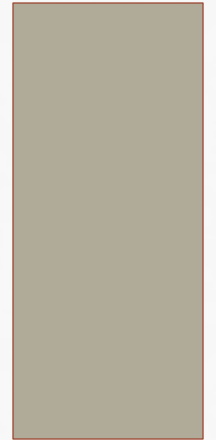


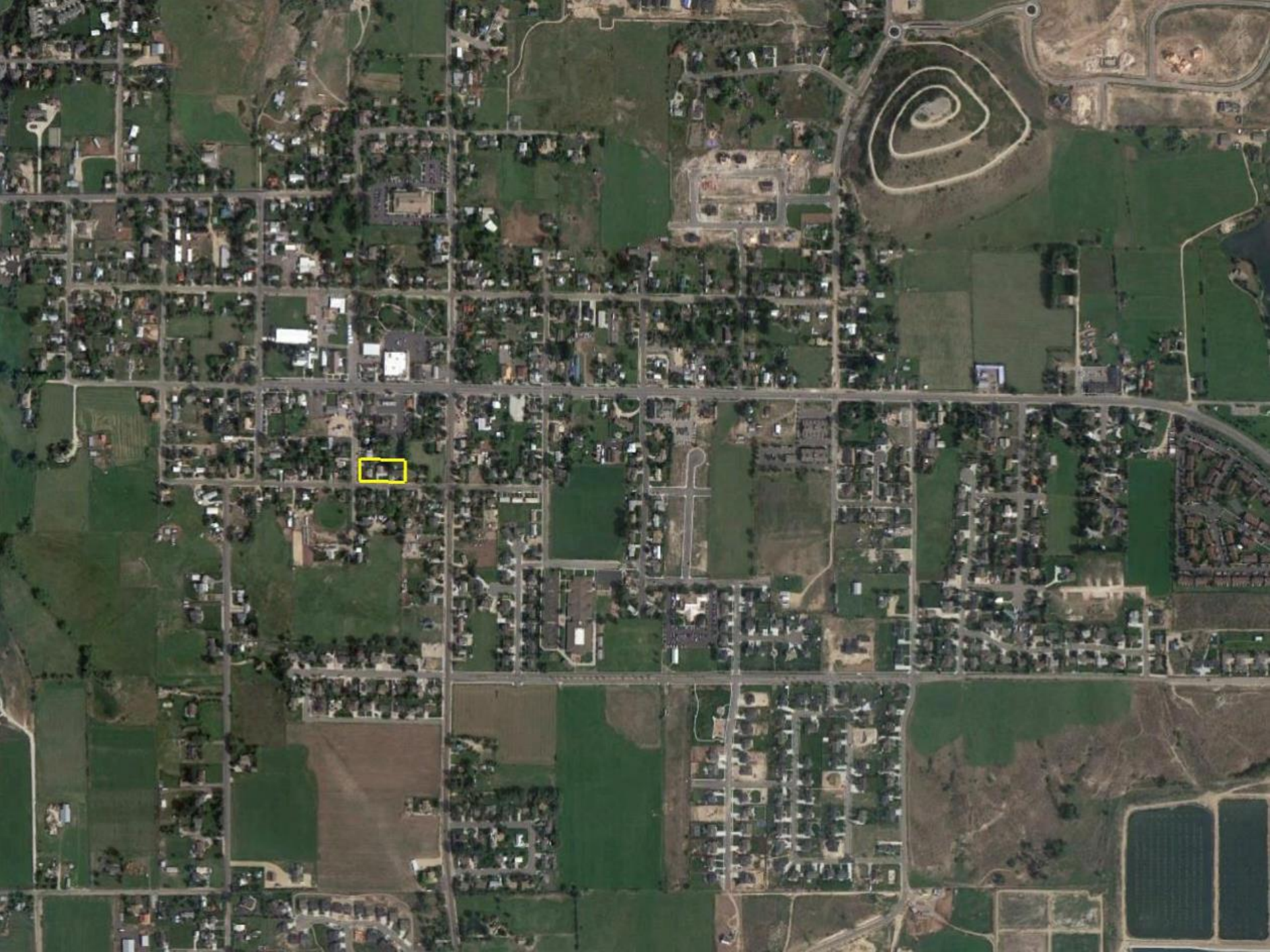
TRANSIENT RENTAL OVERLAY DISTRICT EXPANSION

ZONE MAP AMENDMENT

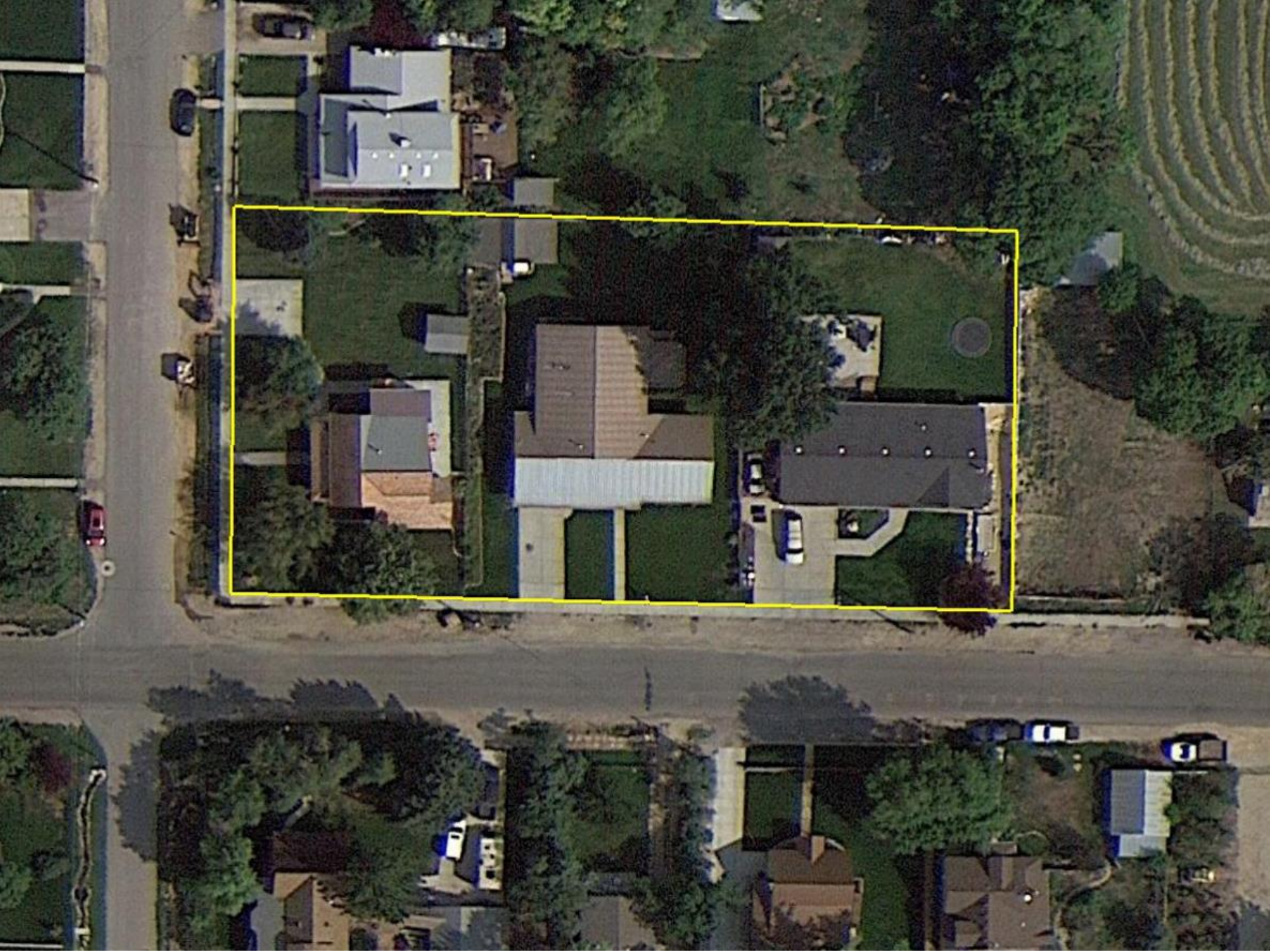


LAND USE SUMMARY

- R-1-7
 - Allows long-term rentals of 30 days or more
- 3 parcels
 - Heckel – 0.3 acres
 - Nelson – 0.3 acre
 - Lythgoe – 0.26 acres
- Contiguous to the TROD
- If included in the TROD then short-term rentals of 2-30 day are allowed as a Conditional Use
 - Number of people that can stay in the home, number of vehicles that can be parked at the home, a locally licensed property management company must manage the home, the home must pass several inspections, and other requirements also apply

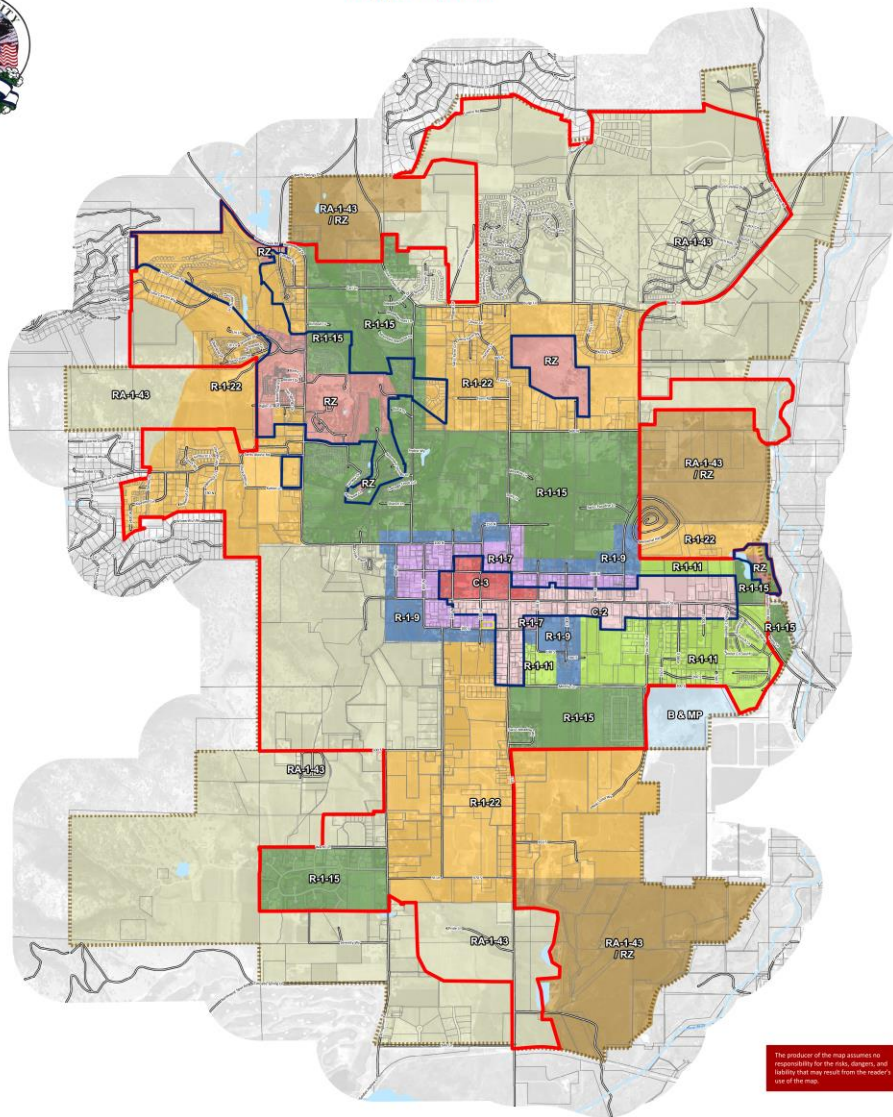






MIDWAY CITY - Land Use

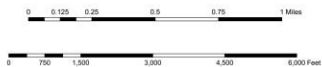
August 12, 2009



The producer of the map assumes no responsibility for the risks, dangers and liability that may result from the reader's use of the map.

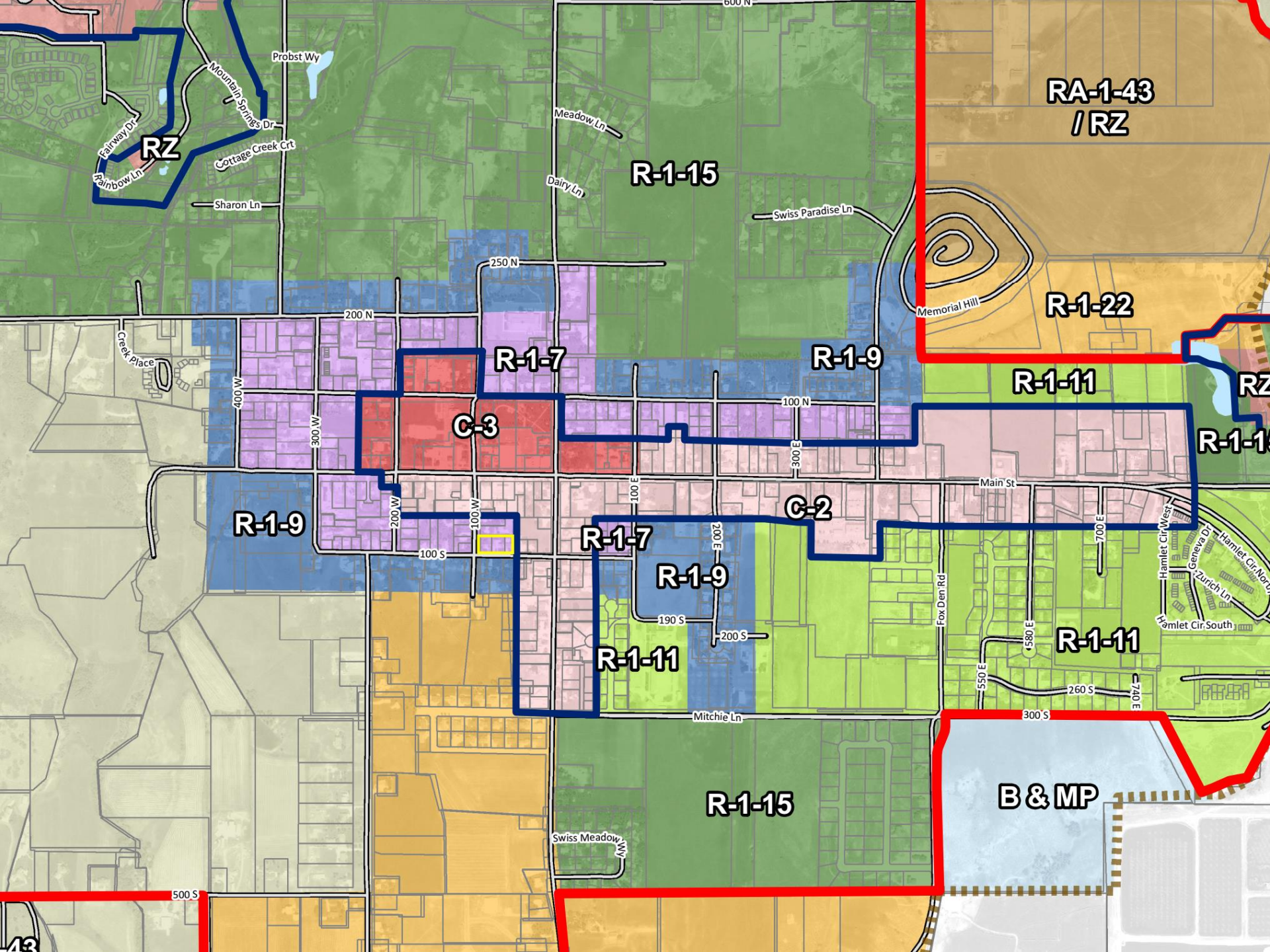
Legend

- | | | |
|------------------------|---------------|--------------|
| TRCD | Zoning | R-1-22 |
| Midway City | B & MP | R-1-7 |
| Midway Growth Boundary | C-2 | R-1-9 |
| Rivers | C-3 | RA-1-43 |
| Roads | R-1-11 | RZ |
| Water Body | R-1-15 | RA-1-43 / RZ |



Map Produced For Midway, CO by GIS/Chart Corporation
 Municipal and Professional Geographers
 Map Produced April 2009
 Map Projection: NAD 83
 Data Source: Midway City & Mountain County





C-3

Area of extended TROD

200 W

100 W

100 E

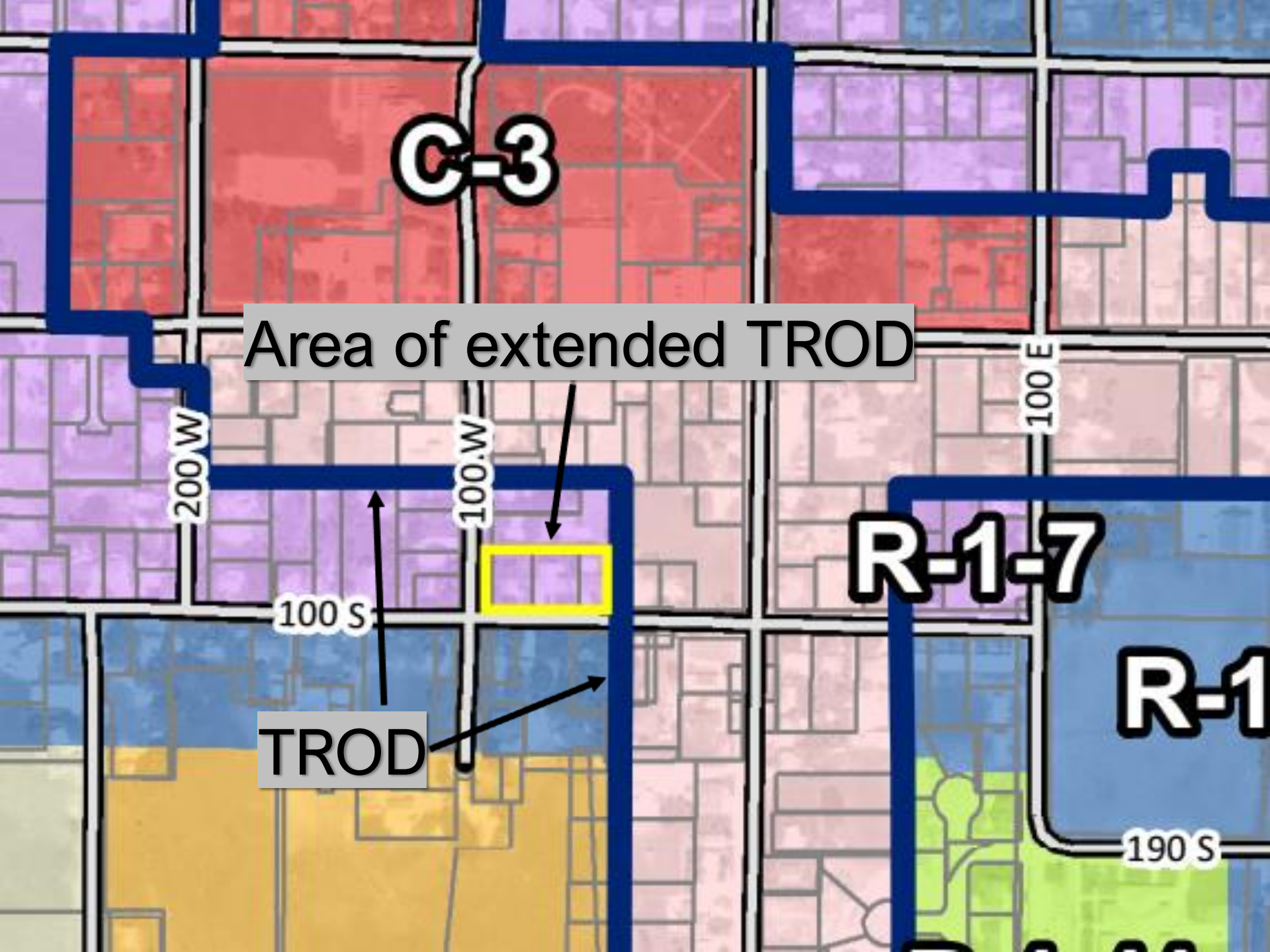
100 S

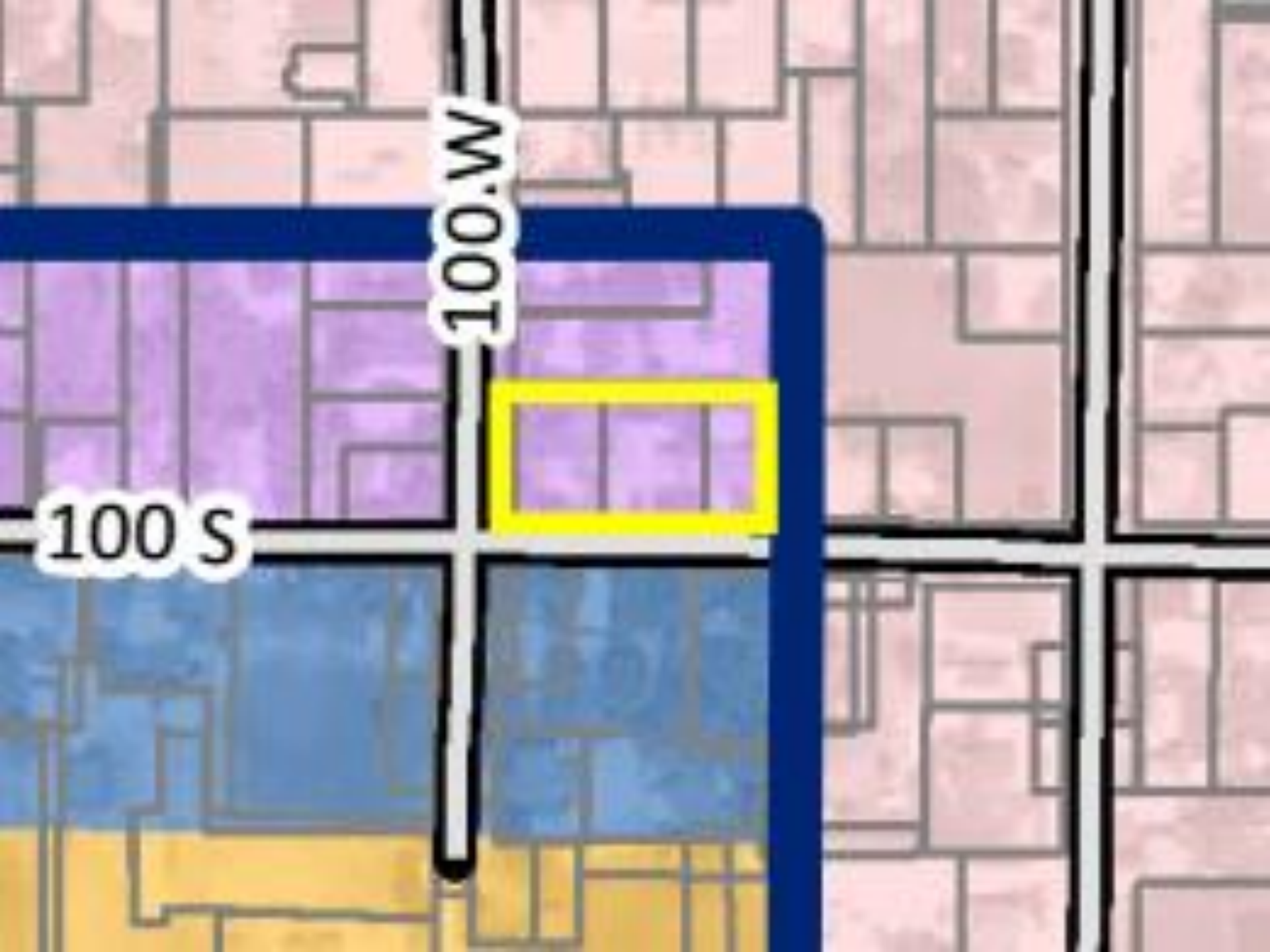
TROD

R-1-7

R-1

190 S





100.W

100 S

POSSIBLE FINDINGS

- One of the proposed properties is contiguous to the TROD.
- Three-fourths of block four is currently within the TROD boundary.
- The applicants will need to apply for a Conditional Use Permit if the zone amendment is successful.
- Renting the property will generate more transient rental taxes for the City.
- The city council is under no obligation to approve but may do so if they feel it will benefit the community.