



Midway

CITY COUNCIL MEETING STAFF REPORT

DATE OF MEETING: June 14, 2022
NAME OF PROJECT: Watts Remund Farms PUD – Phase 4
NAME OF APPLICANT: Watts Enterprises (Russ Watts)
AGENDA ITEM: Phase 4 - Final
LOCATION OF ITEM: 280 East Rockwell Way
ZONING DESIGNATION: R-1-15

Watts Enterprises, agent for Midway Springs LLC Series II, is proposing final approval of phase 4 of Remund Farms PUD. The proposal contains 7 lots on 4.14 acres. The property is located at 280 East Rockwell Circle and is in the R-1-15 zone.

ITEM: 5

BACKGROUND:

Watts Enterprises is seeking final approval of phase 4 of the Watts Remund Farms master plan which is comprised of a small-scale standard subdivision and Planned Unit Development (PUD). Preliminary approval of Phase 4 was approved by the City Council on May 3, 2022, and contains seven building pads located on 4.14 acres. This area of the proposed PUD has historically been in agricultural production. Phase 4, previously known as Phase 3B, received preliminary approval from the City Council on January 7, 2020 but has lapsed since a final application was not submitted within the one-year time frame outlined in the code. Because of this, the applicant is required to obtain a new preliminary approval from the City Council before applying for final approval. The

applicant received a revised masterplan approval for Phase 4 on September 7, 2021, allowing for some additional variation in the pad footprints. This proposal reflects those adjustments.

There is generally a high-water table on the property, which lends itself to wetlands which are present in this phase. Residents of the city, particularly those living next to the property, have raised concerns with staff in the past regarding the development and potential impacts that it may have on surrounding properties. The City is committed to assuring that all code requirements are met and that impacts are mitigated as they are identified during the approval and construction process. To identify impacts, several studies have been conducted on and off site. These studies will be discussed later in this report.

There are seven building pads proposed in this phase which are of various sizes ranging from 48' x 68' (3,264 sq. ft.) to 67' x 68' (4,556 sq. ft.) in size. All structural improvements must be located within the building pad for each dwelling including window wells, eave overhangs, bay window, pop outs, decks, pergolas, and other structural items. Also, all units have a height limit of 35' measured from natural grade. Because of the grading on-site and the height of structures, the developer, or builder, must ensure that all heights are based on natural, pre-development grades.

The trails in this phase are private, with a public use easement, and will connect into adjacent phases that have already been platted. The trails will be soft surface except for the trail that connects to the Swiss Paradise Lane and the trail required along 600 North. As a condition of the revised master plan approval, the developer is required to improve the previously installed soft surface trail connecting the Rockwell Way cul-de-sac to Swiss Paradise Lane and onto River Road.

The streets located within the area of the PUD will be private roads and will be maintained by the homeowners' association (HOA). A public access easement will allow access to all the streets in the PUD. All on-site open space will be common area that will be owned by the HOA.

Sensitive lands are also located on the property and will be left undisturbed as required by the land use ordinance. These sensitive lands include wetlands.

LAND USE SUMMARY:

- 4.14 acres
- 1.24 acres of open space
- R-1-15 zoning
- Proposal contains seven pads

- Private roads, with a public access easement, will be maintained by the HOA
- The lots will connect to the Midway Sanitation District sewer and to the City's water line.
- Trails within this phase are private with public easements
- Sensitive lands of the property include wetlands

ANALYSIS:

Open Space – The code requires that each phase that is approved that there is enough open space to comply with the requirements of the code. For example, phase I must have at least 50% open space for that particular phase. If phase I has 75% open space, then phase II only needs to have 25% open space if both phases are equal in acreage. Phase 4 has approximately 1.24 acres of open space, bringing the overall development total to 54.23% open space.

Open Space Credit – The City Council has approved off-site open space for this proposal. Watts Enterprises owned property around the River Road roundabout which is parcel OMI-0563-0-026-034 and comprises 1.32 acres. This property was deeded to the City. The property was part of the open space requirement for the development and 2.2 units of density were granted to the developer as part of the approval. Watts Enterprises has landscaped the property and deeded the required water rights to the City as it would if the open space were part of the open space within the Watts Remund Farms PUD. Watts Remund Farms HOA are required to maintain the open space.

Density – The density allowed for the entire master plan is 97 units, seven of which are the units in this phase.

Geotechnical Study – The developers have submitted a geotechnical study to the City as part of the application. Horrocks Engineers has reviewed that that study to determine if any special requirements are needed for construction of the roads and future structures in the development. Please see attached letter from Horrocks.

Public Participation Meeting – The developers held a public participation meeting on July 10, 2017 as required by the ordinance for master plan applications. This requirement is to give the developers an opportunity to present the development to the surrounding residents of the proposed development.

Sensitive Lands – This phase contains and is adjacent to wetlands that will not be disturbed through the development process. A study has been submitted by the developer and has been reviewed by three organizations that include The Army Corps

of Engineers, Horrocks Engineers, and another third-party wetland expert that was selected by the City. The wetlands will become part of the open space for the development and will be preserved. The applicant is required to survey and stake the boundaries of the wetland and then install temporary construction fencing previous to site improvements and home construction in this phase. Over excavating into the wetlands is not an option. The construction fence should be inspected regularly to ensure that it is functioning properly. Any needed repairs need to be made promptly.

There is an existing ditch that runs along the east boundary of phase 4 that will remain and should not be impacted by the development.

Staggered Setbacks – The Land Use Code requires staggered setbacks to help mitigate the “wall effect” that dwellings with the same setback on a straight street creates. The code states the following in Section 16.16.8.5.c:

Front setbacks for buildings from all private streets within the PUD shall be staggered at seven and one-half feet variances, with 25 feet the minimum setback. One-third of the buildings containing dwelling units shall be at each of at least three different setbacks as recommended by the Planning Commission and approved by the City Council. For example, one-third at 25 feet, one-third at 32 ½ feet and one-third at 40 feet. Setbacks for accessory buildings shall be as recommended by the Planning Commission and approved by the City Council. Setbacks from private streets shall be measured from top-back of curb or back of sidewalk or trail, whichever is further from the street centerline. The City Council may waive this requirement when a curvilinear street design is used and shown to create the same varying setback effect.

The application has staggered the front setback of the units in the proposed phases which will help reduce the “wall effect”.

Phase 1 Environmental Study and Water Study – The developer has submitted the required Environmental Study and requested water study. Horrocks Engineers has reviewed both and has commented on it in their review letter.

Trails – This phase will include a public 6’ soft surface perimeter trail that connects into adjacent phases. As part of the master plan approval, the applicant is required to improve the existing trail along Swiss Paradise Lane to be a 6’ paved public trail. They will also be required to improve the existing trail on Swiss Paradise lot 3 to be an improved public trail. This trail section is required to connect Swiss Paradise Lane to the Rockwell Circle cul-de-sac sidewalk in Phase 4. These trails should be noted as public and built according to Midway City trail standards. The applicant is also required to contribute the funds associated with installing the 8’ asphalt trail from Farm Hill Lane to 200 East to the general trails fund. The funds will be used when the trail is completed in the future as part of a larger improvement project. They will also extend the attached trail along 600 North.

Approval Duration - The duration of final approval shall be for one year from the date of final approval of the development by the City Council. Should a final plat not be recorded by the County Recorder within the one-year period of time, the development's approval shall be voided, and both preliminary and final approvals must be re-obtained, unless, on a showing of extenuating, the City Council extends the time limit for plat recording, with or without conditions. Such conditions may include, but are not limited to, provisions requiring that: (a) construction must be conducted according to any new City standards in effect at the time the plat is ultimately recorded; (b) the property must be maintained in a clean, dust-free, and weed-free condition at all times; (c) each extension will be for a one-year period only, after which time an annual review must be presented before the City Council; and/or (d) no more than three one-year extensions will be allowed. The granting or denying of any extension, with or without conditions, is within the sole discretion of the City Council, and an applicant has no right to receive such an extension.

WATER BOARD RECOMMENDATION:

Phase 4 Water Rights per the 1/6/2020 Water Board Meeting:

Inside: 5.60/ac-ft

Irrigation: 7.68 ac-ft

Total Required: 13.28 ac-ft

PROPOSED FINDINGS:

- The proposed plan does meet the requirements of the code for a PUD in the R-1-15 zone
- The public trail system in the development benefits the entire community by creating trails that are separated from roadways
- The proposal does comply with the approved revised master plan for this phase
- Any failure to record the plat within one year of the approval of the Final Plan by the City Council shall terminate all proceedings and render the Final Plan null and void
- 1.24 acres of open space must be created as part of the development, which will be noted on the plat and restricted from future building or development.
- The public trail from River Road to Rockwell Circle will be improved and the funds for the construction of the trail along 600 North be contributed to the

3. The applicant will be required to install the remaining attached trail along 600 North
4. The applicant will be required to survey the boundary of the wetland and then install and maintain temporary construction fencing while site improvements are being installed and while homes are under construction.

April 12, 2022

Midway City
Attn: Michael Henke
75 North 100 West
Midway, Utah 84049

Subject: Remund Farms – Phase 4 Preliminary Review

Dear Michael:

Horrocks Engineers recently reviewed the above development plans for Preliminary Approval. The proposed development is located near 200 East and 600 North. The entire development is 50.87 acres and contains 97 lots. Phase 4 is 4.14 acres and contains 7 lots. The following comments should be addressed.

Wetlands

- All wetland delineations have been approved with the US Army Corp of Engineers.
- Several units encroach within the 25' wetlands setback as approved by the City Council with the Master Plan Approval of the development. However, no units encroach within the actual wetlands.
- Any construction activities that will impact the delineated wet lands will need approval from the US Army Corp of Engineers.
- Delineated wet lands shall be surveyed and construction fence shall be installed to delineate the wet land boundaries.

Geotechnical and Hydrogeologic Investigation

- As part of the Phase 1 geotechnical investigation the developer installed and are monitoring 27 boring pits/piezometers over the entire site.
- To monitor the groundwater elevation, the groundwater at each piezometers was read during the construction of Phase 1 - 3. As construction of future phases takes place monitoring will continue to be documented.
- Hydrological analysis as previously done by Loughlin Water Association and Developer for Phases 1 – 3 should continue as previously approved for the site.

Water

- The proposed development will be served from the Gerber Mahogany Springs zone.
- The mainline water for phase 4 was completed as part of the work in phase 2.

Irrigation

- The proposed development will connect to existing irrigation from Phase 2 and install services with meters according to Midway Irrigation Company standards.

Roads

- The proposed development will install 26' of asphalt, modified curb on each side of the road, with a 5' park strip and 5' sidewalk on one side of the road. The developer will pay to the City the cost savings of installing 26' of asphalt rather than the standard 30' of asphalt.
- All roads with in the proposed development will be private roads, with a public easement.

Trails

- There are private with public use gravel and asphalt trails within this phase of the development.
- As part of this phase, the development will pave a trail from the proposed cul-de-sac to 300 north 10' wide with 5' gravel shoulders on each side. This will also be used for emergency access.
- The development will also pave a 6' attached trail with rumble strips from the above-mentioned location to River Road.
- The development will contribute \$10,350 to install a trail at the northwest corner of phase 1. This trail will take the existing attached trail on the west side of Remund farms on 600 North to the intersection of 600 North and Farm Hill Lane.

Storm Drain

- The storm drain system will be private and will be collected within the proposed curb and gutter and discharged to a series of catch basins and retention basins with the development.
- Remund Farms HOA will be responsible for maintenance of the storm system. This needs to be updated in the development agreement.

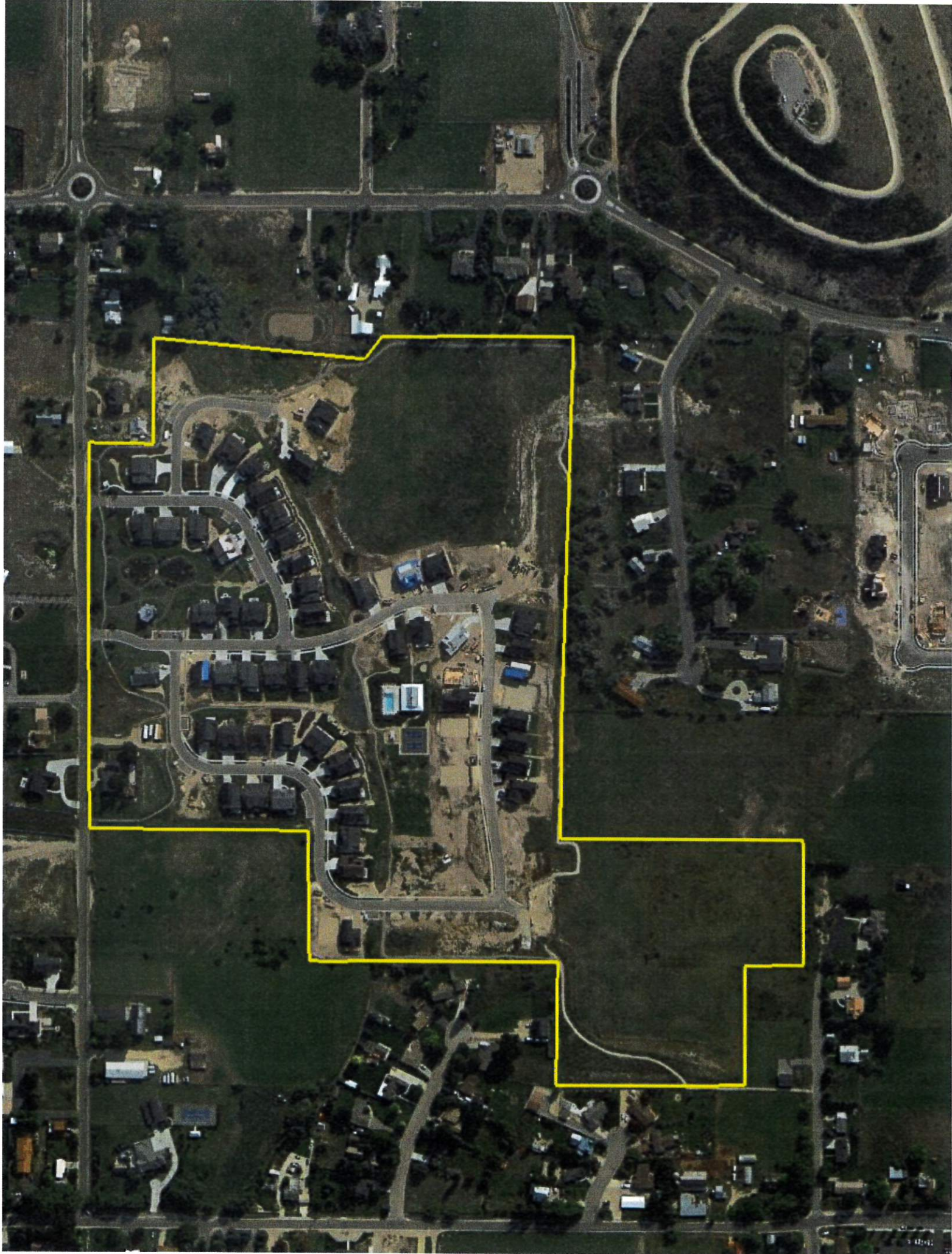
Please feel free to call our office with any questions.

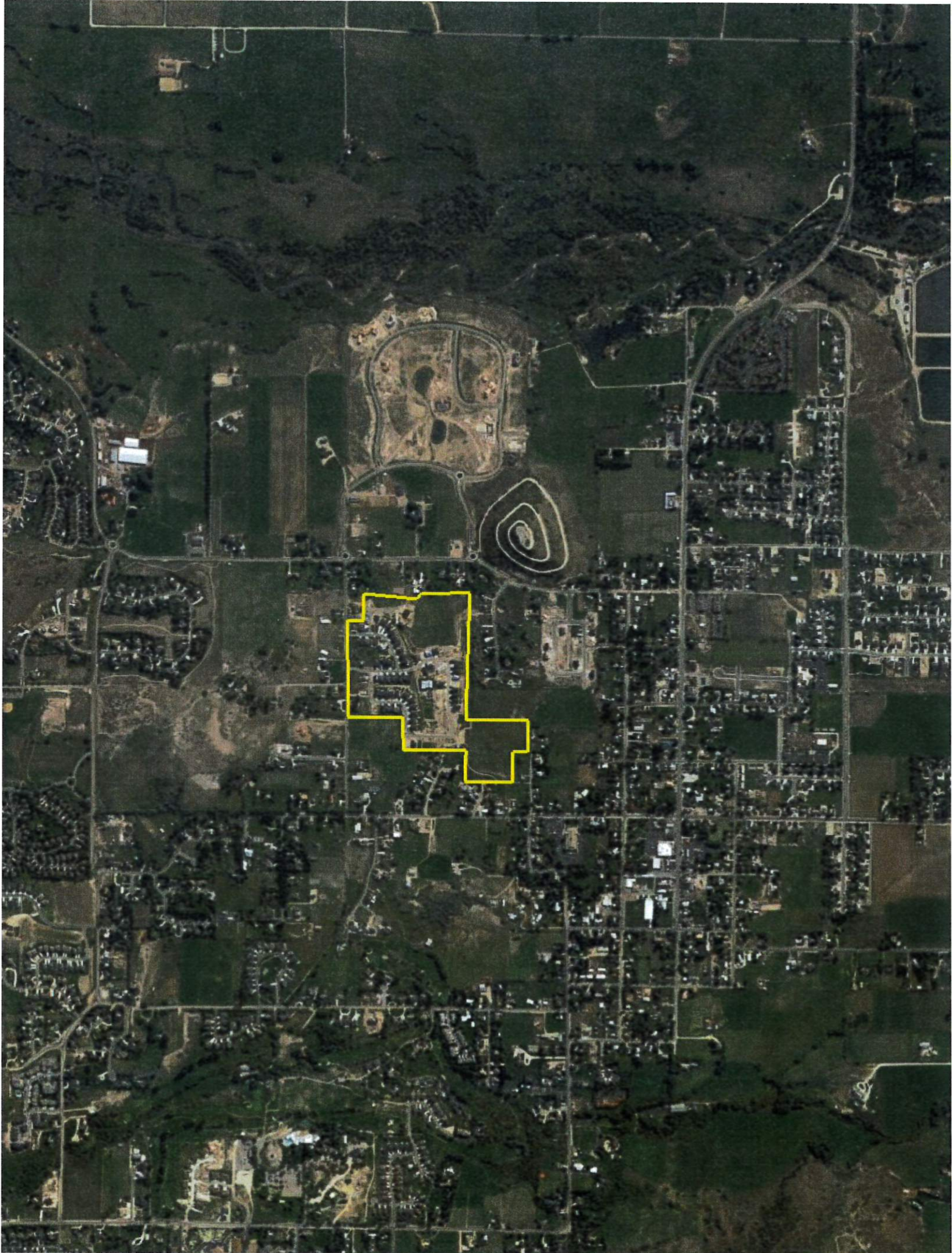
Sincerely,
HORROCKS ENGINEERS

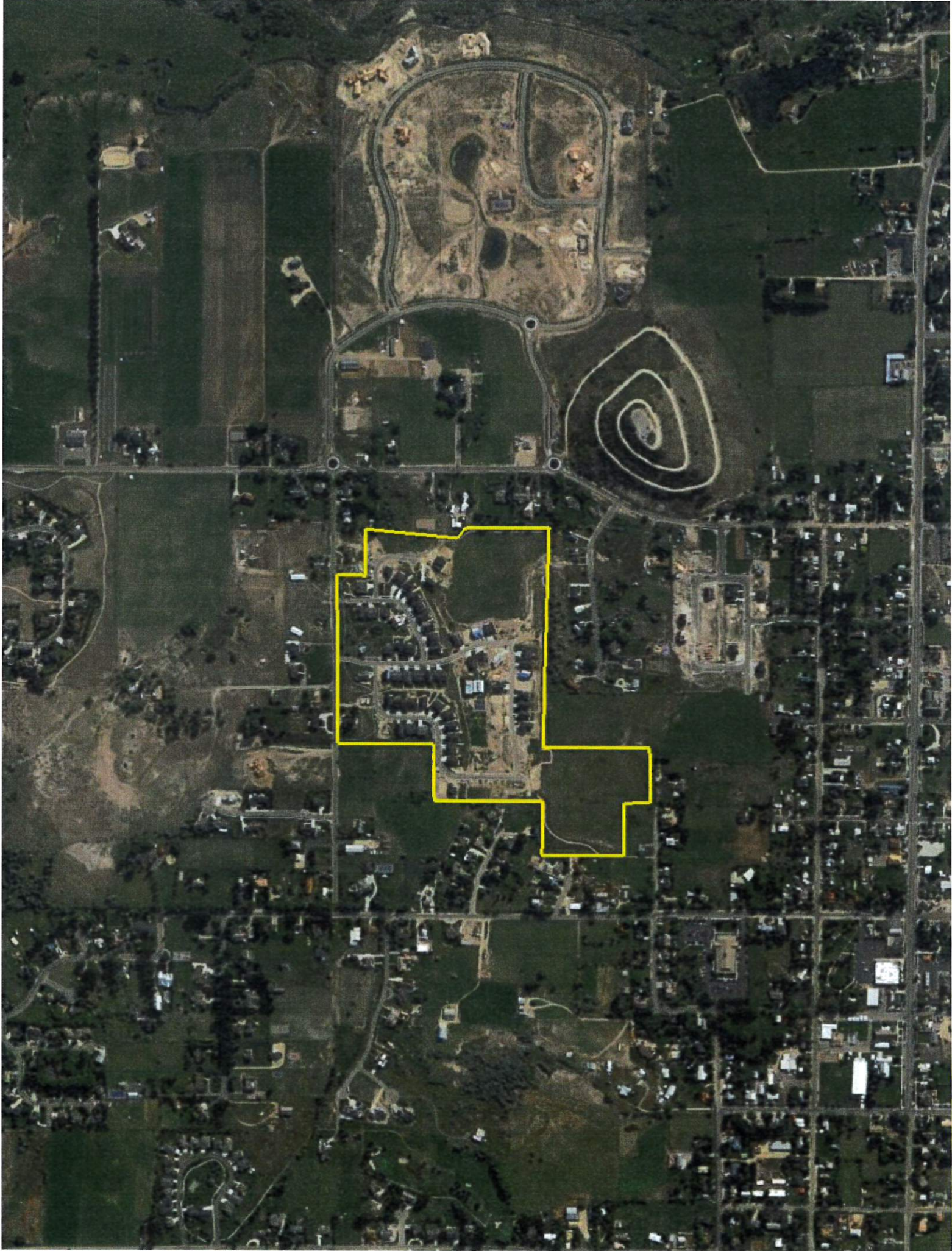


Wesley Johnson, P.E
Midway City Engineer

cc: Berg Engineering





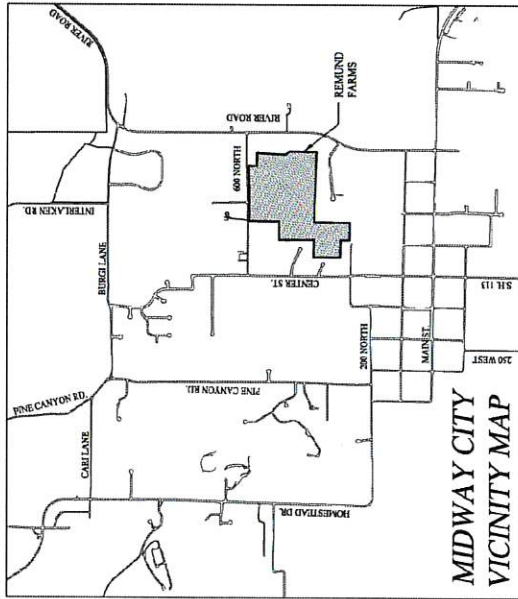


REMUND FARMS

PHASE 4 - PRELIMINARY & FINAL PLANS

SHEET INDEX

1. PHASE 4 EXISTING CONDITIONS PLAN
2. APPROVED MASTER PLAN
3. PHASING PLAN
4. OPEN SPACE MASTER PLAN
5. PHASE 4 SITE PLAN
6. PHASE 4 LANDSCAPE PLAN
7. REMUND FARMS PUD - PHASE 4 PLAT
8. ROCKWELL CIRCLE PLAN AND PROFILE STA 0+00 TO 5+85
9. ROAD CONSTRUCTION DETAILS
10. UTILITY MASTER PLAN
11. PHASE 4 SEWER PLAN
12. ROCKWELL CIRCLE SEWER PLAN & PROFILE
13. SEWER CONSTRUCTION DETAILS
14. PHASE 4 WATER PLAN
15. PHASE 4 PRESSURIZED IRRIGATION PLANE
16. WATER & PI CONSTRUCTION DETAILS
17. PHASE 4 STORM DRAIN PLAN
18. ROCKWELL CIRCLE STORM DRAIN PLAN & PROFILE
19. STORM DRAIN CONSTRUCTION DETAILS
20. PHASE 4 STORM WATER POLLUTION PREVENTION PLAN



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DATE: 07/24/2022

WATTS ENTERPRISES	
REMUND FARMS	
COVER SHEET	
DATE: 07/24/2022	REV: 0



SCALE: 1"=100'
 SCALE 1"=200' FOR 11"x17" P. PLANS

- LEGEND**
- WETLANDS
 - EXISTING DITCH
 - EXISTING SCAR
 - EXISTING PRESSURIZED IRRIGATION
 - EXISTING WATER
 - EXISTING STORM DRAIN

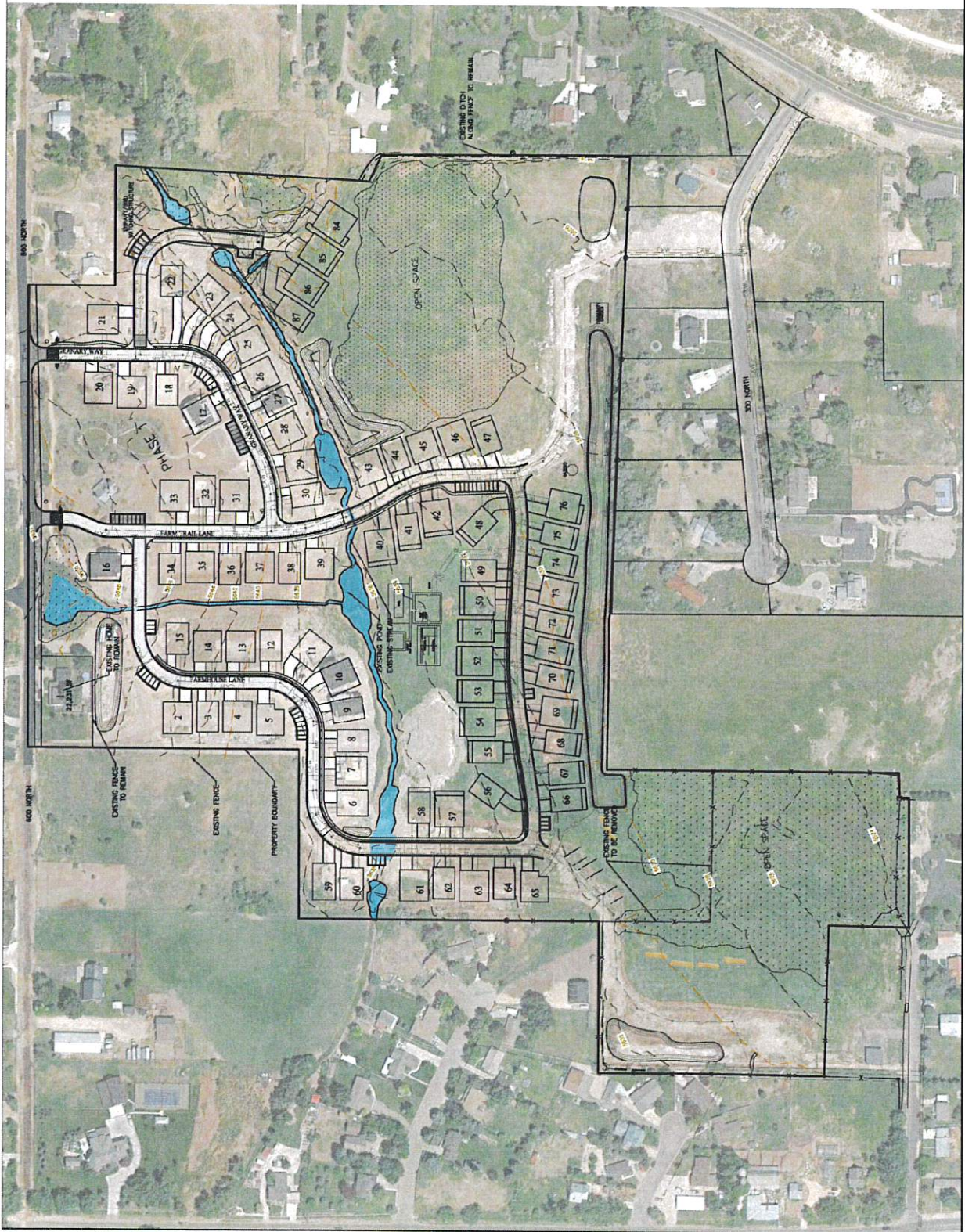
NOTES:
 1. THE LOCATION OF EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR RE-LOCATING UTILITIES.

THIS DOCUMENT IS RELEASED FOR REVIEW ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION UNLESS SHOWN AND SIGNED BY THE ENGINEER.
 SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION.
 DATE: 8.14.2012

WATTS ENTERPRISES
 REMUND FARMS
 PHASE 4
 EXISTING CONDITIONS PLAN

BERG ENGINEERING
 10000 W. 10th Ave., Suite 100
 Denver, CO 80202
 PHONE: 303.751.1111

DESIGNED BY: TTB
 DRAWN BY: CSB
 DATE: 8.14.2012
 SHEET: 1



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LEGEND

WETLANDS

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PHASING	AREA	UNITS
PHASE 1	18.00 ACRES	40-43
PHASE 2	18.00 ACRES	39-42, 44-47, 48-49
PHASE 3	3.53 ACRES	53-58
PHASE 4	4.14 ACRES	77-83
PHASE 5	9.22 ACRES	58-67

WATER RIGHTS PHASE	TOTAL AREA	RESERVES & OPEN SPACES	ROADS & CANALS	TABLE & SIDEWALKS	NET AREA & RESERVATED AREAS
1	18.00 AC	4.87 AC	1.88 AC	0.77 AC	0.68 AC
2	18.00 AC	3.23 AC	1.40 AC	0.88 AC	5.05 AC
3	3.53 AC	1.51 AC	0.01 AC	0.14 AC	1.78 AC
4	4.14 AC	0.80 AC	0.45 AC	0.22 AC	0.15 AC
5	9.22 AC	1.00 AC	0.37 AC	0.27 AC	3.62 AC

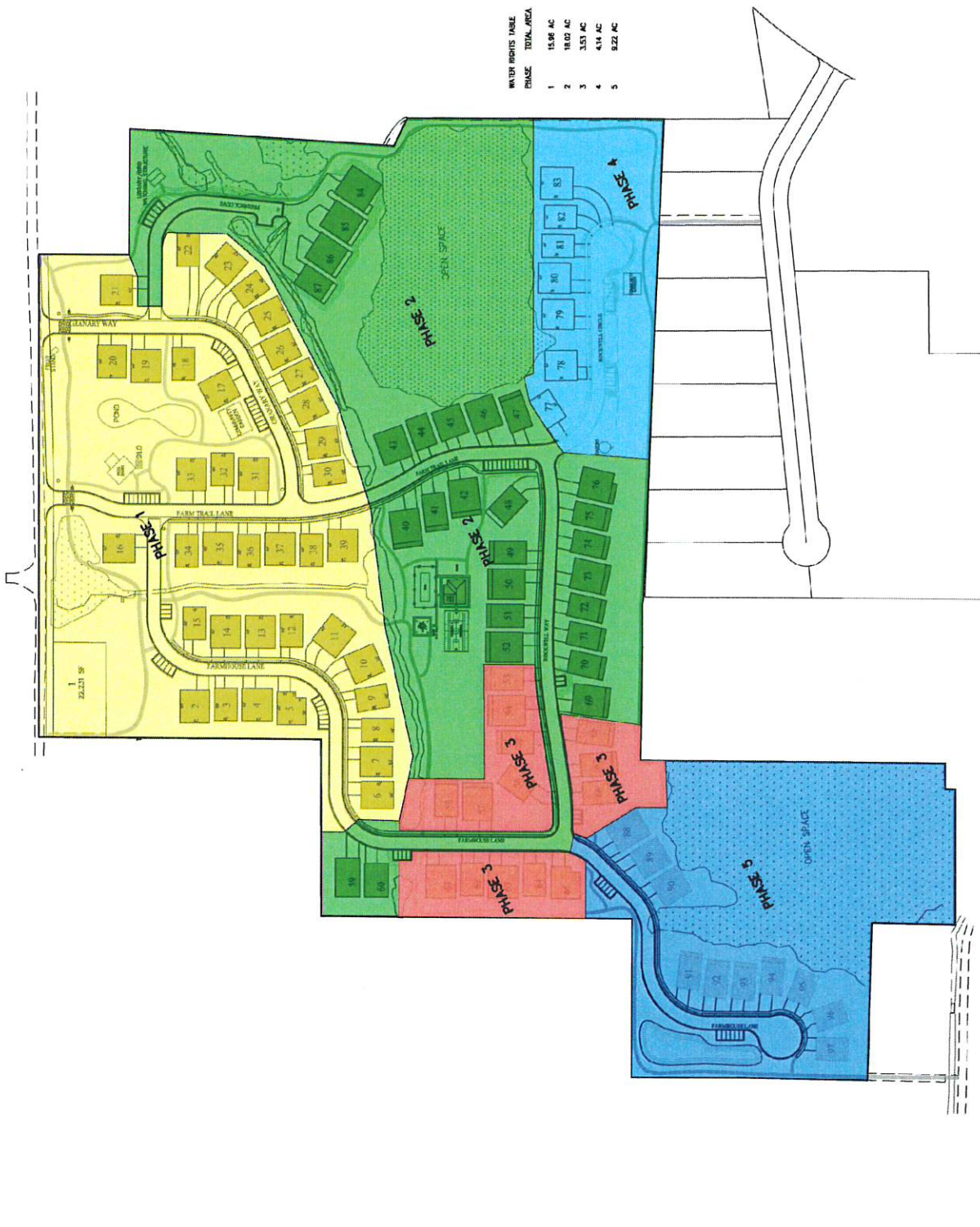
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DATE: 31.MAR.2022

WATTS ENTERPRISES
 REMUND FARMS
 PHASING PLAN



DATE: 31.MAR.2022
 SHEET 3



11/20/2021 10:58 AM - 11/20/2021 10:58 AM - 11/20/2021 10:58 AM - 11/20/2021 10:58 AM - 11/20/2021 10:58 AM



SCALE 1"=200' FOR 11"X17" PLANS

LEGEND
 METLANDS (16.00 AC)

OPEN SPACE REQUIREMENTS:
 PROPERTY - 47 ACRE
 MINIMUM - 100 ACRE
 TOTAL OPEN SPACE: 23.59 AC (50.84%)
 OFFSITE: 23.59 AC (50.84%)
 TOTAL: 28.10 AC (60.24%) (ONE REQUIRED)

PHASE	AREA AC	1.32 AC (10.00%)	18.02 AC (43.10%)	3.53 AC (8.77%)	4.14 AC (10.33%)	5.22 AC (13.38%)	TOTAL PROJECT AREA AC	TOTAL OPEN SPACE AC
1	15.78	15.78	15.78	15.78	15.78	15.78	15.78	15.78
2	18.02	18.02	18.02	18.02	18.02	18.02	18.02	18.02
3	3.53	3.53	3.53	3.53	3.53	3.53	3.53	3.53
4	4.14	4.14	4.14	4.14	4.14	4.14	4.14	4.14
5	5.22	5.22	5.22	5.22	5.22	5.22	5.22	5.22
TOTAL	42.69	42.69	42.69	42.69	42.69	42.69	42.69	42.69

EXISTING UNITS
 PROPOSED UNITS IN PHASE 4
 FUTURE UNITS (PHASE 5)

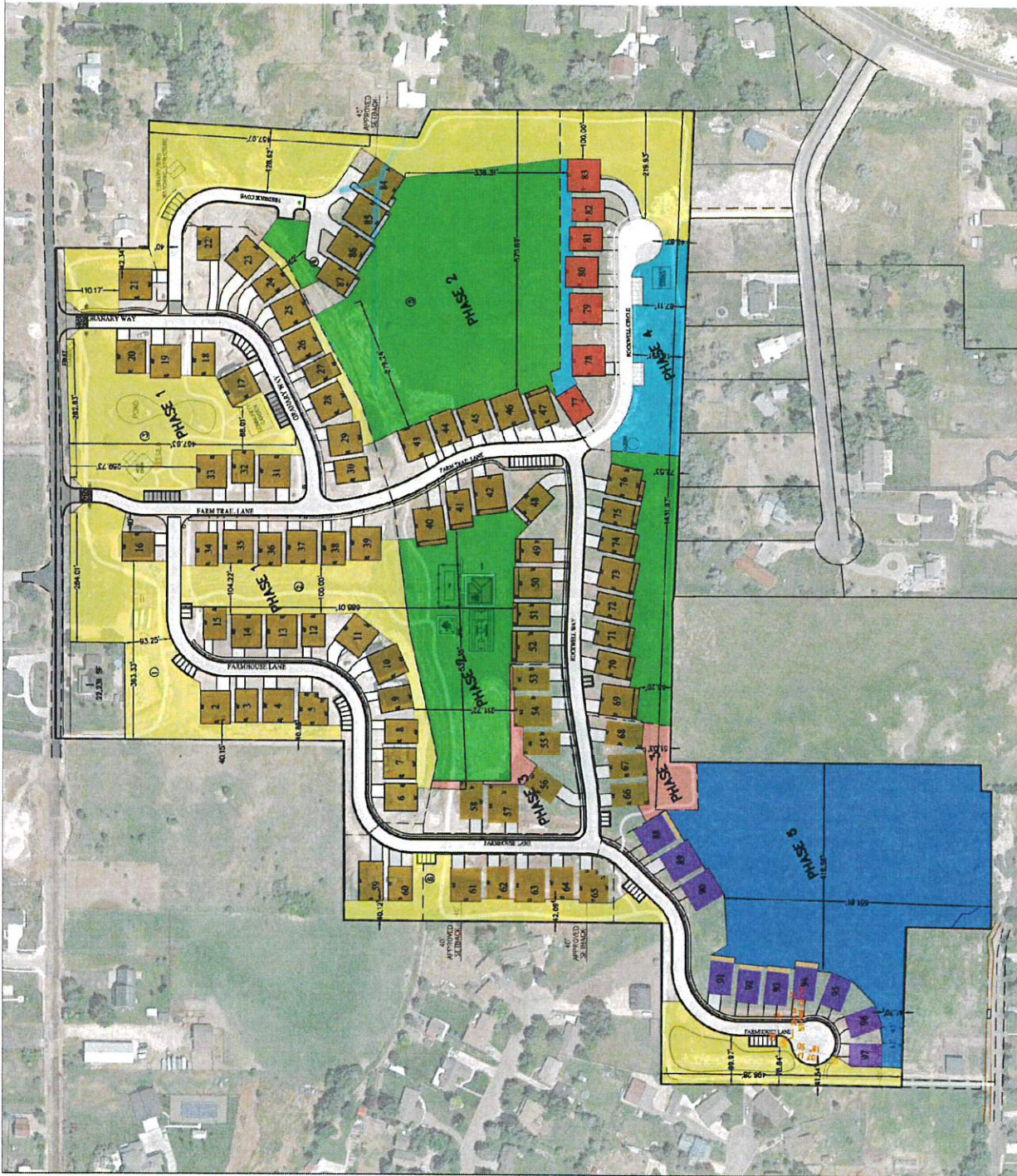
OPEN SPACE NOTES:
 TOTAL AREA: 50.87 ACRES
 TOTAL OPEN SPACE: 28.10 ACRES (55.24%) OF ENTIRE DEVELOPMENT
 OPEN SPACE IN A SINGLE OPEN SPACE AREA = 18.47 ACRES (36.33%)
 SECTION 18.111.5 REQUIRES ONE-HALF OF ALL OPEN SPACE TO BE PLANNED IN A SINGLE OPEN SPACE AREA. OPEN SPACE PARCEL 5 MEETS THIS REQUIREMENT.

THIS DOCUMENT IS RELEASED
 UNDER THE PROVISIONS OF THE
 OPEN PUBLIC RECORDS ACT
 OF THE STATE OF TEXAS
 DATE: 08/26/2022

WATTS ENTERPRISES
 REMUND FARMS
 OPEN SPACE
 MASTER PLAN



DESIGNED BY	DATE	REV
WATTS ENTERPRISES	08/26/2022	4



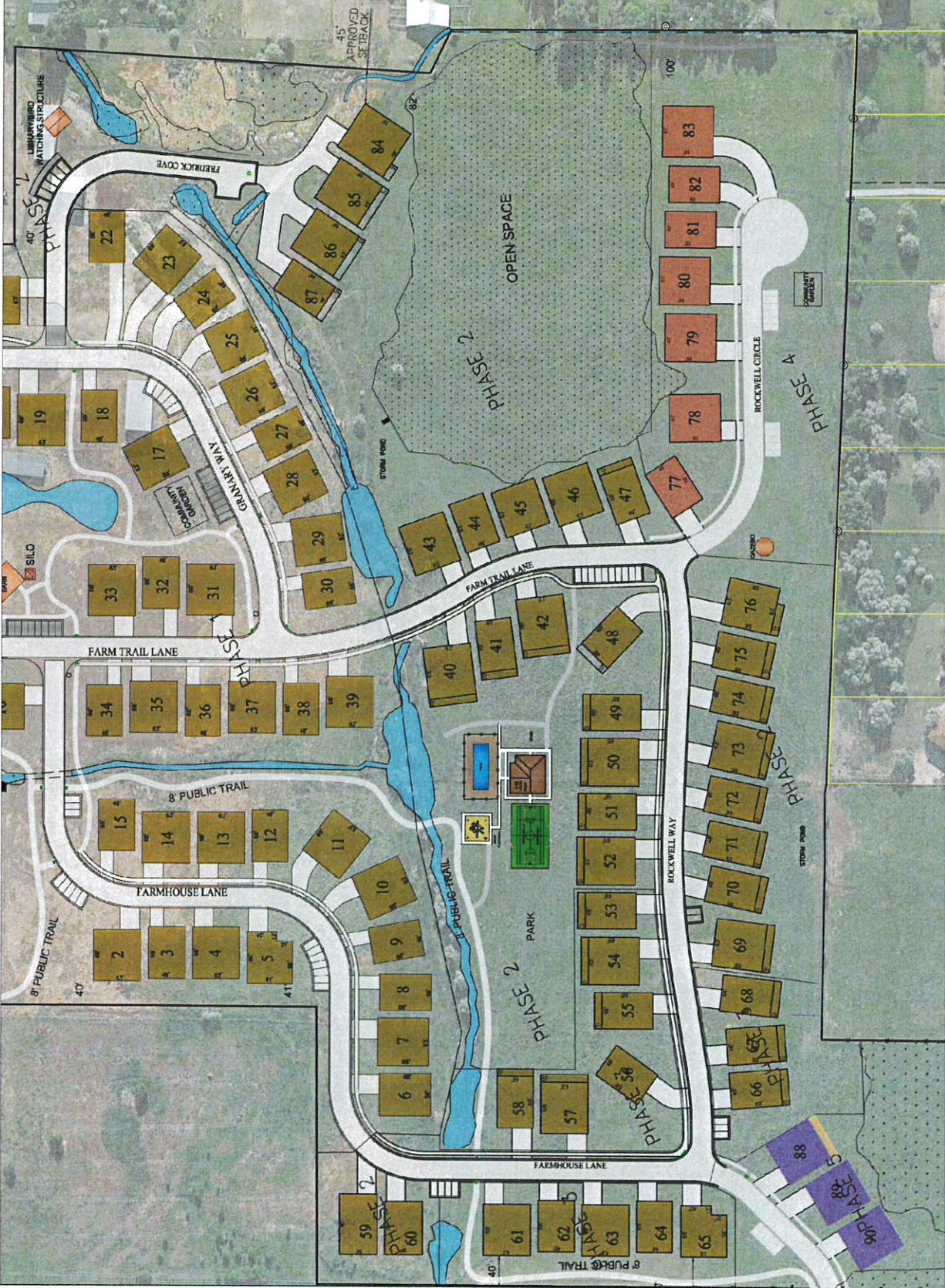


- LEGEND**
- METLANDS
 - TRAIL
 - IMPROVED DITCH OR FORD
 - EXISTING UNITS
 - PROPOSED UNITS PHASE 4

DO NOT CROSS SETBACK LINES:
 -UNLESS THE CITY ENGINEER HAS WAIVED THIS REQUIREMENT (STANDARD SETBACKS)
 -STANDARD SETBACKS: 30' SIDE YARD, 5' FRONT YARD, AND 10' REAR YARD UNLESS OTHERWISE NOTED AND SHOWN TO BE THE SAME WAIVING SETBACK EFFECT.
MINOR CITY CODE EXCEPTIONS NOTE:
 -SETBACKS ALONG IN CITY CODE
 -TOP OF CURB LONGER THAN 500 FEET WITH
 -REAR SETBACKS WITH CITY ENGINEER APPROVAL

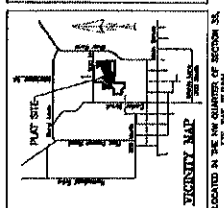
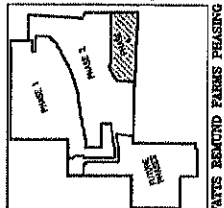
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 PURPOSES ONLY AND SHALL BE
 VOID IF NOT USED WITHIN THE
 DATE: 8/14/2023

WATTS ENTERPRISES REMUND FARMS
PHASE 4 SITE PLAN
BERG ENGINEERING 1000 N. 10th St., Suite 204 Fargo, ND 58103 PHONE: 701.785.1234 FAX: 701.785.1235
DESIGNED BY: FCB DATE: 5/14/2023
DRAWN BY: CCB REV: _____
SHEET 5



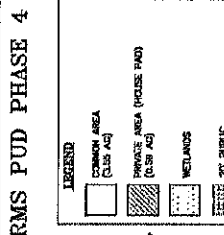
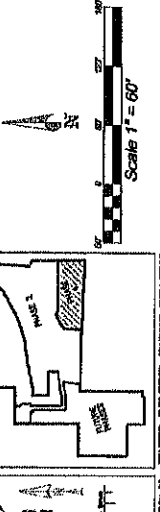
Small text at the bottom of the page, likely a disclaimer or project information.

WATTS REMUND FARMS PUD PHASE 4



ADDRESS TABLE

LOT	ADDRESS
1	1710 S. HANCOCK BL.
2	1720 S. HANCOCK BL.
3	1730 S. HANCOCK BL.
4	1740 S. HANCOCK BL.
5	1750 S. HANCOCK BL.
6	1760 S. HANCOCK BL.
7	1770 S. HANCOCK BL.
8	1780 S. HANCOCK BL.
9	1790 S. HANCOCK BL.
10	1800 S. HANCOCK BL.
11	1810 S. HANCOCK BL.
12	1820 S. HANCOCK BL.
13	1830 S. HANCOCK BL.
14	1840 S. HANCOCK BL.
15	1850 S. HANCOCK BL.



BOUNDARY DESCRIPTION
 BEGINNING AT A POINT WHICH IS NORTH 86-45'03" EAST 1582.28 FEET AND SOUTH 110'07" WEST FROM THE FOUND NORTHEAST CORNER SURVEY MONUMENT FOR THE NORTHEAST CORNER OF SECTION 36, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND CONTAINING 4.14 ACRES.

BASES OF BEARING
 BASES OF BEARING IS NORTH SPOKE DIST. 285.05 FEET (MEASURED) BETWEEN THE NORTHEAST CORNER OF SECTION 36, TOWNSHIP 3 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND NORTHEAST CORNER OF SAID SECTION 36.

SURVEYOR'S CERTIFICATE
 I HEREBY CERTIFY THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THE PLAN IN ACCORDANCE WITH SECTION 17-23-17 OF THE UTAH CODE, AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAN.

RESERVATION OF COMMON AREA
 THE OWNERS, SURVEYOR AND ENGINEER HAVE INTENDED FOR THE USE BY THE OWNERS, THEIR SUCCESSORS AND INVITEES AND ARE HEREBY RESERVING THEIR COMMON USE AND ENJOYMENT AS STATED IN THE DECLARATION OF COMMONS AND ENFORCED BY THE HOME OWNERS ASSOCIATION.

OWNERS' DEDICATION
 KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNERS OF THE PROPERTY DESCRIBED HEREON, HAVE CAUSED THE COMMONS TO BE CREATED AND ENFORCED BY THE HOME OWNERS ASSOCIATION, LIMITED COMMON AND COMMON AREA, AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THE DECLARATION HEREBY DELEGATE THOSE AREAS LABELED AS PRIVATE COMMONS TO THE HOME OWNERS ASSOCIATION FOR THE CONSTRUCTION AND MAINTENANCE OF PUBLIC UTILITIES AND EMERGENCY VEHICLE ACCESS.

DATED THIS _____ DAY OF _____, A.D. 20__

BY: _____ COUNTY SURVEYOR TUD SORRES

ACKNOWLEDGMENT
 STATE OF UTAH
 COUNTY OF WASHINGTON
 ON THE _____ DAY OF _____, A.D. 20__
 PERSONALLY APPEARED TO ME _____ WHO IS FULLY ACKNOWLEDGED TO ME THAT HE/SHE DID EXECUTE THE SAME IN THE CAPACITY INDICATED.

BY COMMISSION EXPENSE _____ NOTARY PUBLIC

ACCEPTANCE BY MIDWAY CITY
 THE CITY COUNCIL OF MIDWAY CITY, WASHINGTON COUNTY, STATE OF UTAH, HEREBY APPROVES THIS PLANNED UNIT DEVELOPMENT AND COMMONS, AND GRANTS THE USES, INTERESTS AND PUBLIC RIGHTS OF SAID MIDWAY CITY.

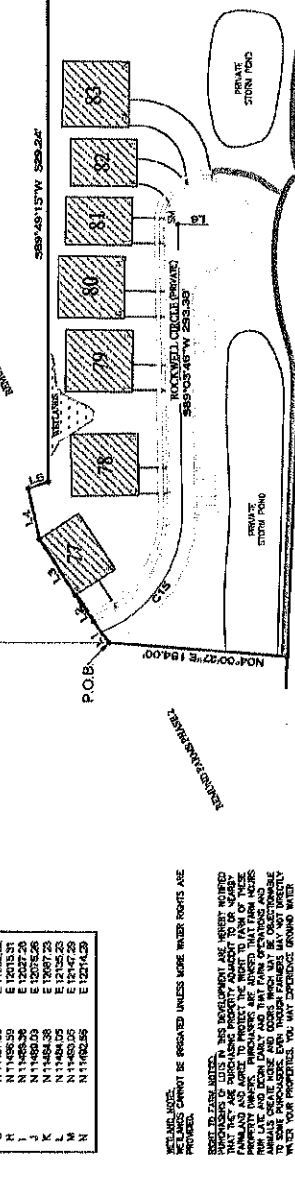
APPROVED _____ DAY OF _____ A.D. 20__ BY THE CITY COUNCIL OF MIDWAY CITY
 _____ CLERK-RECORDER
 _____ CITY ENGINEER

APPROVED _____ DAY OF _____ A.D. 20__ BY THE CITY PLANNING COMMISSION
 _____ PLANNING DIRECTOR

WATTS REMUND FARMS PUD PHASE 4
 PLANNED UNIT DEVELOPMENT, MIDWAY CITY, WASHINGTON COUNTY, STATE OF UTAH
 SCALE 1" = 250 FEET

COUNTY SURVEYOR'S CERTIFICATE
 APPROVED AS TO FORM ON THIS _____ DAY OF _____, 20__
 COUNTY SURVEYOR

COUNTY RECORDER
 DATE _____
 DATE _____



REASONABLE MITIGATION
 ALL NECESSARY NECESSARY SHALL BE DONE TO RESTORE THE SITE TO ORIGINAL OR BETTER CONDITION AS TO SOILS, VEGETATION, AND WATER RESOURCES. RESTORATION SHALL BE COMPLETED WITHIN 90 DAYS OF COMPLETION OF CONSTRUCTION.

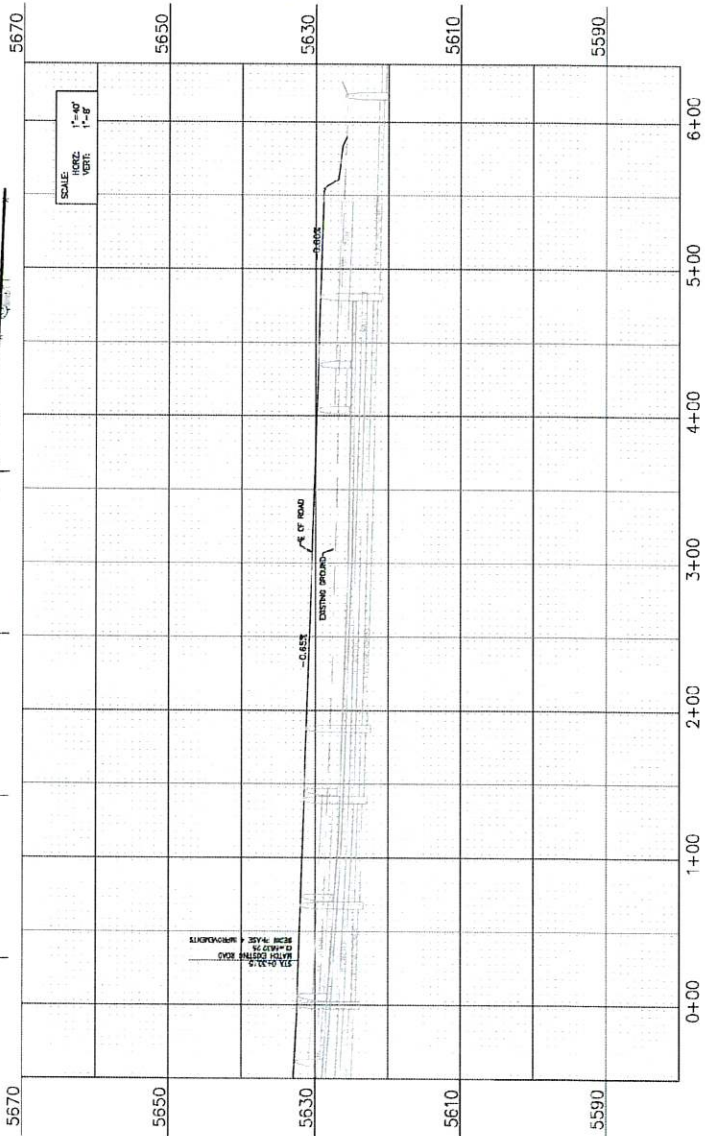
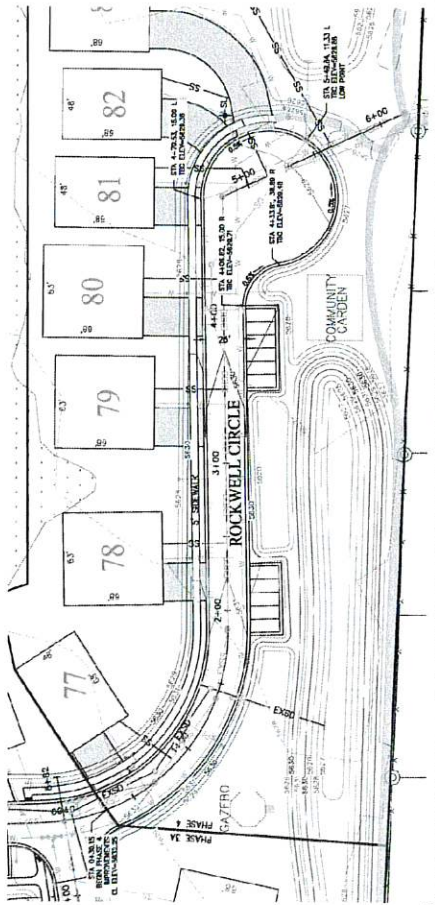
WATER RETENTION POND
 A WATER RETENTION POND SHALL BE PROVIDED TO STORE RUNOFF FROM THE DEVELOPMENT. THE POND SHALL BE SIZED TO RETAIN RUNOFF FROM A ONE-DAY RAINFALL EVENT OF 1.5 INCHES PER HOUR. THE POND SHALL BE MAINTAINED AND MONITORED.

VEGETATION
 ALL VEGETATION TO BE REMOVED SHALL BE REPLANTED WITHIN 90 DAYS OF COMPLETION OF CONSTRUCTION. THE REPLANTING SHALL BE DONE WITHIN 90 DAYS OF COMPLETION OF CONSTRUCTION. THE REPLANTING SHALL BE DONE WITHIN 90 DAYS OF COMPLETION OF CONSTRUCTION.

WATER QUALITY
 ALL WATERSHEDS WITHIN THE DEVELOPMENT SHALL BE MAINTAINED AND MONITORED TO PREVENT POLLUTION OF THE WATERSHEDS. THE DEVELOPMENT SHALL BE DESIGNED TO PREVENT POLLUTION OF THE WATERSHEDS.

WATER RETENTION POND
 A WATER RETENTION POND SHALL BE PROVIDED TO STORE RUNOFF FROM THE DEVELOPMENT. THE POND SHALL BE SIZED TO RETAIN RUNOFF FROM A ONE-DAY RAINFALL EVENT OF 1.5 INCHES PER HOUR. THE POND SHALL BE MAINTAINED AND MONITORED.

WATER QUALITY
 ALL WATERSHEDS WITHIN THE DEVELOPMENT SHALL BE MAINTAINED AND MONITORED TO PREVENT POLLUTION OF THE WATERSHEDS. THE DEVELOPMENT SHALL BE DESIGNED TO PREVENT POLLUTION OF THE WATERSHEDS.



NOTES:

1. LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
2. ALL ROAD CONSTRUCTION SHALL MEET MINIMUM CITY OF CHICAGO SPECIFICATIONS AS ADOPTED IN THE JUNE 2020 EDITION.

LEGEND:

- PROPOSED STREET LIGHT LOCATION
- INSTALL ADA RAMP

GENERAL NOTE: CONTRACTOR SHALL VERIFY ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. DELAYED CONSTRUCTION OF HOMES HOMES TO BE 18-24 HOURS ABOVE THE REST OF CORP. DELAYERS WILL BE LESS THAN 24H.

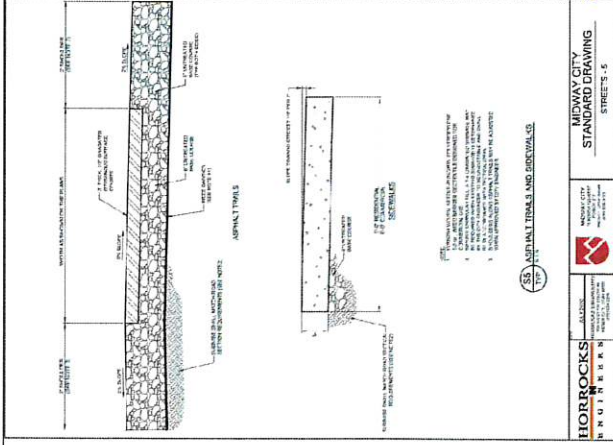


WATTS ENTERPRISES
 REMUND FARMS
 ROCKWELL CIR
 PLAN & PROFILE 0+00 - 5+60

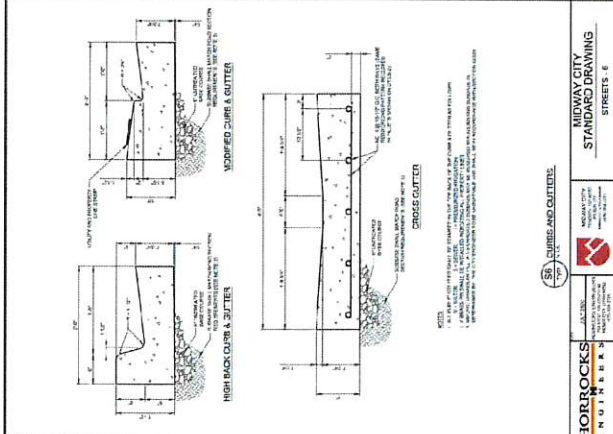
BERG ENGINEERING
 1000 N. LAKE ST.
 CHICAGO, IL 60610
 PH: 773.627.7744

DESIGNED BY: JFB DATE: 1 MAR 2022 SHEET: 8
 DRAWN BY: JFB

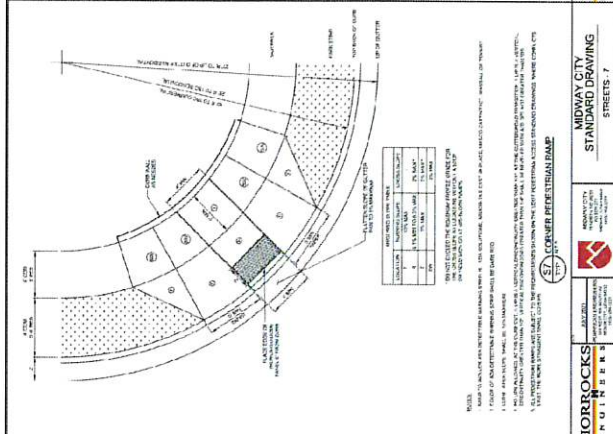
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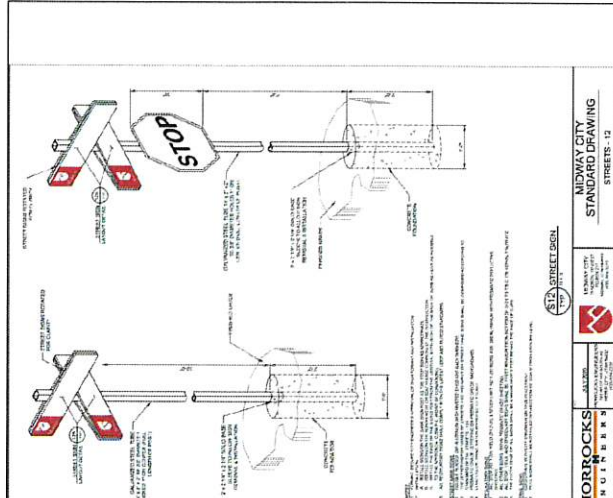
HORROCKS ENGINEERS
MIDWAY CITY STANDARD DRAWING
STREET 5-5



HORROCKS ENGINEERS
MIDWAY CITY STANDARD DRAWING
STREET 6

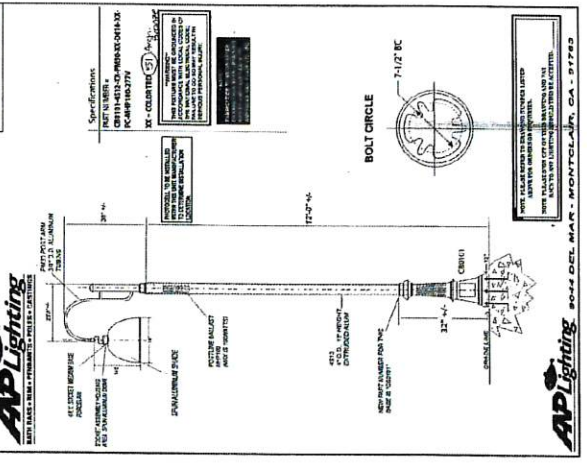


HORROCKS ENGINEERS
MIDWAY CITY STANDARD DRAWING
STREET 7

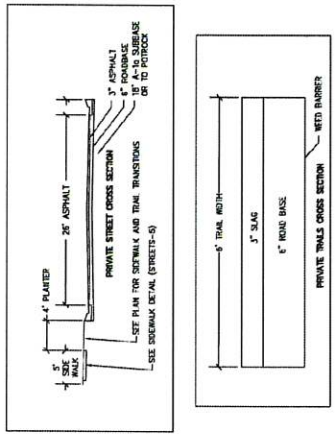


HORROCKS ENGINEERS
MIDWAY CITY STANDARD DRAWING
STREET 12

HOME OWNER ASSOCIATION IS RESPONSIBLE FOR THE MAINTENANCE OF THE STREET LIGHTS



HORROCKS ENGINEERS
MIDWAY CITY STANDARD DRAWING
STREET 8



HORROCKS ENGINEERS
MIDWAY CITY STANDARD DRAWING
STREET 9

WATS ENTERPRISES
 REMUND FARMS
 ROAD DETAILS

BERG ENGINEERING
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 (714) 771-1111
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 ANAHEIM, CA 92805
 (714) 771-1111
 www.horrocksen.com

DESIGNED BY: RDB
 DRAWN BY: LSN
 DATE: 9 MAR 2010
 REV: 9



- LEGEND**
- BELANDS
 - GRAVEL TRAIL
 - ASPHALT TRAIL
 - IMPROVED DITCH

PHASING NOTE:
 PHASE 1 INCLUDES UNITS 1-19
 PHASE 2 INCLUDES UNITS 40-52, 60-61, 70-79,
 PHASE 3 INCLUDES UNITS 53-59, 62-64, 67-69
 PHASE 4 INCLUDES UNITS 77-83

- LEGEND**
- EXISTING CULINARY WATER
 - PROPOSED CULINARY WATER
 - EXISTING PRESSURIZED IRRIGATION
 - PROPOSED PRESSURIZED IRRIGATION
 - EXISTING SEWER
 - PROPOSED SEWER
 - EXISTING STORM DRAIN
 - PROPOSED STORM DRAIN
 - SM SURVEY MONUMENT

UTILITY NOTE:
 THIS PLAN PROVIDES THE OPTIMAL UTILITY MASTER PLAN FOR REMOND FARMS. PLEASE REFER TO THE SEWER AND WATER CONSTRUCTION PLANS FOR P-PLAN AND CONSTRUCTION PLANS FOR UTILITY LINES, CONDUITS, MANHOLES, AND VALVES. PROVIDE UTILITIES FOR THE VARIOUS UTILITIES.

CONSTRUCTION NOTES:
 1. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF DENVER STANDARDS AND SPECIFICATIONS FOR UTILITY INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING FOR THE DRY UTILITIES WHICH WILL BE INSTALLED BY THE VARIOUS DRY UTILITY COMPANIES.

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 PAUL E. BERG, P.E.
 10000 E. WILSON AVENUE
 DENVER, CO 80231
 DATE: 9 MAR 2022

WATTS ENTERPRISES	
REMOND FARMS	
UTILITY MASTER PLAN	
DESIGNER: PEB	DATE: 9 MAR 2022
DRAWN: C.OB	REVISION: 10





- LEGEND**
- MELANDS
 - MI SEWER MANHOLE
 - LAT. SEWER LATERAL
 - SS SEWER LATERAL
 - EXSS SEWER LATERAL

SANITARY SEWER SYSTEM NOTES:

1. ALL SEWER ELEMENTS SHALL HAVE METALLIC JOINTS.
2. ALL JOINTS SHALL BE A 1/2" RADIUS.
3. ALL JOINTS SHALL BE PROTECTED WITH TRAPERS.
4. ALL JOINTS SHALL BE PROTECTED WITH TRAPERS.
5. ALL JOINTS SHALL BE PROTECTED WITH TRAPERS.
6. ALL JOINTS SHALL BE PROTECTED WITH TRAPERS.
7. ALL JOINTS SHALL BE PROTECTED WITH TRAPERS.
8. ALL JOINTS SHALL BE PROTECTED WITH TRAPERS.
9. ALL JOINTS SHALL BE PROTECTED WITH TRAPERS.
10. ALL JOINTS SHALL BE PROTECTED WITH TRAPERS.
11. ALL JOINTS SHALL BE PROTECTED WITH TRAPERS.
12. ALL JOINTS SHALL BE PROTECTED WITH TRAPERS.

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PAUL C. BERG, P.E.
 DATE: 9.10.2022

WATTS ENTERPRISES
 REMUND FARMS
 PHASE 4
 SEWER PLAN

BERG ENGINEERING
 1000 W. 10th Street, Suite 100
 Wausau, WI 54981
 PH: 715.791.1111

DESIGN BY: PBC
 DRAWN BY: CBE
 DATE: 9.10.2022
 SHEET: 11



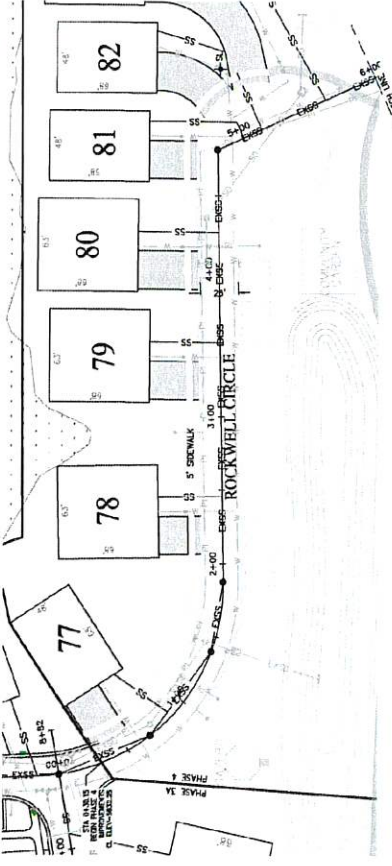
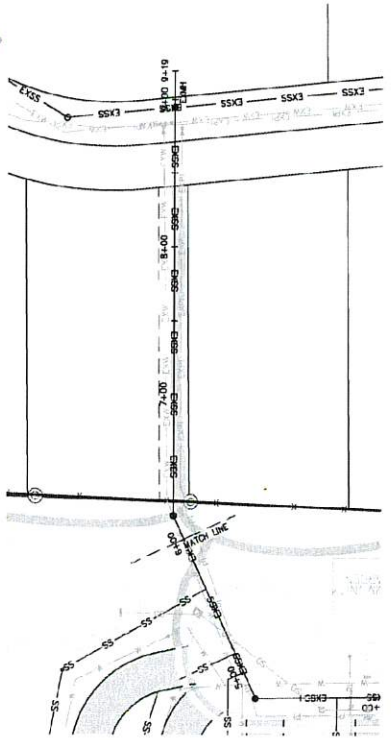
LOW PRESSURE SEWER NOTES:

A LOW PRESSURE SEWER SYSTEM IS TO BE USED AT ONE ELECTRIC PUMP.

APPROVED SETBACK

APPROVED SETBACK

DATE: 9.10.2022



LEGEND

- EXISTING SWEEP
- EXISTING PRESSURIZED IRRIGATION
- EXISTING SANITARY SEWER
- EXISTING WATER
- EXISTING STORM DRAIN

NOTES

1. LOCATIONS OF MANHOLE AND STREET LIGHT SHALL BE SHOWN ON PLAN AND IN CROSS SECTION.

LEGEND

- PROPOSED STREET LIGHT LOCATION
- INSTALL ADA RAMP

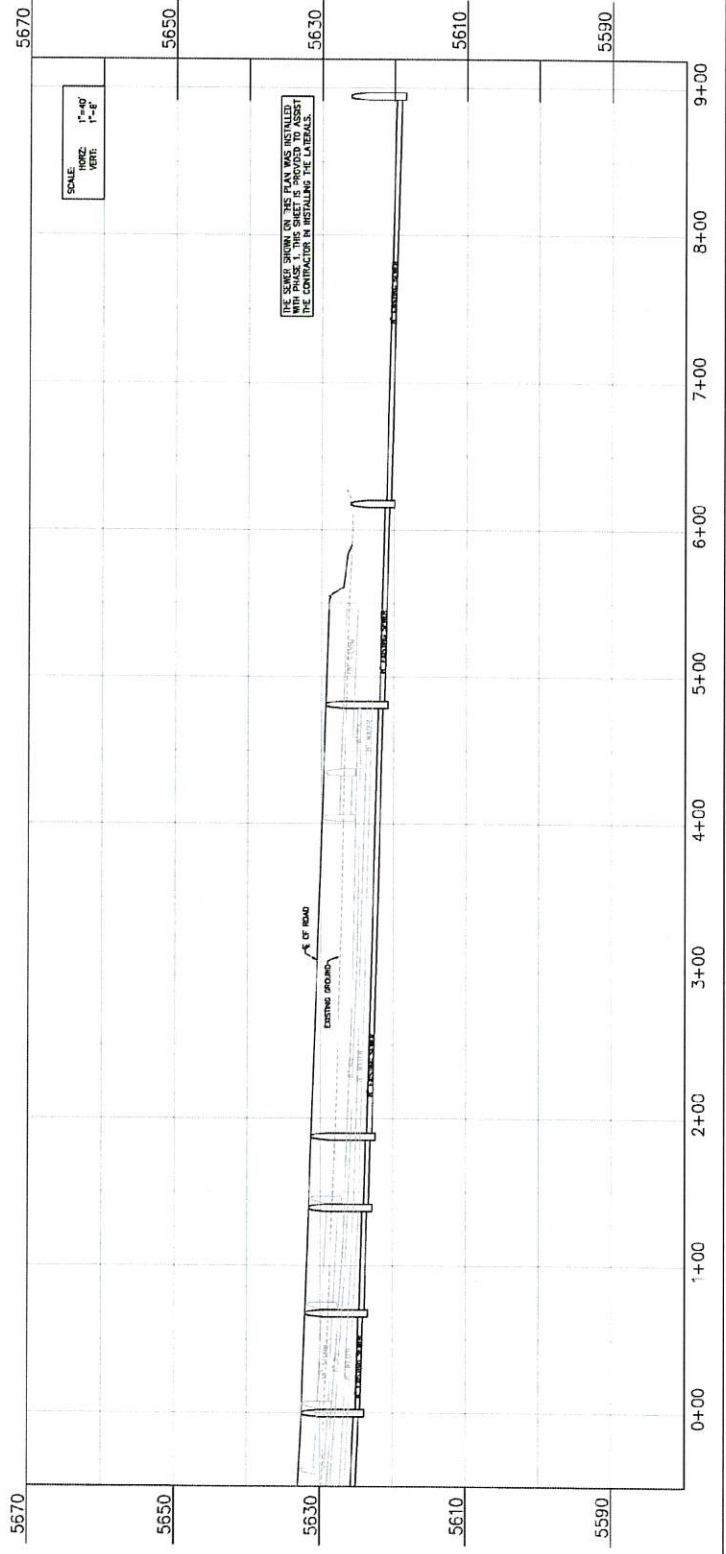
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 PAUL B. BERG, P.E.
 DATE: 1 MAR 2022

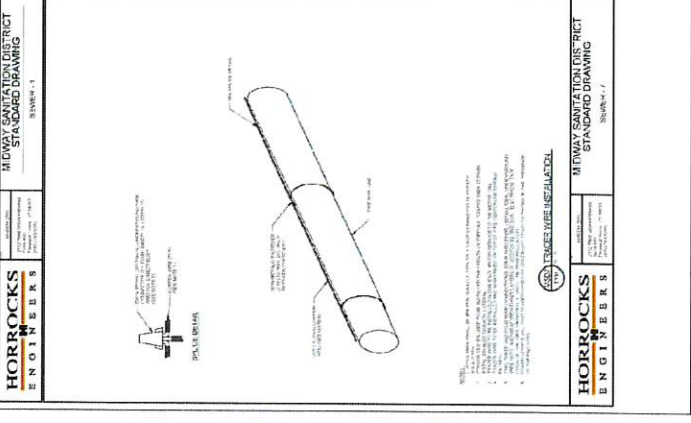
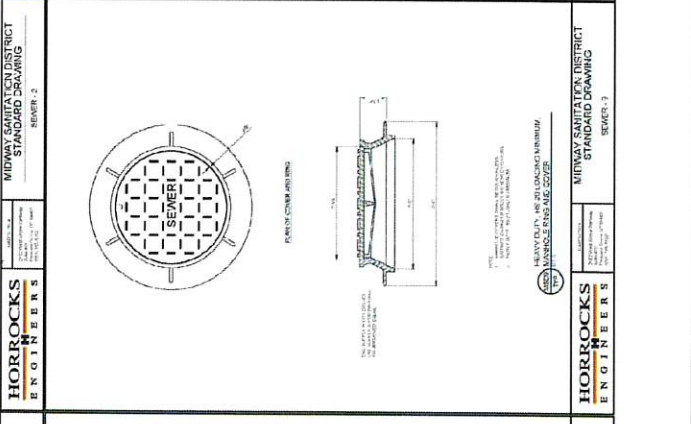
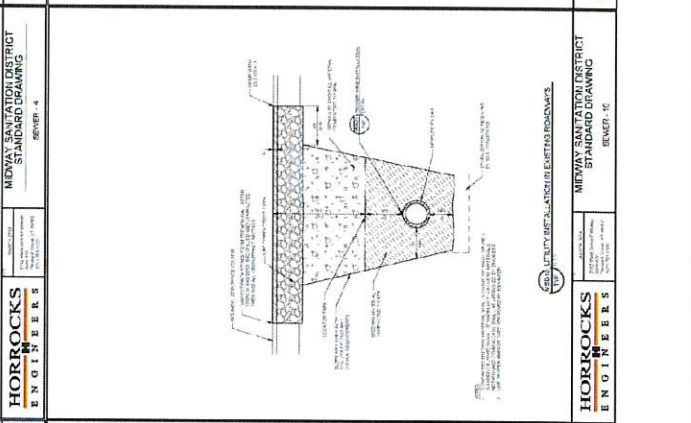
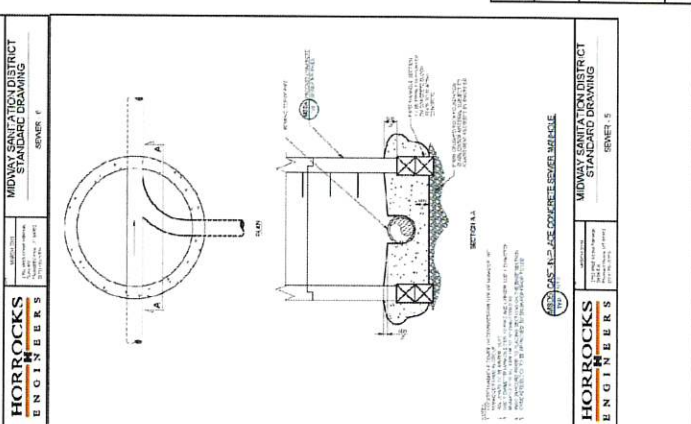
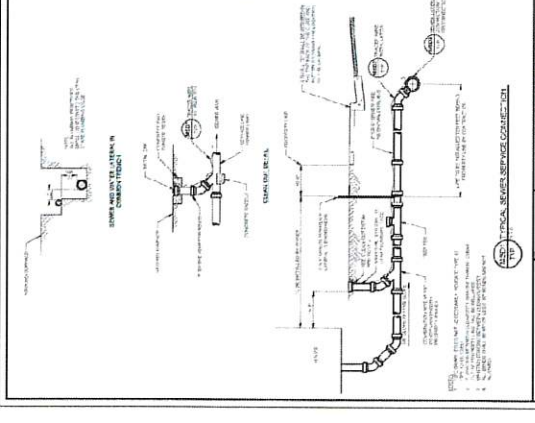
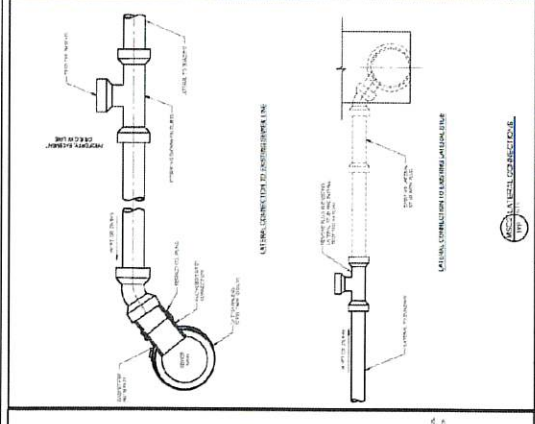
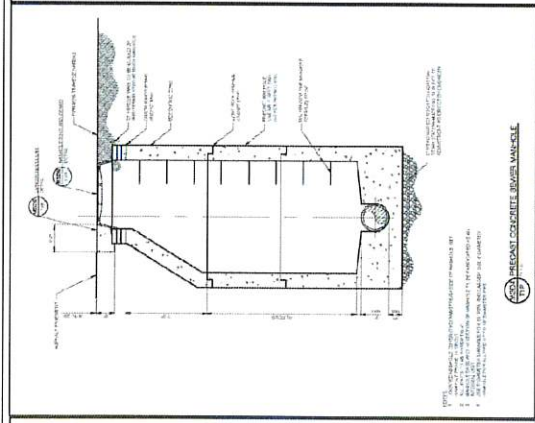
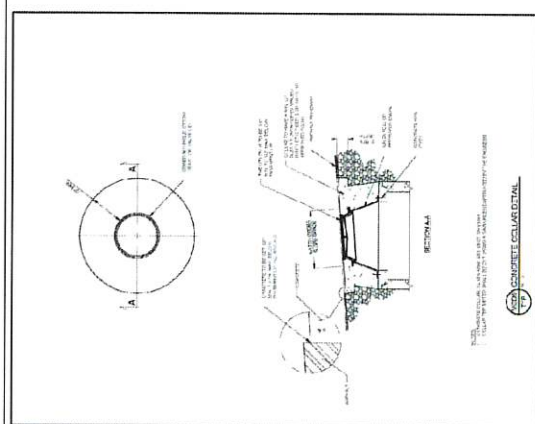


WATTS ENTERPRISES
 REMOND FARMS
 ROCKWELL CIR EXISTING
 SEWER 0+00 - 5+60

BERG ENGINEERING
 1000 W. 10TH ST.
 SUITE 100
 DENVER, CO 80202
 PH: 303.733.7999

DESIGNED BY: P.B.
 DRAWN BY: J.B.I.
 DATE: 1 MAR 2022
 SHEET NO.: 12







- LEGEND**
- METLANDS
 - WATER METER
 - FIRE HYDRANT
 - EXISTING WATER LINE

- CRITICAL WATER SYSTEM NOTES:**
1. ALL COUNTRY WATER CONSTRUCTION TO MEET MOUNTAIN CITY STANDARDS AS ADOPTED IN 2002 EDITION.
 2. EXISTING STREETS WILL BE A DESIGNATED AS A PUBLIC UTILITY.
 3. ALL WATER METER AND LOTS SHALL HAVE A 1" WATER SERVICE WITH A 1/2" WATER METER.
 4. ALL WATER LINES SHALL BE ANNA COND OR-18 PIPE.

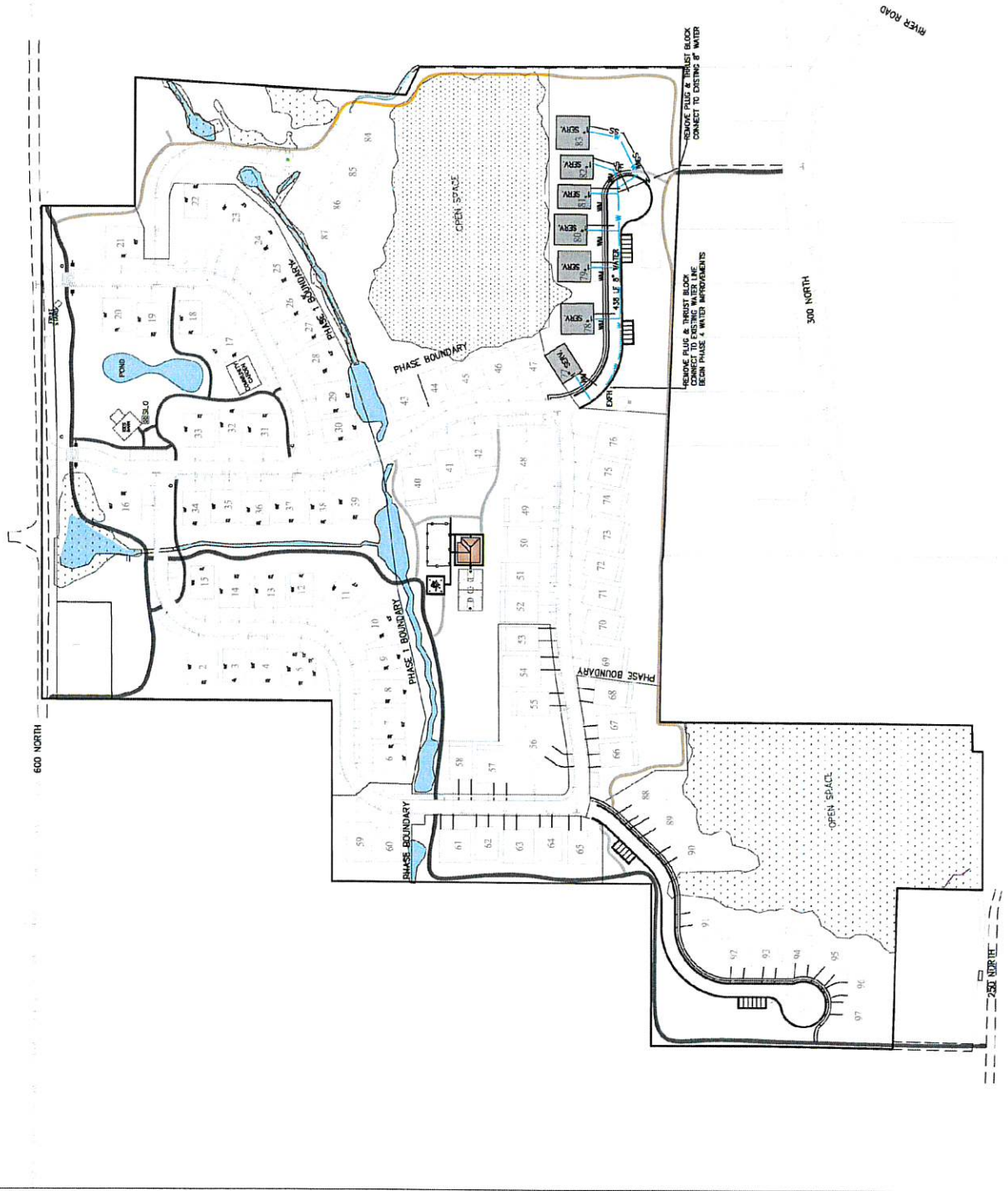
BLUE SHIMS NOTE:
 LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAMPING OF UTILITIES.

THIS DOCUMENT IS RELAYED
 TO THE CLIENT BY THE ENGINEER
 UNDER THE SUPERVISION OF THE
 LICENSED PROFESSIONAL ENGINEER
 STATE OF TENNESSEE
 DATE: 5/14/2022

WATTS ENTERPRISES
 REMUND FARMS
 PHASE 4
 WATER PLAN



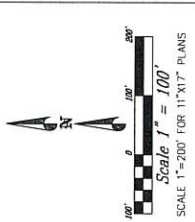
DESIGN BY: JTB | DATE: 5/14/2022 | SHEET NO.: 14



RIVER ROAD

300 NORTH

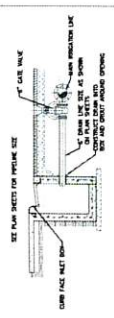
600 NORTH



- LEGEND**
- WETLANDS
 - 2.0" PRESSURIZED IRRIGATION SERVICE
 - EXISTING PRESSURIZED IRRIGATION
 - PRESSURIZED IRRIGATION

PRESSURIZED IRRIGATION SYSTEM NOTES:

1. ALL IRRIGATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION COMPANY STANDARDS.
2. ALL PIPE SHALL BE AWWA C-900 CLASS OF EQUIPMENT.
3. ALL PRESSURIZED IRRIGATION SERVICES FOR COMMON AREAS SHALL BE 2.0" PRESSURIZED IRRIGATION.
4. INFORMATION REGARDING P.I. DRINK LOCATIONS.



IRRIGATION SYSTEM DRAIN TO STORM SEWER

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WATTS ENTERPRISES
 REMUND FARMS
 PHASE 4
 PRESSURIZED IRRIGATION PLAN



DESIGNED BY: PDB	DATE: 9 MAR 2022	SHEET NO.:	13
DRAWN BY: CDB	REV:		



15. PERMITS: REVIEW FOR PERMITS

300 NORTH
 EXISTING 8" P.I.

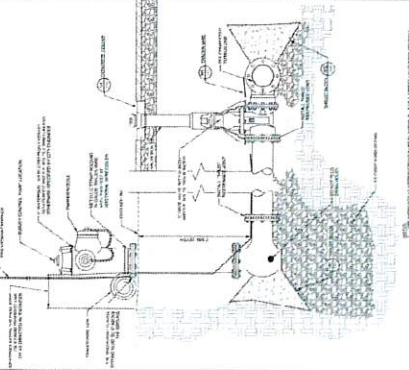


FIG. 11 - WATER MAIN INSTALLATION

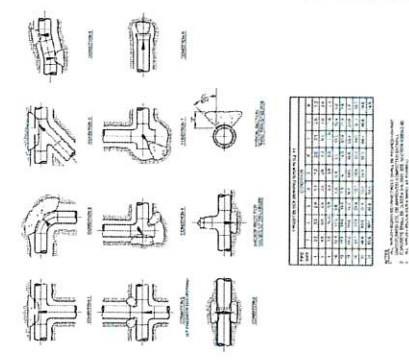


FIG. 12 - WATER SERVICE CONNECTION

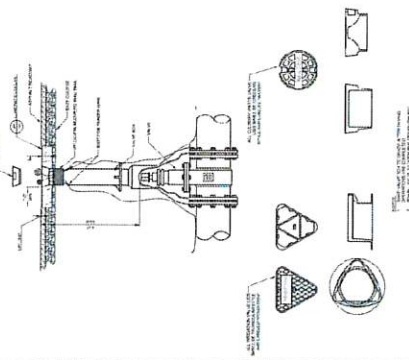


FIG. 13 - WATER MAIN INSTALLATION

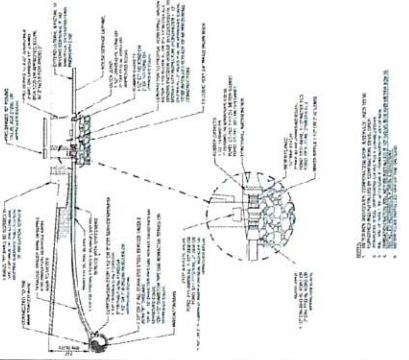


FIG. 14 - WATER MAIN INSTALLATION



FIG. 15 - WATER MAIN INSTALLATION

TABLE OF DIMENSIONS

ITEM	DESCRIPTION	MINIMUM	MAXIMUM
1	MINIMUM COVER OVER TOP OF PIPE	1.5'	2.0'
2	MINIMUM COVER OVER TOP OF VALVE	2.0'	2.5'
3	MINIMUM COVER OVER TOP OF SERVICE CONNECTION	1.5'	2.0'
4	MINIMUM COVER OVER TOP OF WATER MAIN	1.5'	2.0'
5	MINIMUM COVER OVER TOP OF WATER MAIN AT VALVE	2.0'	2.5'
6	MINIMUM COVER OVER TOP OF WATER MAIN AT SERVICE CONNECTION	1.5'	2.0'
7	MINIMUM COVER OVER TOP OF WATER MAIN AT END OF LINE	1.5'	2.0'
8	MINIMUM COVER OVER TOP OF WATER MAIN AT BEND	1.5'	2.0'
9	MINIMUM COVER OVER TOP OF WATER MAIN AT CROSSING	1.5'	2.0'
10	MINIMUM COVER OVER TOP OF WATER MAIN AT TEE	1.5'	2.0'
11	MINIMUM COVER OVER TOP OF WATER MAIN AT BRANCH	1.5'	2.0'
12	MINIMUM COVER OVER TOP OF WATER MAIN AT JUNCTION	1.5'	2.0'
13	MINIMUM COVER OVER TOP OF WATER MAIN AT VALVE	2.0'	2.5'
14	MINIMUM COVER OVER TOP OF WATER MAIN AT SERVICE CONNECTION	1.5'	2.0'
15	MINIMUM COVER OVER TOP OF WATER MAIN AT END OF LINE	1.5'	2.0'
16	MINIMUM COVER OVER TOP OF WATER MAIN AT BEND	1.5'	2.0'
17	MINIMUM COVER OVER TOP OF WATER MAIN AT CROSSING	1.5'	2.0'
18	MINIMUM COVER OVER TOP OF WATER MAIN AT TEE	1.5'	2.0'
19	MINIMUM COVER OVER TOP OF WATER MAIN AT BRANCH	1.5'	2.0'
20	MINIMUM COVER OVER TOP OF WATER MAIN AT JUNCTION	1.5'	2.0'

FIG. 16 - WATER MAIN INSTALLATION

CONCRETE: Class 3000 minimum per ACI 308 Section 03.30.34. Pour concrete against undisturbed soil.

Pipe Joints: Do not cover with concrete. Leave completely accessible.

GREASE: Apply polyim grease to all buried metal surfaces. Wrap with 8 mil thick polyethylene sheet over high spots.

SPERMIA CONSTRUCTION REQUIREMENTS:

A. Existing manholes, vaults, and special flow blockings or walls shown on drawings shall be repaired or replaced as shown on drawings.

B. Existing manholes, vaults, and special flow blockings or walls shown on drawings shall be repaired or replaced as shown on drawings.

C. Existing manholes, vaults, and special flow blockings or walls shown on drawings shall be repaired or replaced as shown on drawings.

D. Existing manholes, vaults, and special flow blockings or walls shown on drawings shall be repaired or replaced as shown on drawings.

E. Existing manholes, vaults, and special flow blockings or walls shown on drawings shall be repaired or replaced as shown on drawings.

F. Existing manholes, vaults, and special flow blockings or walls shown on drawings shall be repaired or replaced as shown on drawings.

INSPECTION: Prior to backfilling around street block, secure inspection of installation by ENR-KEEP.

BACKFILL: Provide and place per AWWA Section 30.35.20. Compare per AWWA Section 11.22.28 to a modified proctor density of 95 percent of greater. Minimum thickness is 6 inches before compaction.

WATTS ENTERPRISES
REMUND FARMS

WATER CONSTRUCTION
DETAILS



ISSUED BY: JDB
DATE: 10/11/11

DATE: 10/11/11
SHEET: 16

FIG. 17 - WATER MAIN INSTALLATION

FIG. 18 - WATER MAIN INSTALLATION

FIG. 19 - WATER MAIN INSTALLATION

FIG. 20 - WATER MAIN INSTALLATION

FIG. 21 - WATER MAIN INSTALLATION

FIG. 22 - WATER MAIN INSTALLATION

FIG. 23 - WATER MAIN INSTALLATION

FIG. 24 - WATER MAIN INSTALLATION

FIG. 25 - WATER MAIN INSTALLATION

FIG. 26 - WATER MAIN INSTALLATION

FIG. 27 - WATER MAIN INSTALLATION

FIG. 28 - WATER MAIN INSTALLATION

FIG. 29 - WATER MAIN INSTALLATION

FIG. 30 - WATER MAIN INSTALLATION

FIG. 31 - WATER MAIN INSTALLATION

FIG. 32 - WATER MAIN INSTALLATION

FIG. 33 - WATER MAIN INSTALLATION

FIG. 34 - WATER MAIN INSTALLATION

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FIG. 52 - WATER MAIN INSTALLATION

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FIG. 56 - WATER MAIN INSTALLATION

FIG. 57 - WATER MAIN INSTALLATION

FIG. 58 - WATER MAIN INSTALLATION

FIG. 59 - WATER MAIN INSTALLATION

FIG. 60 - WATER MAIN INSTALLATION

FIG. 61 - WATER MAIN INSTALLATION

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FIG. 64 - WATER MAIN INSTALLATION

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FIG. 66 - WATER MAIN INSTALLATION

FIG. 67 - WATER MAIN INSTALLATION

FIG. 68 - WATER MAIN INSTALLATION

FIG. 69 - WATER MAIN INSTALLATION

FIG. 70 - WATER MAIN INSTALLATION

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FIG. 72 - WATER MAIN INSTALLATION

FIG. 73 - WATER MAIN INSTALLATION

FIG. 74 - WATER MAIN INSTALLATION

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FIG. 77 - WATER MAIN INSTALLATION

FIG. 78 - WATER MAIN INSTALLATION

FIG. 79 - WATER MAIN INSTALLATION

FIG. 80 - WATER MAIN INSTALLATION

FIG. 81 - WATER MAIN INSTALLATION

FIG. 82 - WATER MAIN INSTALLATION

FIG. 83 - WATER MAIN INSTALLATION

FIG. 84 - WATER MAIN INSTALLATION

FIG. 85 - WATER MAIN INSTALLATION

FIG. 86 - WATER MAIN INSTALLATION

FIG. 87 - WATER MAIN INSTALLATION

FIG. 88 - WATER MAIN INSTALLATION

FIG. 89 - WATER MAIN INSTALLATION

FIG. 90 - WATER MAIN INSTALLATION

FIG. 91 - WATER MAIN INSTALLATION

FIG. 92 - WATER MAIN INSTALLATION

FIG. 93 - WATER MAIN INSTALLATION

FIG. 94 - WATER MAIN INSTALLATION

FIG. 95 - WATER MAIN INSTALLATION

FIG. 96 - WATER MAIN INSTALLATION

FIG. 97 - WATER MAIN INSTALLATION

FIG. 98 - WATER MAIN INSTALLATION

FIG. 99 - WATER MAIN INSTALLATION

FIG. 100 - WATER MAIN INSTALLATION

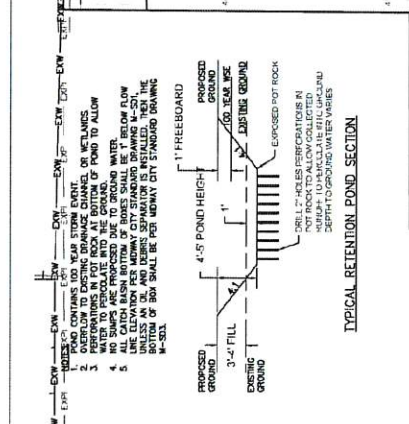
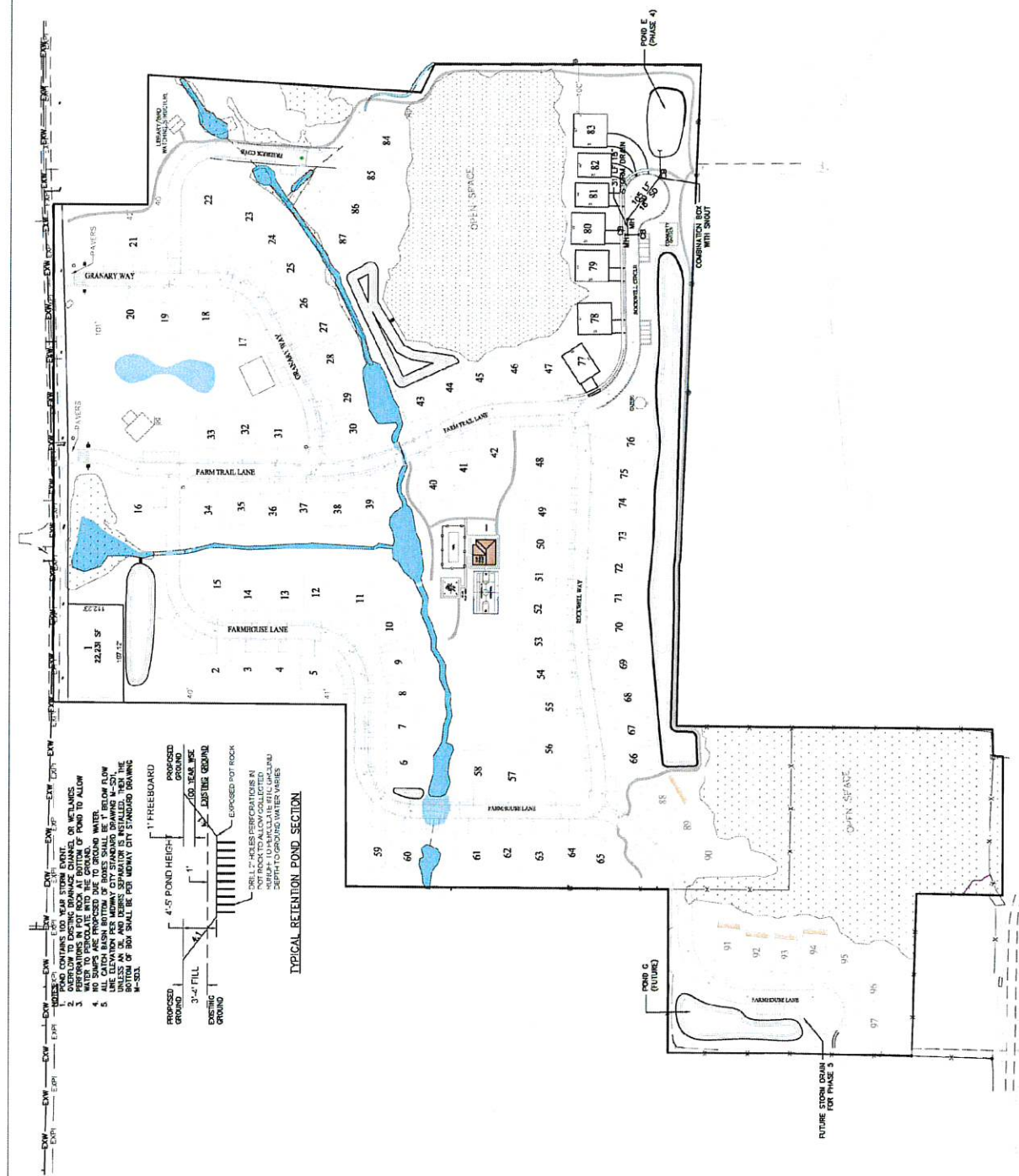


- LEGEND
- WETLANDS
 - STORM DRAIN MANHOLE
 - CATCH BASIN
 - EXISTING STORM DRAIN

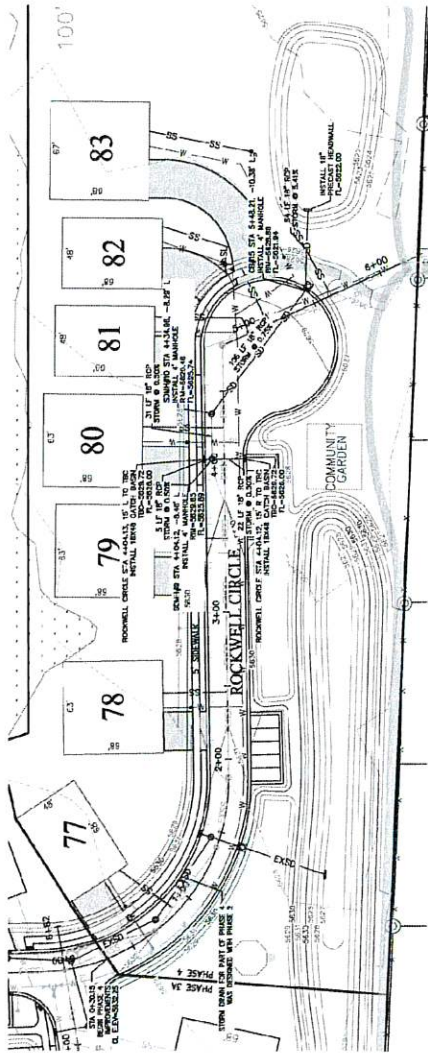
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WATTS ENTERPRISES
 REMUND FARMS
 PHASE 4
 STORM DRAIN PLAN

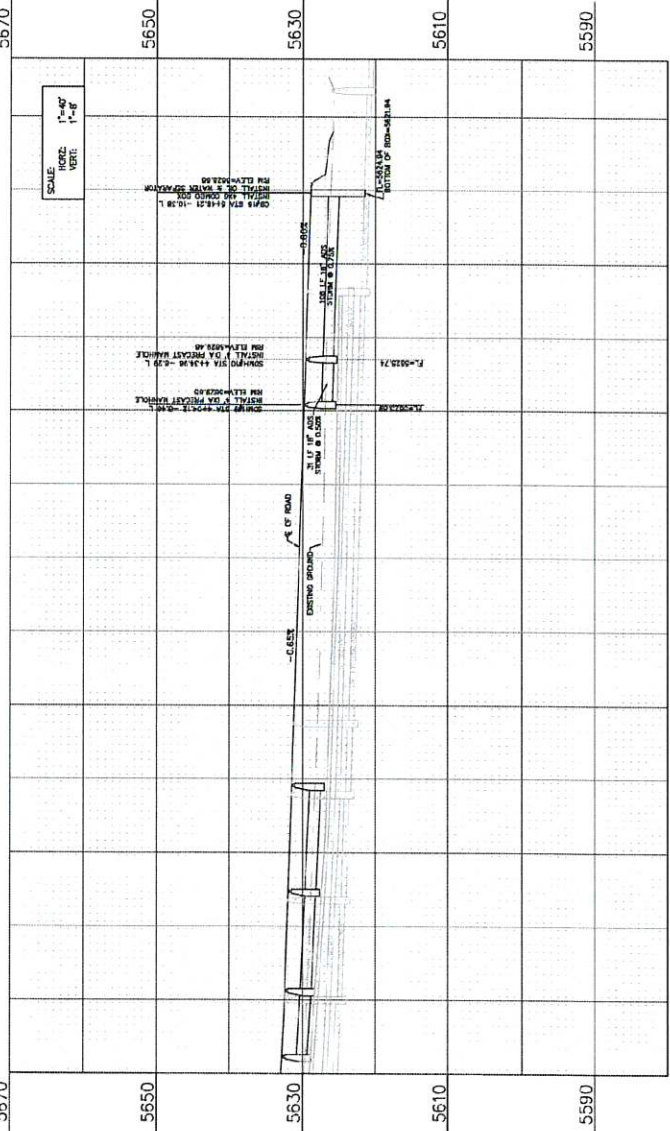
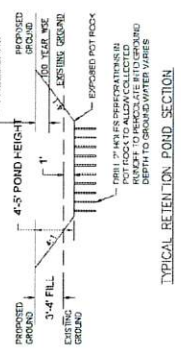
DESIGNER: JTB DATE: 3 MAR 2022
 DRAWN BY: JTB REV: 17



POD A (PHASE 4)
 POB (PHASE 4)
 POC (FUTURE)
 FUTURE STORM DRAIN FOR PHASE 3



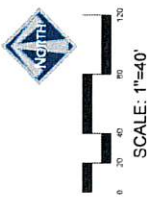
- NOTES:
1. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS BY SHOWN ON PLAN ARE RESPONSIBLE FOR THE SHARING OF UTILITIES.
 2. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS BY SHOWN ON PLAN ARE RESPONSIBLE FOR THE SHARING OF UTILITIES.
 3. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS BY SHOWN ON PLAN ARE RESPONSIBLE FOR THE SHARING OF UTILITIES.
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 5. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS BY SHOWN ON PLAN ARE RESPONSIBLE FOR THE SHARING OF UTILITIES.



- NOTES:
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GENERAL NOTES: CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS BY SHOWN ON PLAN ARE RESPONSIBLE FOR THE SHARING OF UTILITIES.

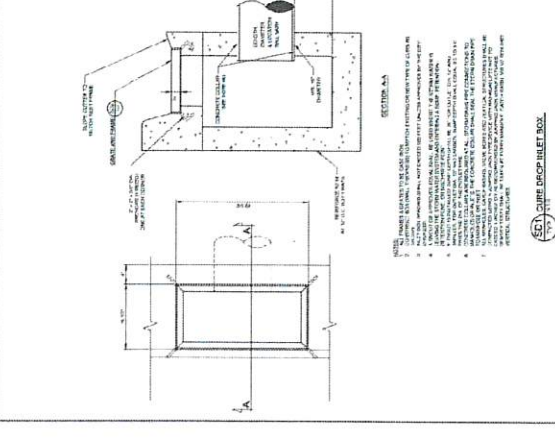
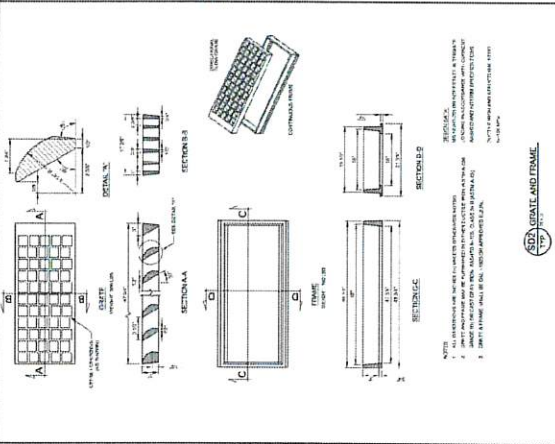
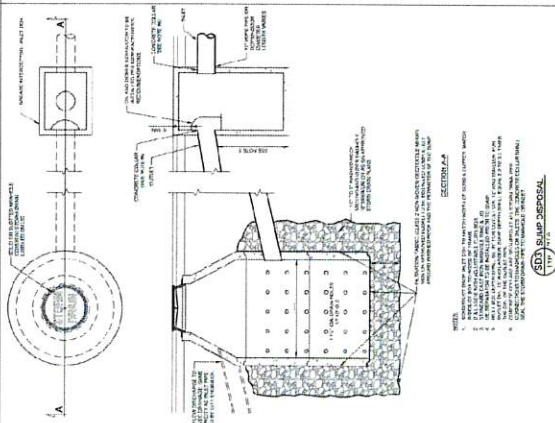


WATTS ENTERPRISES
 REMUND FARMS
 ROCKWELL CIR STORM
 PLAN & PROFILE 0+00 - 5+60

BERG ENGINEERING
 101 N. MAIN ST. SUITE 204
 MINNETONKA, MN 55345
 PHONE: 952.892.8300
 FAX: 952.892.8303
 WWW: BERGENGINEERING.COM

DESIGNED BY: JTB
 DRAWN BY: JTB
 DATE: 02/14/2023
 SHEET NO.: 18

THIS DETAIL SHALL BE USED FOR BEDDING AND BACKFILL IN NEW ROADS.



HORROCKS ENGINEERS
 1000 WEST 10TH AVENUE
 DENVER, CO 80202
 (303) 733-1111
 WWW.HORROCKS-ENG.COM

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SENIOR ENGINEER
 M. J. HARRIS

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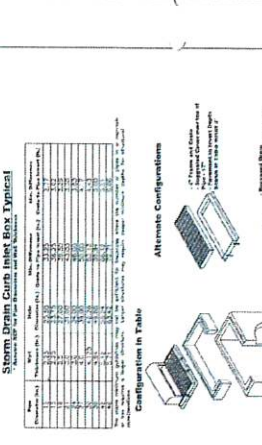
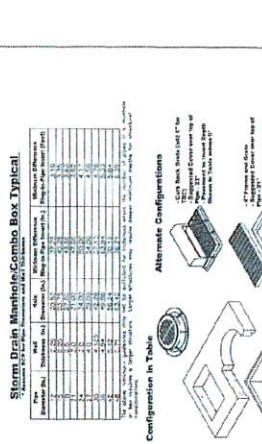
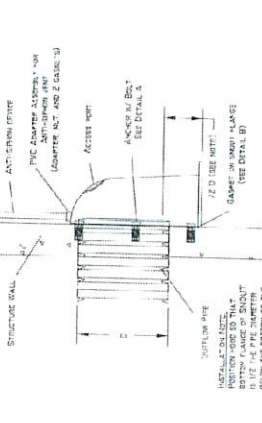
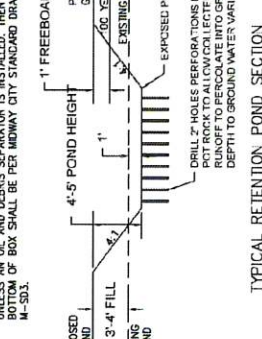
SENIOR ENGINEER
 M. J. HARRIS

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 M. J. HARRIS

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SENIOR ENGINEER
 M. J. HARRIS



WATTS ENTERPRISES
 REMUND FARMS
 STORM DRAIN
 CONSTRUCTION DETAILS

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WATTS ENTERPRISES
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FOR STORM DRAIN MANHOLES SEE PRECAST SEWER MANHOLE DETAIL ON SHEET 13.

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DESIGN BY: RBR
 DRAWN BY: ENR
 DATE: 5 MAR 2012
 SHEET NO. 19

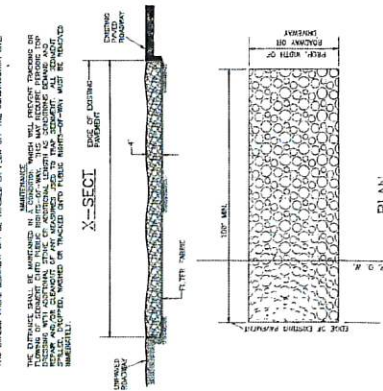
DESIGN BY: RBR
 DRAWN BY: ENR
 DATE: 5 MAR 2012
 SHEET NO. 19

DESIGN BY: RBR
 DRAWN BY: ENR
 DATE: 5 MAR 2012
 SHEET NO. 19

DESIGN BY: RBR
 DRAWN BY: ENR
 DATE: 5 MAR 2012
 SHEET NO. 19

STABILIZED CONSTRUCTION ACCESS

AND TRUCKED ABOUT 2000 LBS PER TRUCK LOAD TO THE CONSTRUCTION SITE.



PLAN

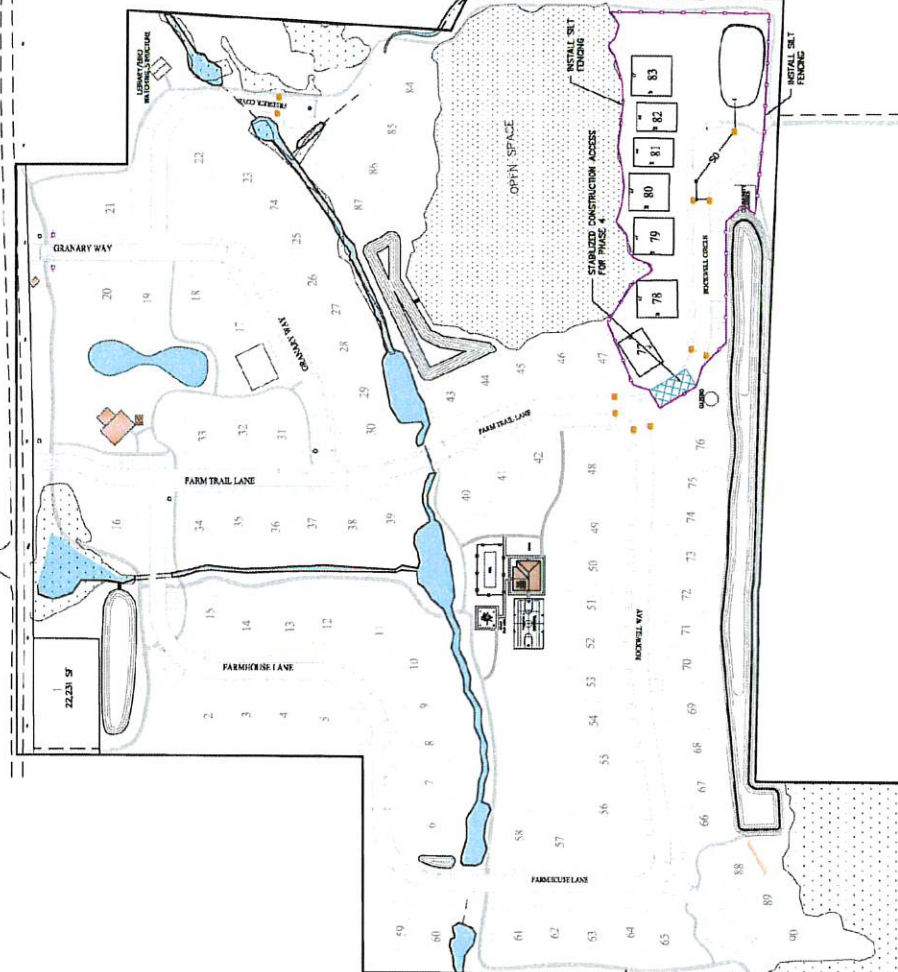
LENGTH - 20 FEET MINIMUM FROM THE CURB AND SHALL BE COMPLETED TO THE FULL WIDTH OF THE ROADWAY. THE STABILIZED CONSTRUCTION ACCESS SHALL BE INSTALLED AT ALL ACCESS POINTS TO THE PROJECT.

MARKETPLACE

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND FOR THE PROTECTION OF ALL UTILITIES AND EXISTING STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND FOR THE PROTECTION OF ALL UTILITIES AND EXISTING STRUCTURES.



FOR 11"x17" PLANS SCALE IS 1"=200'



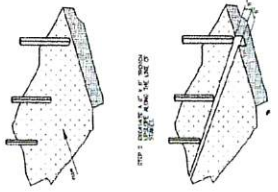
EROSION CONTROL SHALL BE INSTALLED AT ALL CATCH BASINS AND SUMPS.

FILTER FABRIC TO BE INSTALLED IN ALL SLUMP MANHOLES UNTIL VEGETATION IS ESTABLISHED IN THE STORM DRAIN PONDS.

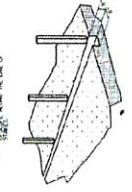
A STABILIZED CONSTRUCTION ACCESS SHALL BE INSTALLED AT ALL ACCESS POINTS TO THE PROJECT.

A UPDATES GENERAL CONSTRUCTION PERMIT IS REQUIRED. THE CONTRACTOR SHALL APPLY FOR THE PERMIT AND SHALL PROVIDE A COPY OF THE APPROVED PERMIT TO MIDWAY CITY PRIOR TO CONSTRUCTION.

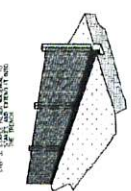
STEP 1 - SET THE RAILS



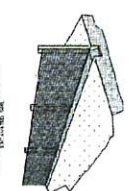
STEP 2 - INSTALL A 4\"/>



STEP 3 - COVER THE CHANNEL WITH 12\"/>



STEP 4 - PROTECT/REINFORCE THE



CONSTRUCTION INFORMATION FOR THE BARRIER POINT
 CONTRACTOR SHALL INSTALL EROSION CONTROL AT ALL CATCH BASINS DURING CONSTRUCTION. THE CONTRACTOR SHALL PERIODICALLY REMOVE SEDIMENT THAT COLLECTS AROUND THE BARRIER POINTS AND SHALL KEEP THE STORM DRAIN SYSTEM FREE OF SEDIMENT.
INSTALLATION
 THE BARRIER SHALL BE INSTALLED AT ALL ACCESS POINTS TO THE PROJECT. THE BARRIER SHALL BE INSTALLED AT ALL ACCESS POINTS TO THE PROJECT. THE BARRIER SHALL BE INSTALLED AT ALL ACCESS POINTS TO THE PROJECT.

CONSTRUCTION OF A FILTER BARRIER

EROSION CONTROL FOR STORM DRAIN SYSTEM
 CONTRACTOR SHALL INSTALL EROSION CONTROL AT ALL CATCH BASINS DURING CONSTRUCTION. THE CONTRACTOR SHALL PERIODICALLY REMOVE SEDIMENT THAT COLLECTS AROUND THE BARRIER POINTS AND SHALL KEEP THE STORM DRAIN SYSTEM FREE OF SEDIMENT.
CONSTRUCTION INFORMATION
 A STABILIZED CONSTRUCTION ACCESS IS REQUIRED FOR THIS PROJECT DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND FOR THE PROTECTION OF ALL UTILITIES AND EXISTING STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND FOR THE PROTECTION OF ALL UTILITIES AND EXISTING STRUCTURES.

WATTS ENTERPRISES
 REMUND FARMS
 STORM WATER POLLUTION
 PREVENTION PLAN - PHASE 4



BERG ENGINEERING
 1010 N. W. 11th St.
 Ft. Lauderdale, FL 33304
 PHONE: 754.546.1234
 FAX: 754.546.1235

THIS DOCUMENT IS RELEASED
 IN FULL UNDER THE PROVISIONS
 OF THE FOIA EXEMPTION
 SERIAL NO. 200905
 DATE: 3 JAN 2009

PROJECT NO. 0801
 DATE: 11/14/08
 SHEET NO. 20

March 28, 2022

TO: Midway City
ATTN: Wes Johnson, City Engineer

Subject: Remund Farms PUD Phase 2 Wetlands Boundary Staking

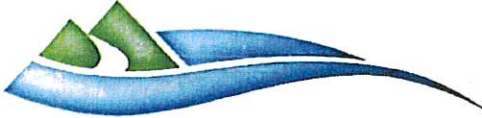
The wetland boundaries as shown on the Remund Farms PUD Phase 2 subdivision plat prepared by Berg Engineering and signed by Kevin M. Balls (Summit Engineering Group) was marked on the ground in September of 2021. This was requested by the developer to aid in preventing construction activities from encroaching on said wetlands.

The wetland delineation report prepared by BIO-WEST was given to Berg Engineering to be shown on said subdivision plat. I have verified that the location of the wetland area on the Remund Farms PUD Phase 2 plat and the area shown on the BIO-WEST wetland delineation report are the same.

I further certify that the staking of said delineated wetland boundary follows the exact location as shown on said subdivision plat.

Best Regards,
Kevin M. Balls, PLS
Summit Engineering Group, Inc.





BIO-WEST,
1063 West 1400 North
Logan, Utah
84321-2291
Ph: 435.752.4202
Fx: 435.752.0507
www.bio-west.com

MEMORANDUM

TO: U.S. Army Corps of Engineers, Attention - Mr. Michael Pectol
FROM: BIO-WEST, Inc. - Bob Thomas
DATE: June 20, 2018
SUBJECT: Midway Springs Wetland Delineation Report Addendum

Mr. Pectol,

Please find attached the revised wetland delineation map of the 22.2-acre Midway Springs Project Area in Midway, UT. The revised map reflects the changes to Wetland Area B that we discussed in the field during our site visit to verify the wetland boundaries on May 31, 2018. Specifically; the eastern boundary of Wetland Area B was modified to illustrate two existing connections to the eastern open water/canal feature shown on the map. This change did not result in any significant change to the wetland acreage which remains at 4.0-acres for Wetland Area B, and 9.2-acres for the overall project area. The modified wetland map also now shows the location of all of the existing groundwater monitoring wells on the project area, and surrounding the project area, including those installed in March 2018.

In addition to the modified wetland map, please find attached a spreadsheet that includes all of the groundwater monitoring data gathered on the project area and surrounding the project area to date.

We believe that this supplemental data should provide the information you need to issue a written preliminary jurisdictional determination for this 22.2-acre project area. Please let us know if you have any questions.

Thanks

-Bob Thomas (BIO-WEST, Inc.)

Attachments:

Revised Wetland Map (06/04/2018)
Groundwater Well Data Log

