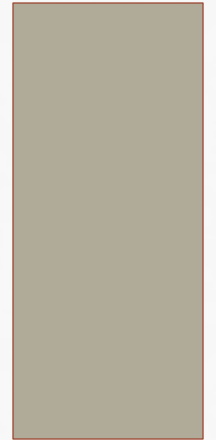


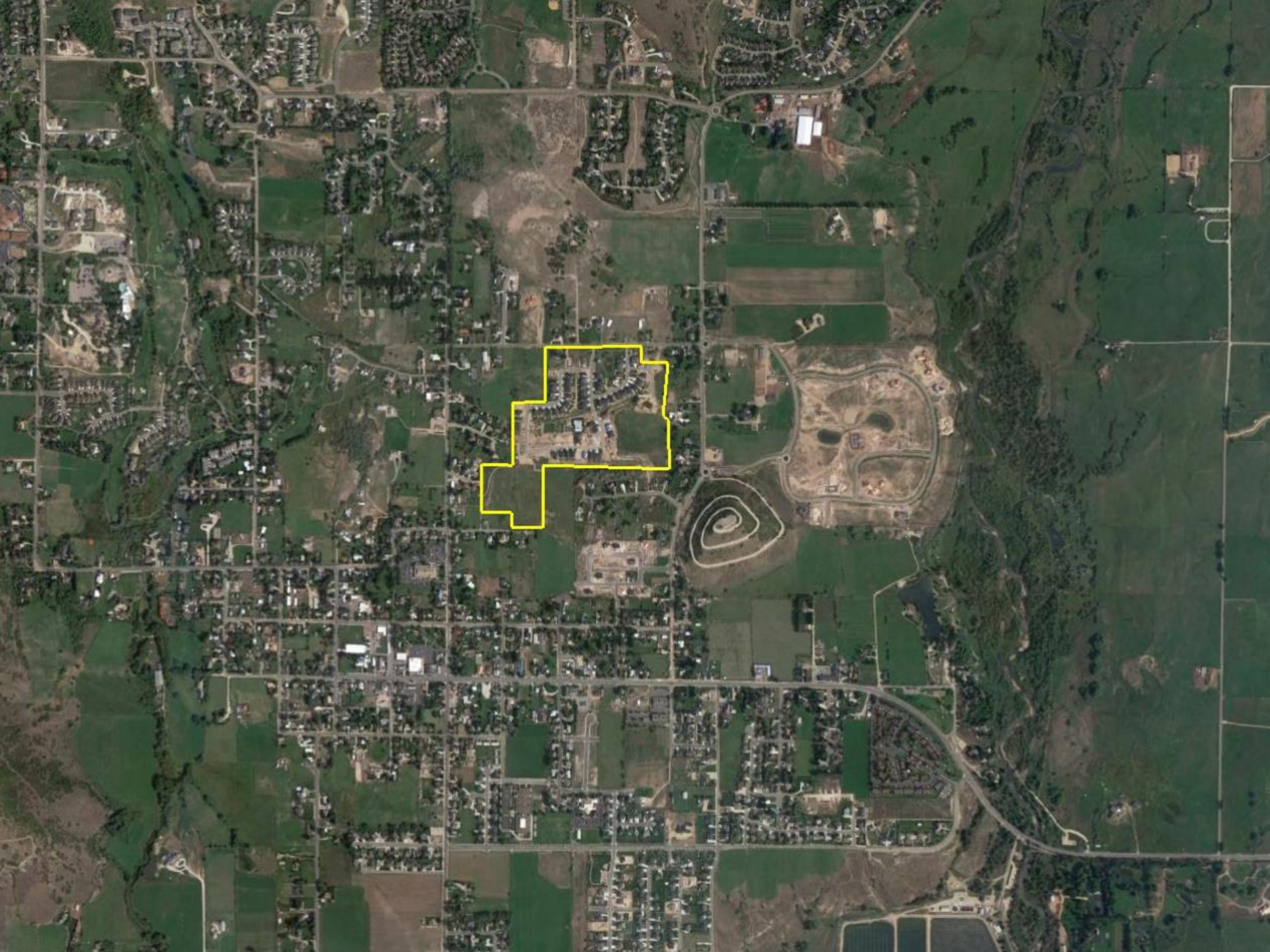
WATTS REMUND FARMS PHASE 5 PLANNED UNIT DEVELOPMENT

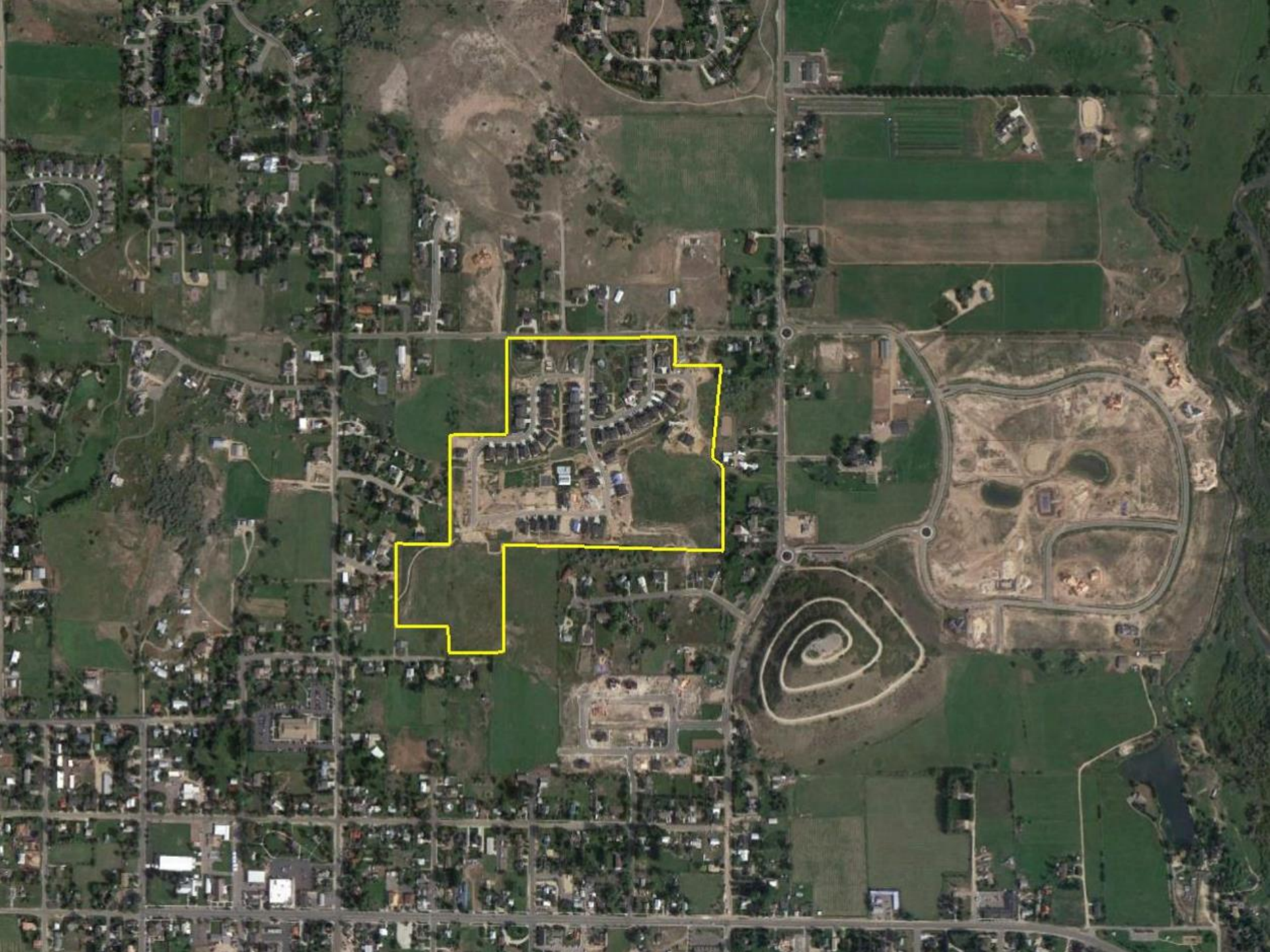
PRELIMINARY



LAND USE SUMMARY

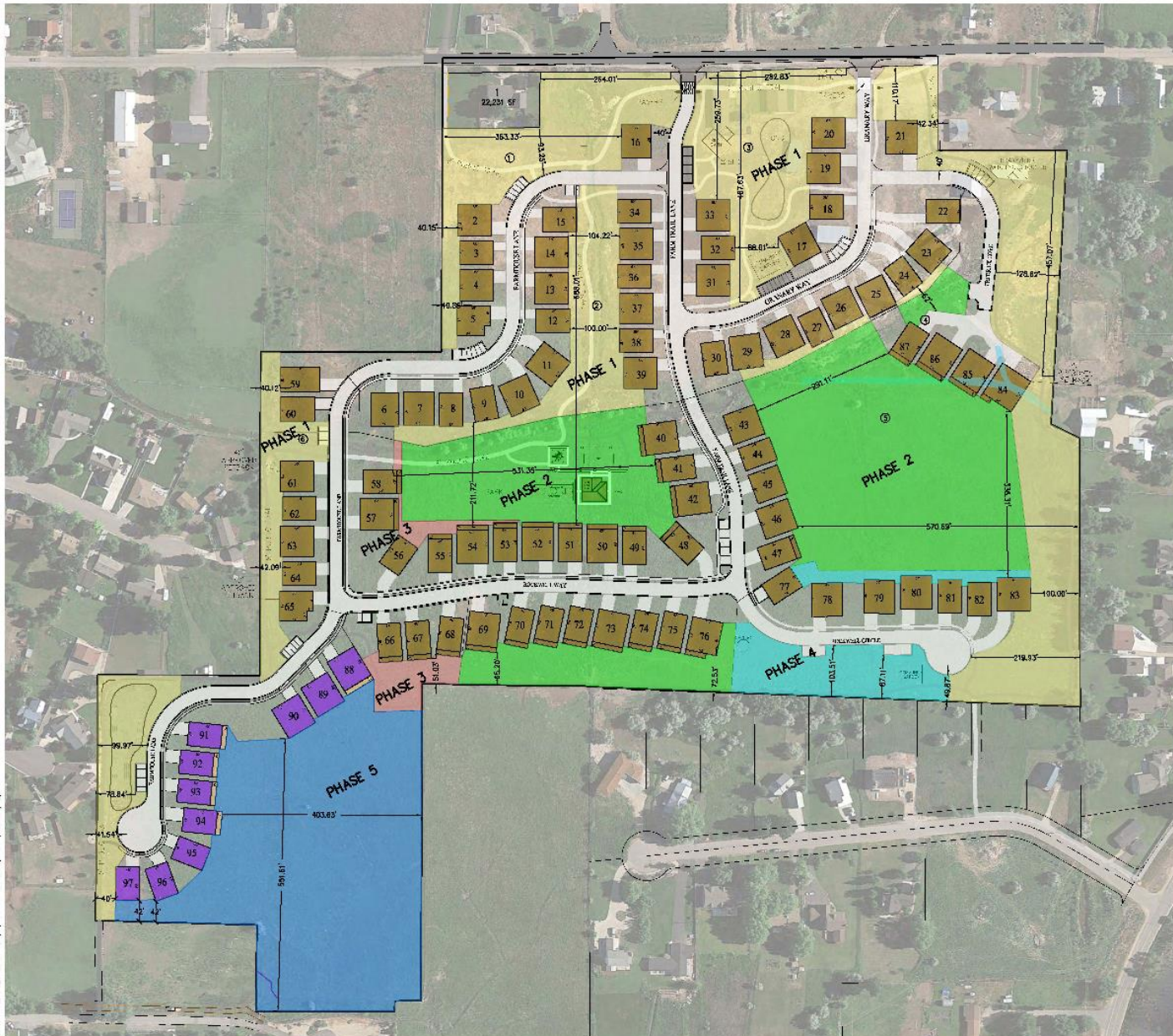
- R-1-15 zone
- 10 pads in a PUD subdivision
- 9.22 acres
- 5.57 acres of open space
- Private road
- Sensitive lands include wetlands
- The lots will connect to the Midway Sanitation District sewer, Midway City's culinary water line, and Midway Irrigation Company's secondary water line







OPEN SPACE PLAN



SCALE: 1"=100'
DATE: 11-01-2022 11:47:11 AM

LEGEND

WETLANDS (10.00 AC)

OPEN SPACE REQUIREMENTS:
PERIMETRY - 40' MINIMUM
INTERIOR - 100' MINIMUM

TOTAL OPEN SPACE: ONSITE 26.76 AC (50.64%)
OFFSITE 1.32 AC (2.62%)
TOTAL 28.10 AC (53.24%) (10% REQUIRED)

OPEN SPACE DEDICATION BY PHASE

PHASE	AREA	OPEN SPACE PER PHASE	TOTAL PROJECT PROJECT AREA	TOTAL PROJECT OPEN SPACE
1	13.96 AC	11.21 AC (79.24%)	13.96 AC	11.21 AC (79.68%)
2	18.02 AC	8.10 AC (45.10%)	33.92 AC	20.73 AC (61.11%)
3	3.63 AC	0.62 AC (17.27%)	37.51 AC	21.35 AC (56.92%)
4	4.14 AC	1.24 AC (29.95%)	41.85 AC	22.59 AC (54.23%)
5	9.22 AC	5.07 AC (55.41%)	90.87 AC	28.16 AC (30.98%)
		26.68 AC (53.77%)		

BROWN: EXISTING LIMITS
PURPLE: PHASE 5

OPEN SPACE NOTES:

TOTAL AREA: 50.87 ACRES
PUD AREA: 50.36 ACRES
TOTAL OPEN SPACE: 28.10 ACRES (55.24%) OF ENTIRE DEVELOPMENT

OPEN SPACE IN A SINGLE OPEN SPACE AREA = 18.47 ACRES (36.32%)

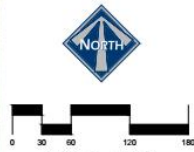
SECTION 18.18.11.C REQUIRES ONE-HALF OF ALL OPEN SPACE TO BE RETAINED IN A SINGLE OPEN SPACE AREA. OPEN SPACE PARCEL 5 MEETS THIS PUD REQUIREMENT.

"THIS DOCUMENT IS VALID ONLY IF USED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THE PROFESSIONAL ENGINEERING CONTRACT. ANY OTHER USES ARE VOID."
DATE: 11-01-2022
DRAWN BY: BHE

WATSON/HUBBARD
REMUND FARMS
OPEN SPACE
MASTER PLAN



PHASE 5



SCALE: 1"=60'
SCALE 1"=120' FOR 11"x17" PLANS

- LEGEND
- WETLANDS
 - TRAIL
 - IMPROVED DITCH OR POND
 - EXISTING UNITS
 - PROPOSED UNITS PHASE 5

END UNIT FRONT SETBACK NOTE:
16.16.5.C. THE CITY COUNCIL MAY WAIVE THIS REQUIREMENT (STAGGERED SETBACKS) WHEN A CURVILINEAR STREET DESIGN IS USED AND SHOWN TO CREATE THE SAME VARYING SETBACK EFFECT.

MIDWAY CITY CODE EXCEPTIONS NOTE:
THIS PLAN IS BASED ON THE FOLLOWING EXCEPTIONS ALLOWED IN CITY CODE:
-CLL-DE-SAC LONGER THAN 500 FEET WITH CITY COUNCIL APPROVAL
-WETLAND SETBACKS WITH CITY ENGINEER APPROVAL

THIS DOCUMENT IS RELEASED FOR REVIEW ONLY. IT IS NOT INTENDED FOR CONSTRUCTION UNLESS SIGNED AND SEALED.
PAUL D. BENS P.E.
SERIAL NO. 295095
DATE: 5 OCT 2022

WATTS ENTERPRISES
REMUND FARMS
PHASE 5
SITE PLAN

ENGINEERING
330 S. Main St. Suite 204
Midway, IA 50449
ph 435.657.9749

DESIGN BY: POB DATE: 5 OCT 2022 SHEET 5
DRAWN BY: RHJ REV:

08-23-2022 10:30 AM [Project Name] 11/17/2022 10:30 AM [Project Name]

ITEMS OF DISCUSSION

- Sensitive lands protection
 - Wetlands must be fenced with temporary construction fencing during construction of infrastructure and during home construction
- U. S. Army Corps of Engineers Letter
 - Approval has been received to encroach on 0.034 acres of wetlands in Phase 5
- Trails
 - North-south paved public trail
 - East-west soft surface private trail with a public access easement

WATER BOARD RECOMMENDATION

Phase 5 Water Rights per the 1/6/2020
Water Board Meeting:

Inside: 8.0/ac-ft

Irrigation: 6.75 ac-ft

Total Required: 14.75 ac-ft

POSSIBLE FINDINGS

- The proposed plan does meet the requirements of the code for a PUD in the R-1-15 zone
- The public trail system in the development benefits the entire community by creating trails that connect to existing trails and helps complete the master trail plan
- The proposal does comply with the approved revised master plan for this phase
- 5.57 acres of open space must be created as part of the development, which will be noted on the plat and restricted from future building or development.
- A wetlands area of 0.034 acres will be encroached upon in phase 5 and a letter has been received from the U. S. Army Corps of Engineers approving the encroachment.

RECOMMENDED CONDITION

1. The applicant will be required to survey the boundary of the wetlands and then install and maintain temporary construction fencing while site improvements are being installed and while homes are under construction.