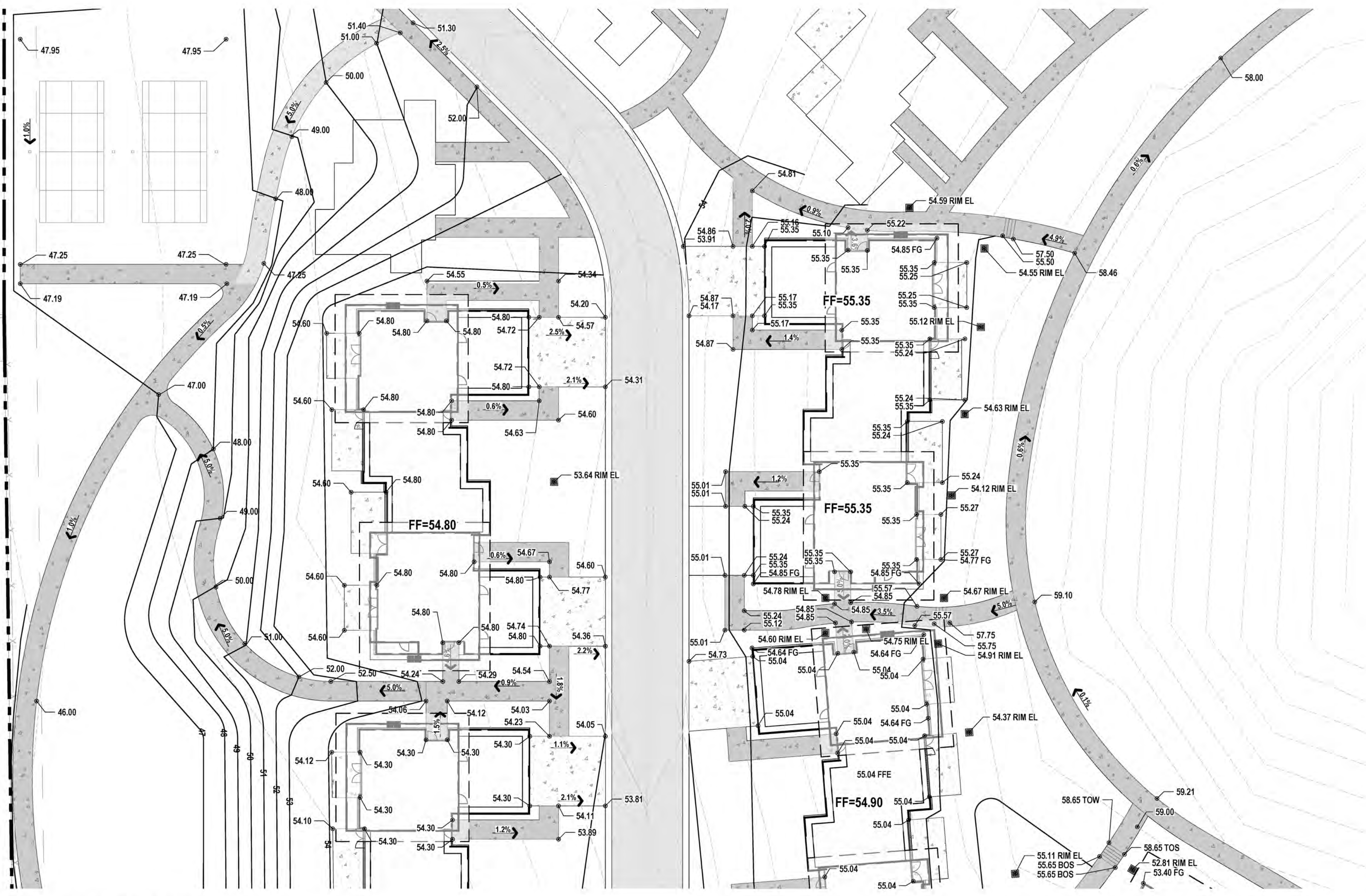
AMEYALLI RESORT

SITE DETAILS

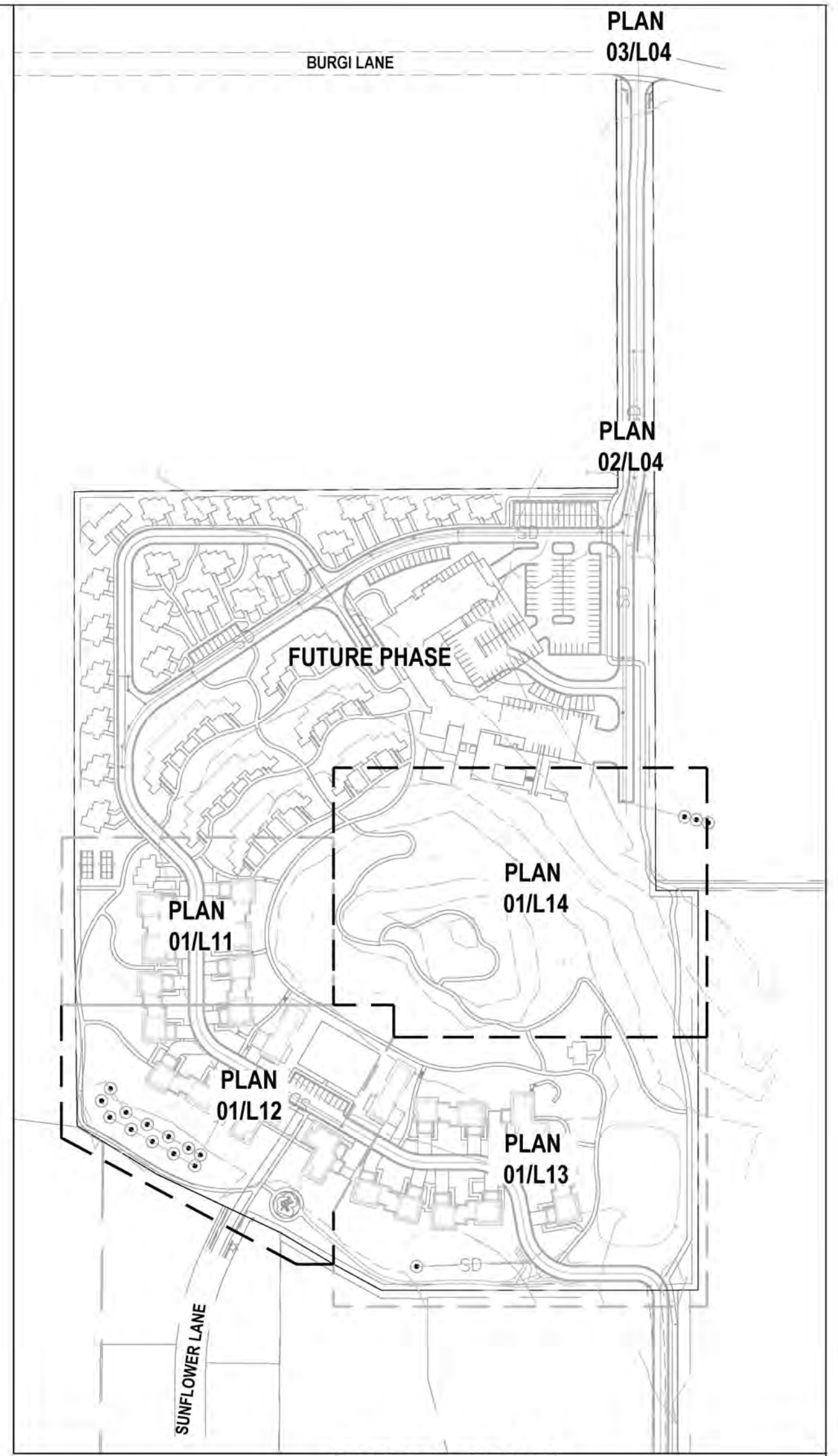


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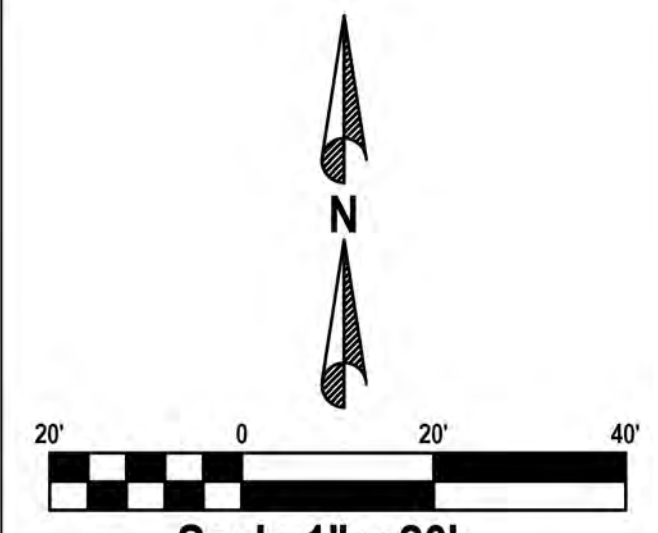
01 GRADING PLAN
SCALE: 1"=20'-0"



SHEET KEY MAP
NTS

LEGEND

- EOP EDGE OF PAVEMENT
- FG FINISHED GRADE
- BOW BOTTOM OF WALL
- TOW TOP OF WALL
- BOS BOTTOM OF STAIRS
- TOS TOP OF STAIRS
- HP HIGH POINT
- LP LOW POINT
- RIM EL RIM ELEVATION



Scale 1" = 20"
Scale 1" = 40' for 11x17

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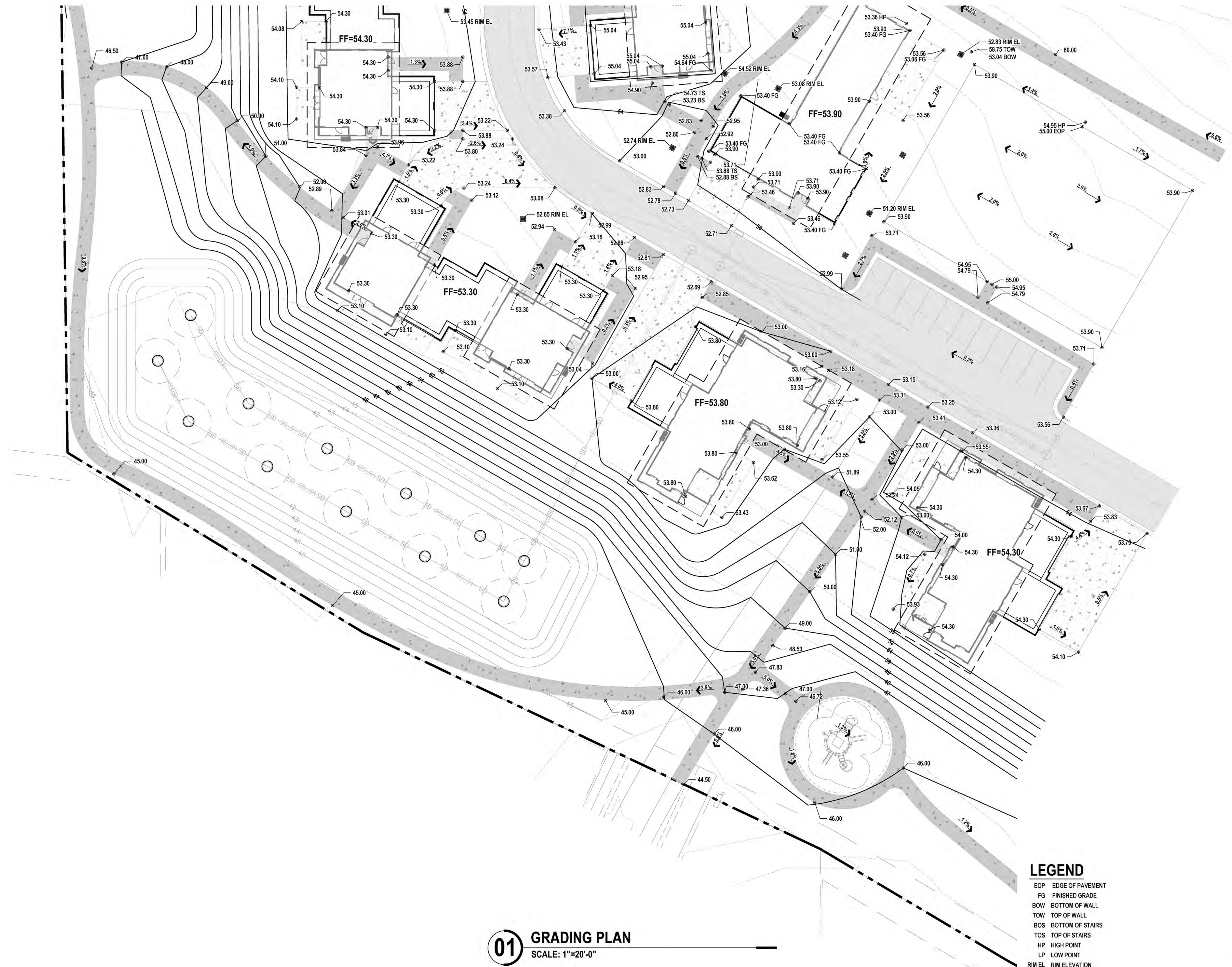
AMEYALLI RESORT

GRADING PLAN SHEET 1 OF 4



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01 GRADING PLAN
SCALE: 1"=20'-0"

LEGEND

- EOP EDGE OF PAVEMENT
- FG FINISHED GRADE
- BOW BOTTOM OF WALL
- TOW TOP OF WALL
- BOS BOTTOM OF STAIRS
- TOS TOP OF STAIRS
- HP HIGH POINT
- LP LOW POINT
- RIM EL RIM ELEVATION

N

Scale 1" = 20'
Scale 1" = 40' for 11x17

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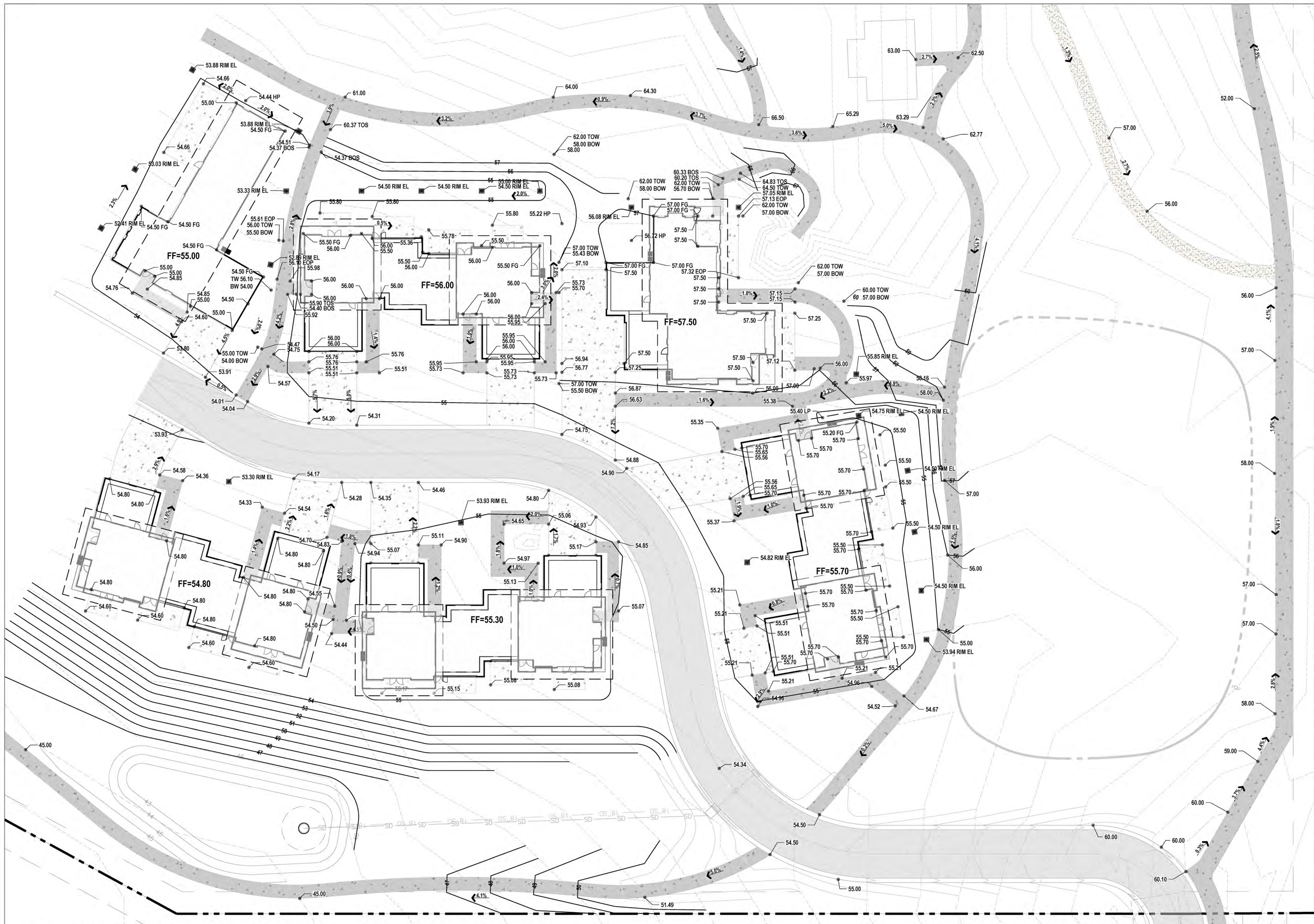
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SERIAL NO. 12902936-5301
DATE: 09 NOV 2022

AMEYALLI RESORT

GRADING PLAN
SHEET 2 OF 4

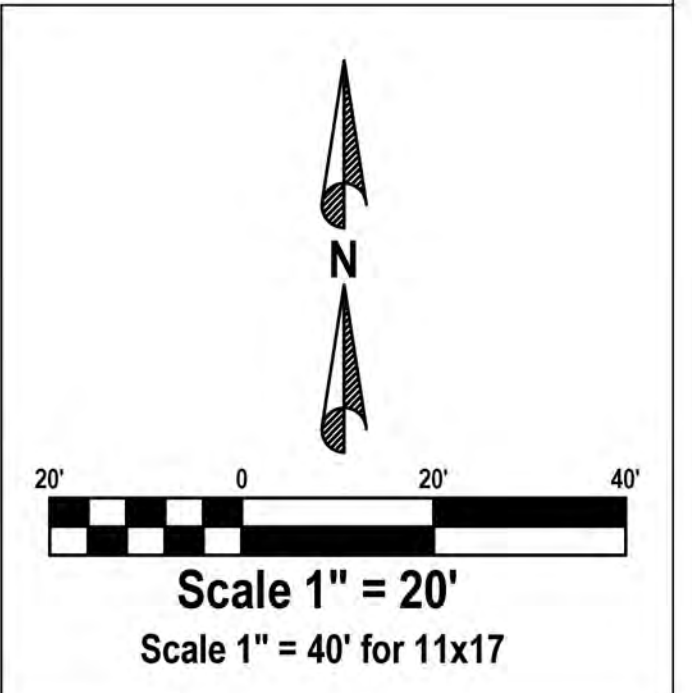
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LEGEND

- EOP EDGE OF PAVEMENT
- FG FINISHED GRADE
- BOW BOTTOM OF WALL
- TOW TOP OF WALL
- BOS BOTTOM OF STAIRS
- TOS TOP OF STAIRS
- HP HIGH POINT
- LP LOW POINT
- RIM EL RIM ELEVATION



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AMEYALLI RESORT

GRADING PLAN
SHEET 3 OF 4

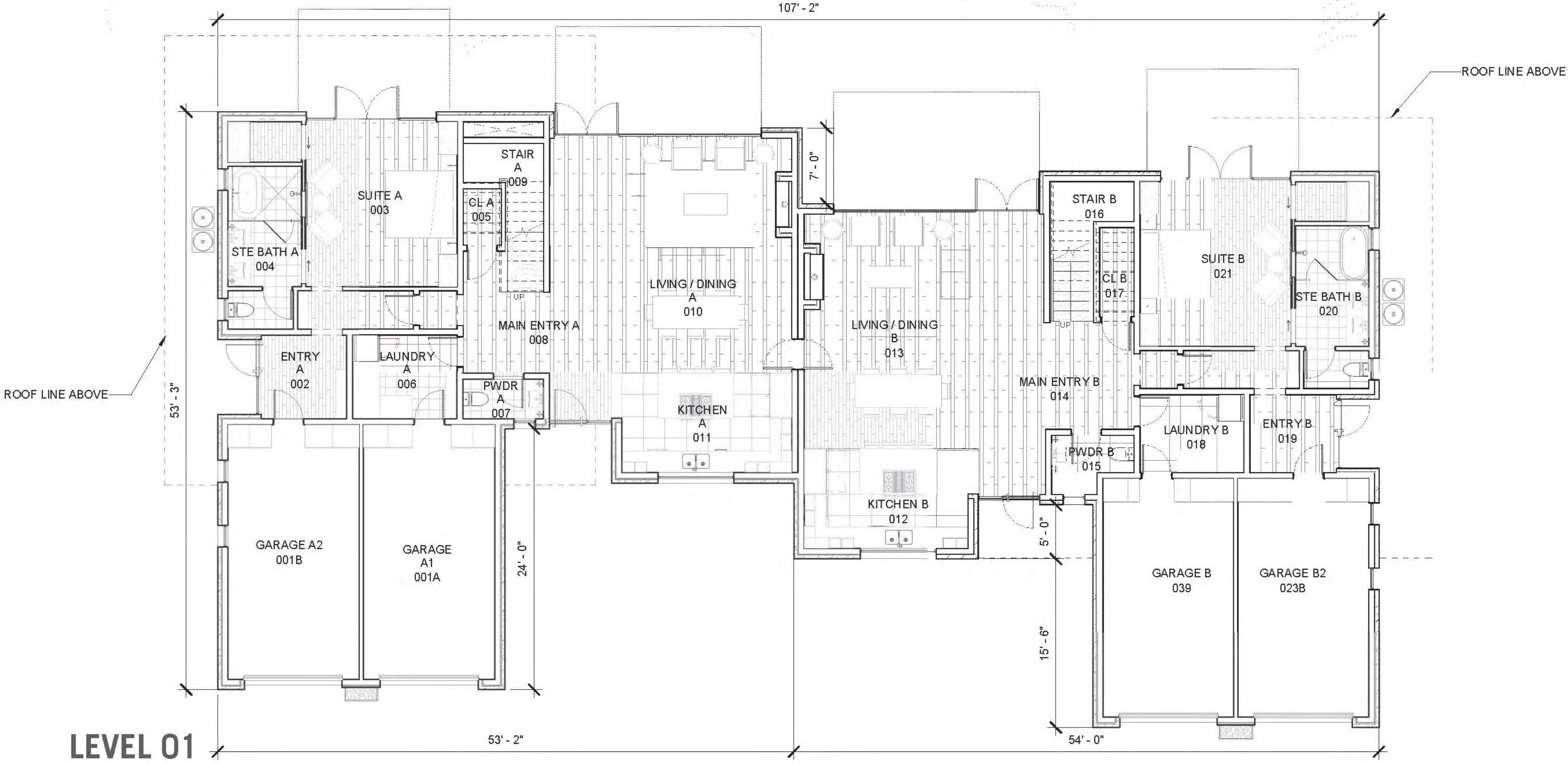
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DESIGN BY: BMN DATE: 09 NOV 2022 SHEET
 DRAWN BY: BMN REV: L13

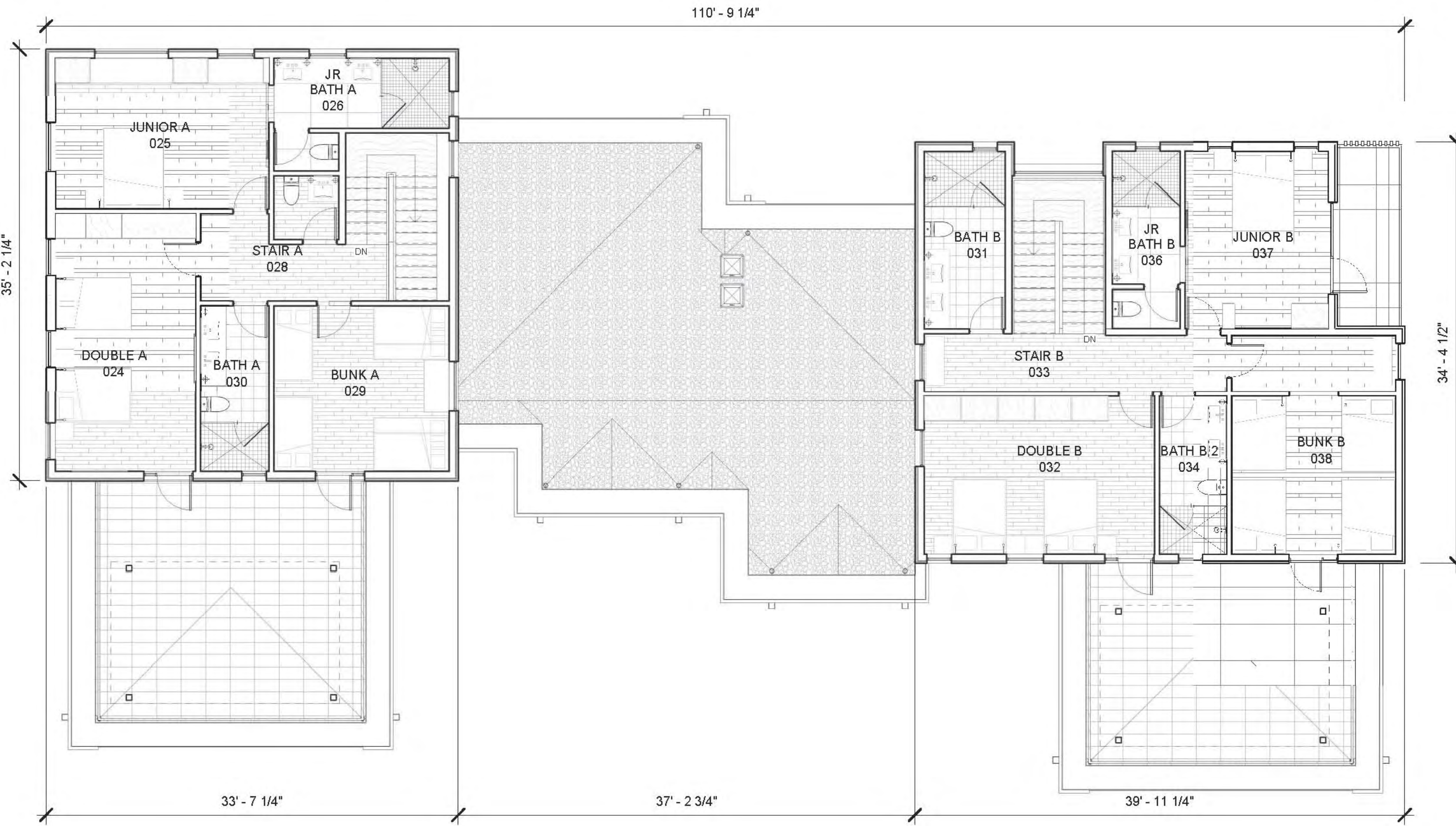
01 GRADING PLAN
 SCALE: 1"=20'-0"

BUILDING AREA PLAN AND DESIGN ELEMENTS |

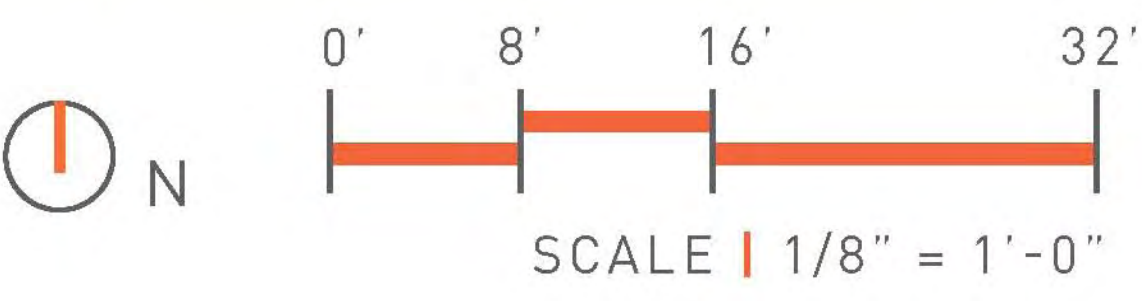
PHASE 1 : DUPLEX A



LEVEL 01

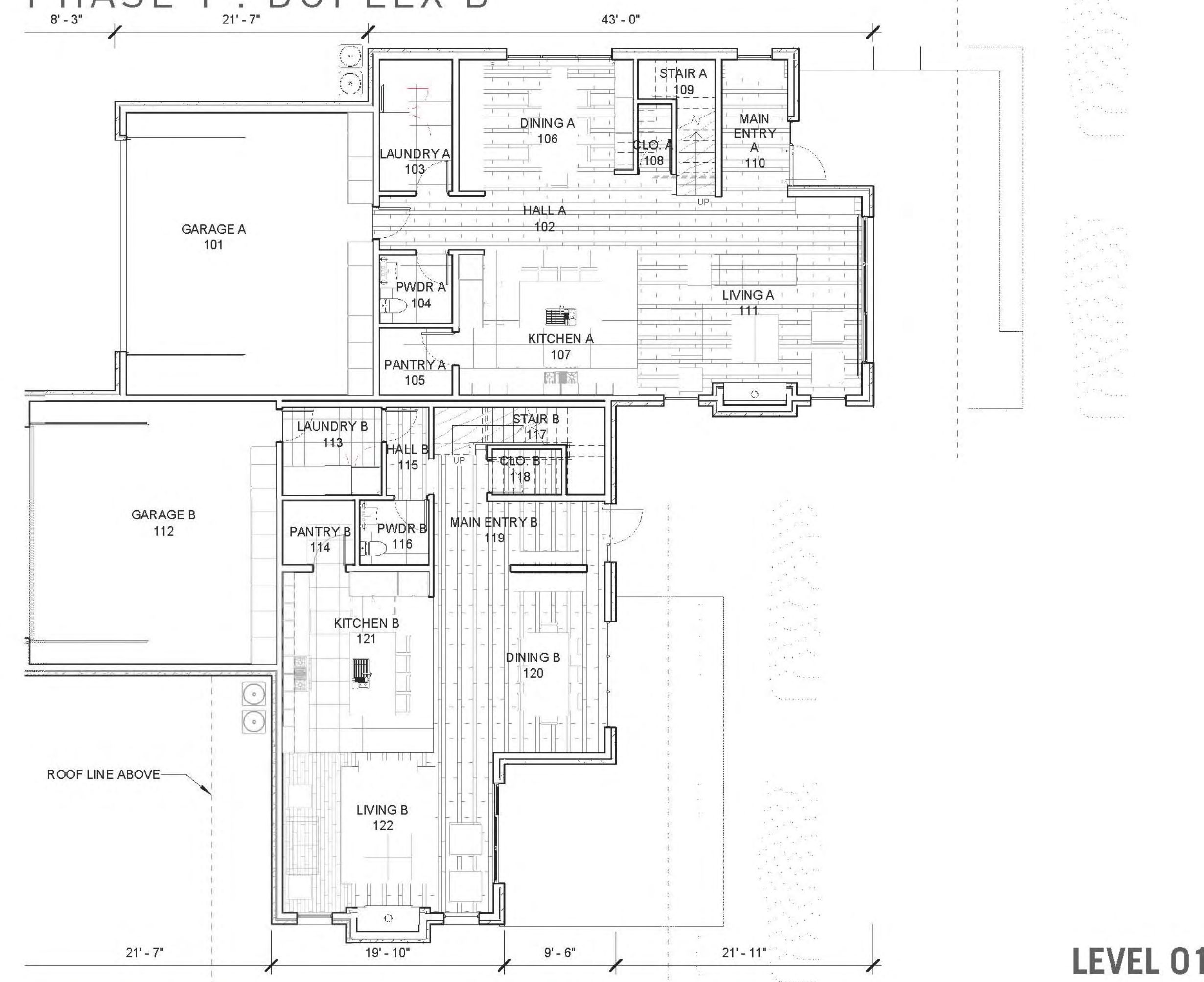


LEVEL 02



BUILDING AREA PLAN AND DESIGN ELEMENTS |

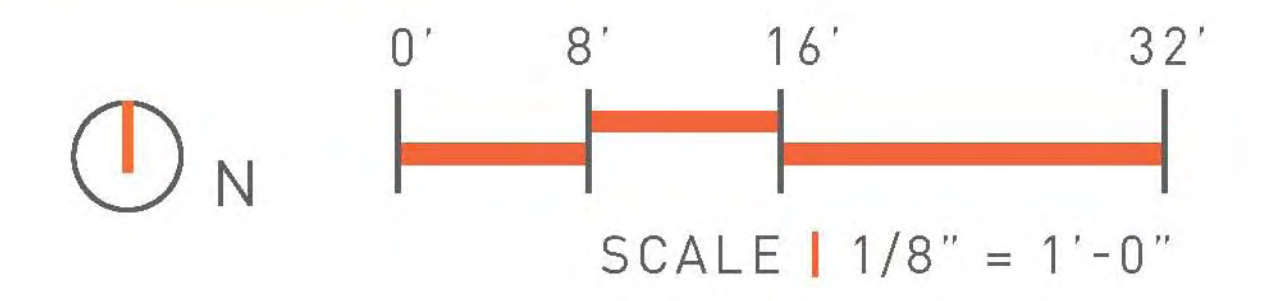
PHASE 1 : DUPLEX B



LEVEL 01



LEVEL 02



BUILDING AREA PLAN AND DESIGN ELEMENTS |

PHASE 1 : FAMILY LODGE

