



PLANNING COMMISSION MEETING STAFF REPORT

DATE OF MEETING: September 14, 2021

NAME OF PROJECT: Daybell Garage Mixed Use Project – Restaurant and Residential Unit

NAME OF APPLICANT: Wayne Gordon, agent for Bill Nibley

AGENDA ITEM: Conditional Use Permit

LOCATION OF ITEM: 289 South Center Street

ZONING DESIGNATION: C-2

ITEM: 7

Wayne Gordon, agent for Bill Nibley, is requesting approval of a conditional use permit that would allow a mixed-use development on the Daybell Garage property. The proposed mixed use would consist of a restaurant and a residential unit. The property is located at 298 South Center Street and is in the C-2 zone.

BACKGROUND:

This request for a Conditional Use Permit (CUP) by Wayne Gordon, agent for Bill Nibley, is for a mixed-use project that will include a commercial restaurant on the main floor of the existing structure and a residential unit on a proposed upper floor addition. The C-2 zone allows for mixed-use projects which, in turn, allows one residential unit for properties less than one-acre in size. The structure has always been commercial, but if the proposed conditional use is approved, the applicant would add a second story for the residence. The parcel on which the project is proposed is lot 2 of the Theo Carlile Daybell Family Trust Small Lot Subdivision. The parcel is zoned C-2 and is 0.22 acres in size.

The site plan that was submitted to the city shows seven off-street parking stalls and two stalls in the garage. For this use, the code requires a stall for every 200sf of indoor dining area accessible to the public. For outdoor dining area that is less than 50% of the indoor space, there is no additional parking required. If outdoor dining is more than 50% of the indoor dining space, the area exceeding 50% of the indoor space will require one stall for every 250sf of dining space. There is also a requirement of two spaces for a two-bedroom residential unit in a mixed-use project. For this project, staff calculates a need of five parking spaces for the restaurant (indoor dining ~410sf, outdoor dining ~500sf) and two parking spaces for the residential unit. In total the project will require seven spaces, the site plan shows nine spaces being provided.

The proposed restaurant will have a drive through order/pick-up window on the south side of the structure. The proposed vehicular entrance will be off 300 South and the proposed vehicular exit will be onto Center Street, which is a UDOT facility. The applicant will need to get approval from UDOT for the modification and proposed use of the Center Street access previous to being considered by the planning commission. The proposed access will create a one-way drive aisle through the property, which should help improve the safety by both designating how to enter and exit the property and narrowing the existing access points. Currently vehicles can enter access the property along the entirety of the east frontage and two points along the south frontage. This approach to access is less safe and less predictable for vehicles and pedestrians who are using the surrounding sidewalks and roads.

Per the county parcel map, it appears that the building may have originally been constructed in the 1950s. For purposes of our review, we have considered the building a grandfathered structure.

This item has been noticed in the local newspaper for two weeks and in the State's website for the Planning Commission meeting. Mailed notice will be sent out to all property owners within 600' before the public hearing by the City Council.

ANALYSIS:

The comments in italicized represent Planning Staff's comments pertaining to compliance or lack of compliance with the findings the City Council must make in considering this request. Section 16.26.120 requires specifically the Planning Commission to find that:

1. The proposed use is conditionally permitted within the Land Use Title, and would not impair the integrity and character of the intended purpose of the subject zoning district and complies with all the applicable provisions of this Code; *planning staff believes that the proposal will not impair the integrity and character of the C-2 zone. The proposal appears to comply with the requirements specific to mixed-use projects and restaurants as listed in the Municipal Code, including the requirement that at least 20% of the structure is commercial (proposal is 49% commercial). If approved, the applicant will need to record a deed restriction to ensure that at least 20% of the structure remains commercial.*

2. The proposed use is consistent with the General Plan; *the proposed uses appear to comply with the vision for the commercial centers as described in the General Plan. The General Plan promotes both restaurants and mixed-use developments within the commercial zones of the city.*
3. The approval of the conditional use or special exception permit for the proposed use is in compliance with the requirements of state, federal and Midway City or other local regulations; *the business that will be located in the project will be required to have an approved business license from the City. At a minimum the restaurant will need to apply for a business license, along with any other licensing or permitting required by local, state or federal requirements. The business license will be issued once the conditional use is approved and conditions of the permit are met. The applicant will need to comply with all health department requirements and will need written approval from UDOT for the egress access shown on their plan.*
4. There will be no potential, significant negative effects upon the environmental quality and natural resources that could not be properly mitigated and monitored; *The applicant will be working with the city engineer to ensure the storm water is appropriately taken care of. No other concerns have been identified.*
5. The design, location, size, and operating characteristics of the proposed use are compatible with the existing and future land uses with the general area in which the proposed use is to be located and will not create significant noise, traffic, or other conditions or situations that may be objectionable or detrimental to other permitted uses in the vicinity or adverse to the public interest, health, safety, convenience, or welfare to the City; *the proposed uses are located in an existing commercial building that would have a second floor added for the residential unit. The building is adjacent to both residential and commercial uses. Care should be taken by the applicant to ensure that the use does not create unreasonable impacts upon the neighboring uses.*

Noise – Midway City has a noise ordinance that the proposed uses will need to comply with. That ordinance requires noise at the property line to stay below 70 dBA between 6 AM and 10 PM. Between 10 PM and 6 AM, the noise at the property line should not exceed 55 dBA. The proposed restaurant entrances are oriented towards Center Street, while the residential entrance is located along rear/west side of the building. The restaurant is proposing outdoor dining which will be located along the east side of the property, away from the neighboring residential uses. The dining will be separated from Center Street by landscaping, which will create a buffer between the eating area and adjacent uses.

Clearview - The applicant will need to ensure that anything (signage, trees, landscaping) placed within the 45' clearview area along the intersection of 300

South and Center Street is appropriately sized that is does not create a safety concern.

Solid Waste – The applicant is proposing the use of trash canisters that would be located along the north side of the building behind a fence. The property adjacent to where they would be located is zoned commercial and is mostly vacant. The owner will be required to pull the containers to the designated public street for trash pickup.

Landscaping – The applicant is proposing to landscape all areas that are not covered by the building or exterior hardscape.

Setbacks – All structure setbacks will remain the same except for the setback to the west property line. The applicant is proposing a balcony for the residential unit. The C-2 Zone requires a 10' residential setback when part of a mixed-use development. It appears that the setback to the balcony does not meet this and will need to be adjusted so that it complies.

6. *The subject site is physically suitable for the type and density/intensity of the proposed use; The parcel is part of an approved subdivision plat and is in the C-2 zone. While the site is tight, it appears that it can handle the required improvements.*
7. *There are adequate provisions for public access, including internal and surrounding traffic flow, water, sanitation, and public utilities, and services to ensure that the proposed use would not be detrimental to public health and safety; the applicant is working with city staff, the city engineer, UDOT and utility providers to ensure that adequate measures are taken to ensure that public health and safety guidelines are met.*

POSSIBLE FINDINGS:

- The proposed use is a conditional use in the C-2 zone.
- The proposal is consistent with the vision of the General Plan for Main Street.

WATER BOARD RECOMMENDATION:

The Water Board has yet to hear or make a recommendation on this item. Previous to being presented to the city council, the applicant will need a recommendation from the water board and a will serve letter from Midway Irrigation Company.

ALTERNATIVE ACTIONS:

1. Recommendation of Approval (conditional). This action can be taken if the

Planning Commission issues.

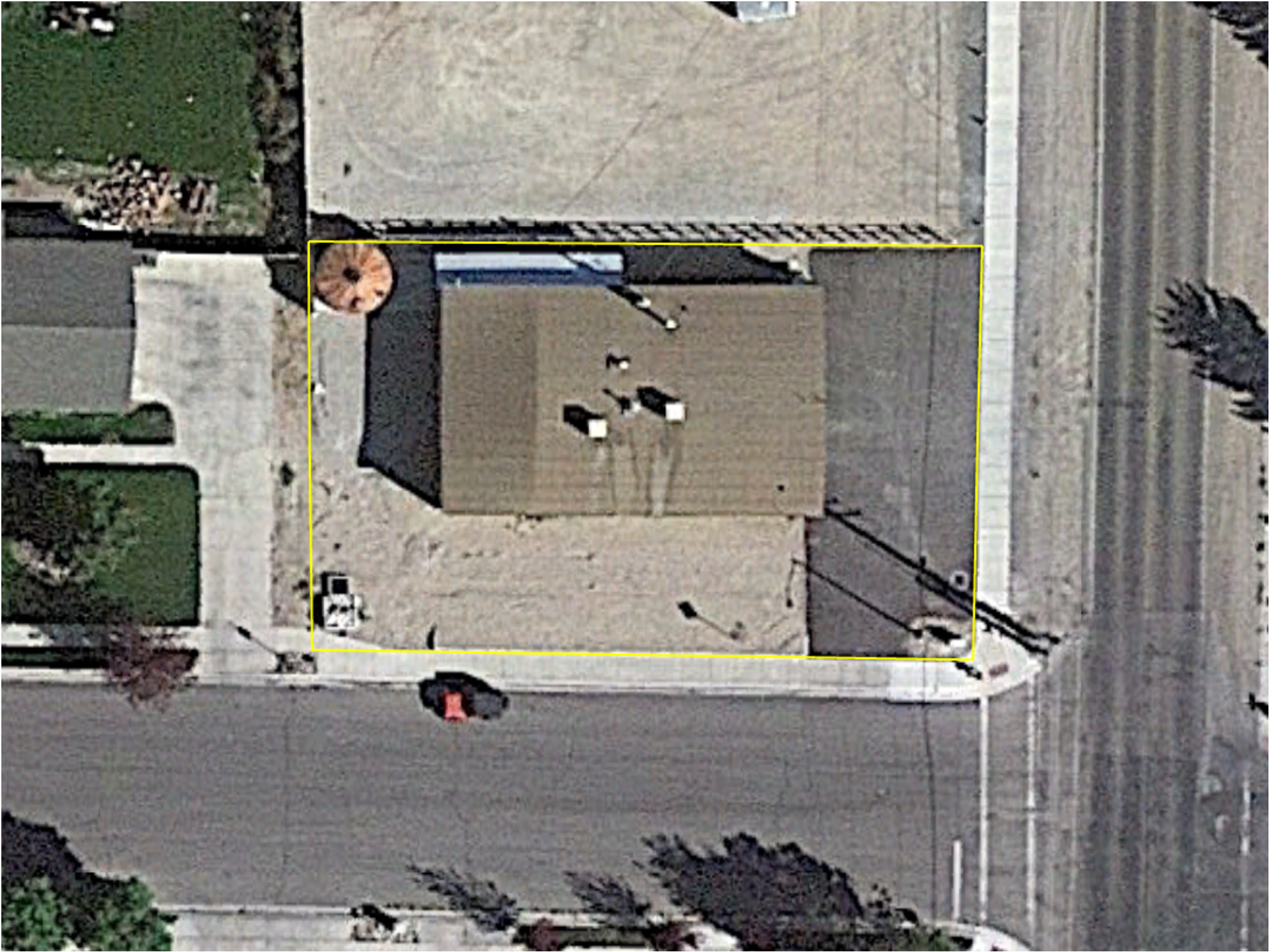
- a. Accept staff report
 - b. List accepted findings
 - c. Place condition(s)
2. Continuance. This action can be taken if the Planning Commission feels that there are unresolved issues.
- a. Accept staff report
 - b. List accepted findings
 - c. Reasons for continuance
 - i. Unresolved issues that must be addressed
 - d. Date when the item will be heard again
3. Recommendation of Denial. This action can be taken if the Planning Commission feels that the request does not meet the intent of the ordinance.
- a. Accept staff report
 - b. List accepted findings
 - c. Reasons for denial

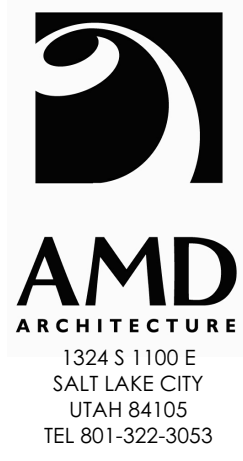
RECOMMENDED CONDITIONS:

1. Must have a recommendation from the water board before being presented to the City Council.
2. Must obtain a will-serve letter from Midway Irrigation Company before being presented to the City Council.
3. Must have approval from UDOT before being considered by the Planning Commission.
4. Before a building permit is issued, the applicant will need to address the items outlined in the Horrocks Engineering review letter dated 9/14/21.
5. The setback from the west property to the residential balcony must be a minimum of 10’.









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UTAH 84105
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DESIGN REVIEW SET - NOT FOR CONSTRUCTION

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DATE

8/9/21

REVISIONS

SITE PLAN

SP1.0

DEMO SITE PLAN KEYED NOTES

1. FRONT SETBACK- 8' MIN./30' MAX.
2. 8' COMMERCIAL SETBACK FROM (E) RESIDENTIAL USE
3. DRIVE-THROUGH EXIT TO STREET
4. CONC. WALK
5. LANDSCAPING, TO REPLACE (E) ASPHALT PARKING
6. OUTDOOR DINING (570 SF = 38 SEATS), TO REPLACE (E) ASPHALT PARKING
7. CURB RAMP
8. NEW BUILDING ENTRY WITH CANOPY
9. (E) BUILDING ENTRY- PATIO ACCESS & BUILDING EGRESS
10. ACCESSIBLE PARKING & AISLE
11. 24' AISLE @ ACCESSIBLE PARKING
12. PAINTED PEDESTRIAN AISLE
13. (E) COMMUNICATION BOX
14. (E) LIGHT POLE
15. CURB INLET & CATCH BASIN PER APWA DETAIL #35 TO REPLACE (E) STORMWATER CATCHBASIN; TIE INTO (E) UNDERGROUND CULVERT
16. DECOMMISSION (E) DRIVEWAY ACCESS
17. (E) RETAINING WALL
18. 9' X 20' PARALLEL PARKING STALL
19. LANDSCAPING
20. 24' DRIVEWAY ACCESS FOR 2 WAY DRIVE-THROUGH/PARKING
21. (E) ABOVE GRADE CATCH BASIN PER GRADING PLAN
22. (E) FIRE HYDRANT
23. BOLLARD
24. DRIVE-THROUGH WINDOW WITH CANOPY
25. RESIDENCE PARKING- (2) STALLS
26. BALCONY ABOVE
27. (E) SILO TO REMAIN
28. FENCED PATIO AREA @ APARTMENT
29. WASTE/RECYCLING CONTAINER AREA WITH CONC. PAVING
30. (E) GAS METER
31. (E) SIDEWALK
32. (E) GRAVEL PARK STRIP
33. (E) POST & RAIL FENCE TO REMAIN
34. (E) CONC. PAVING
35. SOLID FENCING W/ GATE @ WASTE/RECYCLING CONTAINER AREA
36. (E) APWA TYPE D CURB & GUTTER
37. PAVED ACCESS FOR GARAGE PARKING
38. MONUMENT SIGN (32 SF MAX. SIZE), DESIGN AND FINAL LOCATION TBD; SIGN TO BE LOCATED ON LOT AND NOT IN PUBLIC WAY

ZONING ANALYSIS

ADDRESS: 298 S CENTER ST, MIDWAY, UT
 LEGAL DESCRIPTION: LOT 2, THEO CARLILE DAYBELL FAMILY TRUST
 SMALL LOT SUBDIVISION
 C-2
 ZONE: NONE
 MIN. LOT AREA: 9737 SF (.22 ACRES)
 ACTUAL LOT AREA: 70' (MIXED USE)
 MIN. FRONTAGE: 77.07'
 ACTUAL FRONTAGE: 20% SF COMMERCIAL, W/ MIXED USE
 MAX. COVERAGE: RESIDENTIAL

FRONT YARDS: 10' MIN., 30' MAX.
 REAR YARD: 8' (COMMERCIAL SETBACK FROM EXISTING RESIDENTIAL USE)
 SIDE YARD: NONE
 MAX. HEIGHT: 35'
 PROPOSED HEIGHT: 27'

PARKING: ALL PARKING SHALL BE LOCATED AT THE SIDE OR REAR OF THE MAIN BUILDING ON EACH COMMERCIAL ZONING LOT.*

CLEAR VIEW: NOTWITHSTANDING ANY OTHER PROVISION CONTAINED HEREIN, STRUCTURES AND SETBACKS MUST COMPLY WITH CLEAR VIEW TRIANGLE OF INTERSECTING STREETS

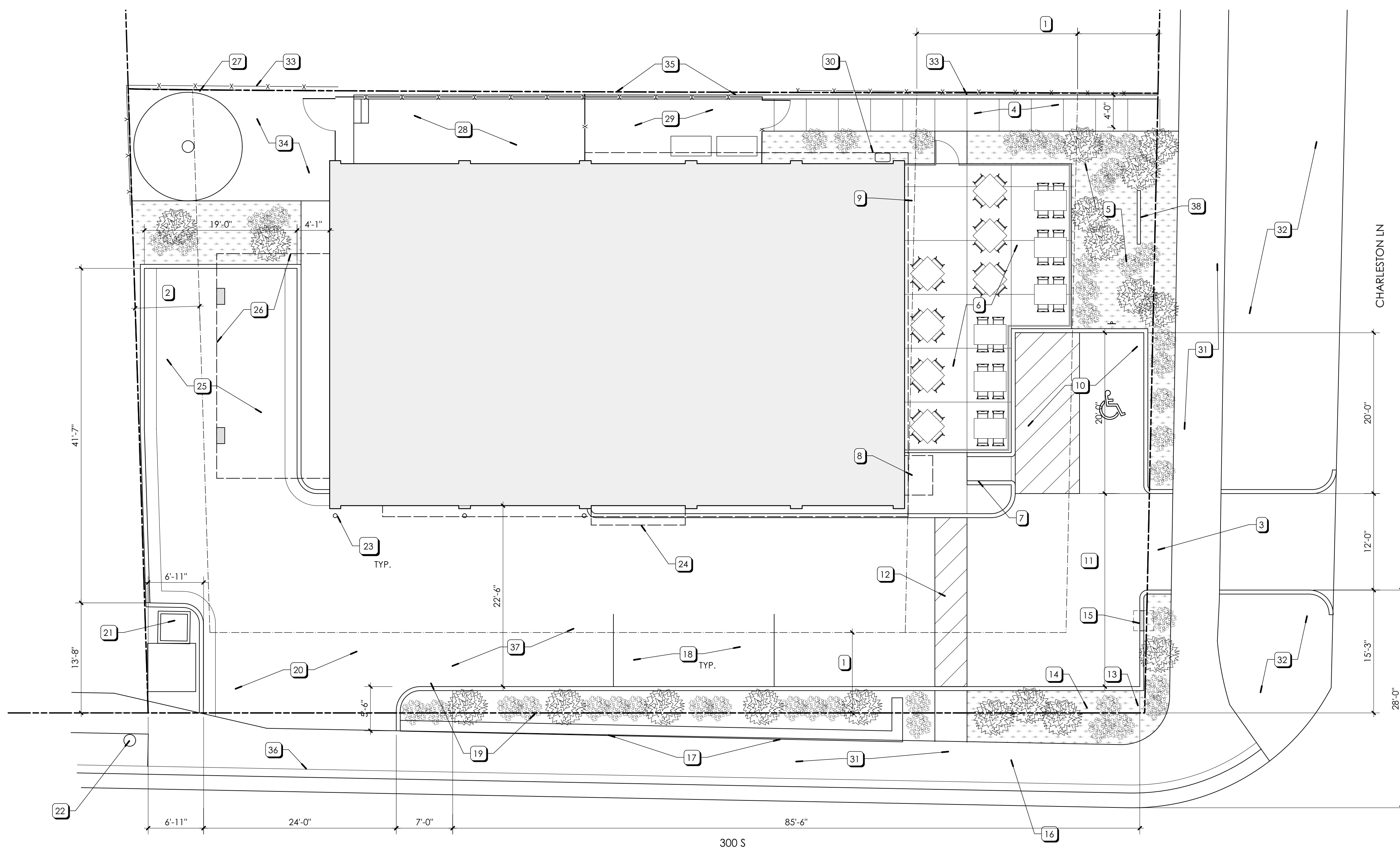
LANDSCAPING: ALL LAND NOT COVERED BY OFF-STREET PARKING OR BUILDINGS SHALL BE PLANTED INTO LAWN, TREES OR SHRUBS, AND OTHERWISE LANDSCAPED AND MAINTAINED WITH LAWNS, TREES AND SHRUBS, EXCEPT FOR PERMITTED DRIVEWAYS AND SIDEWALKS.

*VARIANCES: THE CITY COUNCIL, UPON AN APPLICANT'S REQUEST, MAY APPROVE A SETBACK OR PARKING LAYOUT, DIFFERENT THAN LISTED IN THIS SECTION BASED ON SPECIFIC CIRCUMSTANCES OF THE SITE AND BUILDING ORIENTATION OR SPECIFIC USE

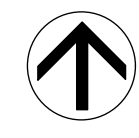
PARKING ANALYSIS

PARKING REQUIRED		
RESIDENTIAL:	1.3 BEDROOM UNIT	3
RESTAURANT:	1/200 SF DINING SPACE X 700 SF	4
OUTDOOR DINING:	N/A: PATIO < 50% DINING AREA	-
TOTAL:		7

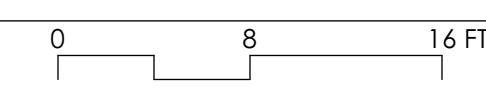
PARKING PROVIDED		
ON SITE:		5
GARAGE:		2
TOTAL:		7
(INCLUDES (1) ACCESSIBLE VAN SPACE WITH LOADING AISLE)		



Know what's below.
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1 SITE PLAN
Scale: 1/8" = 1'-0"





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DATE

8/9/21

REVISIONS

SITE UTILITY & DRAINAGE PLAN

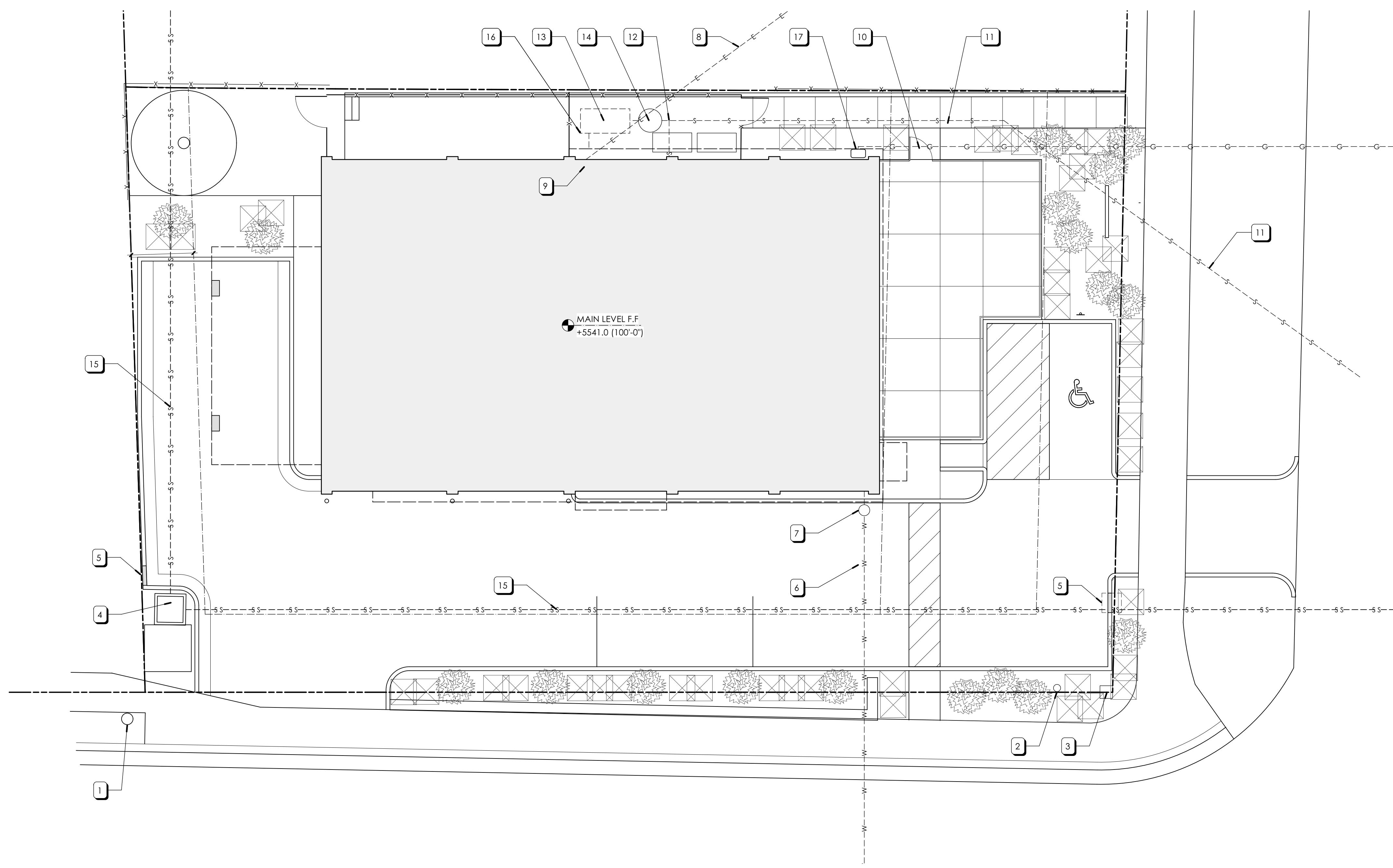
SP1.1

SITE UTILITY PLAN KEYED NOTES

1. (E) FIRE HYDRANT
2. (E) LIGHT POLE
3. (E) COMMUNICATION BOX
4. (E) ABOVE GRADE CATCH BASIN PER GRADING & DRAINAGE PLAN
5. CURB INLET & CATCHBASIN
6. (E) UNDERGROUND WATER SERVICE: VERIFY SIZING FOR RESTAURANT USE
7. WATER METER: VERIFY SIZING FOR RESTAURANT USE
8. (E) OVERHEAD ELECTRICAL SERVICE
9. (E) ELECTRICAL METERS
10. (E) GAS LINE. VERIFY SIZING NEW OCCUPANCIES
11. (E) SEWER LATERAL (4" CLAY PIPE)
12. (E) SEWER LATERAL: VERIFY (E) LOCATION, RELOCATE AS REQUIRED TO BE DOWNSTREAM OF GREASE INTERCEPTOR/SAMPLING MANHOLE
13. UNDERGROUND GREASE INTERCEPTOR
14. SAMPLING MANHOLE
15. (E) UNDERGROUND STORM SEWER CULVERT
16. NEW SEWER LINE FROM COMMERCIAL KITCHEN
17. (E) GAS METERS. VERIFY SIZING AND USAGE SEPARATIONS FOR NEW OCCUPANCIES

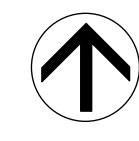
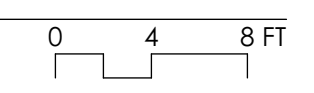
SITE UTILITY NOTES

1. PRIOR TO WORKING IN THE PUBLIC WAY, A LICENSED, INSURED, AND BONDED CONTRACTOR, WHO HAS SAID INFORMATION ON FILE WITH SLC ENGINEERING, MUST OBTAIN A PUBLIC WAY PERMIT FROM SLC ENGINEERING AND PERHAPS A TRANSPORTATION PERMIT. ALL WORK IN THE PUBLIC WAY SHALL FOLLOW APWA STANDARDS.
2. ALL UTILITY TRENCHING MUST BE PER APWA STANDARD MANUAL OF DETAILS



MAIN LEVEL F.F.
+5541.0 (100'-0")

1 SITE UTILITY & DRAINAGE PLAN
Scale: 1/8" = 1'-0"



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DATE

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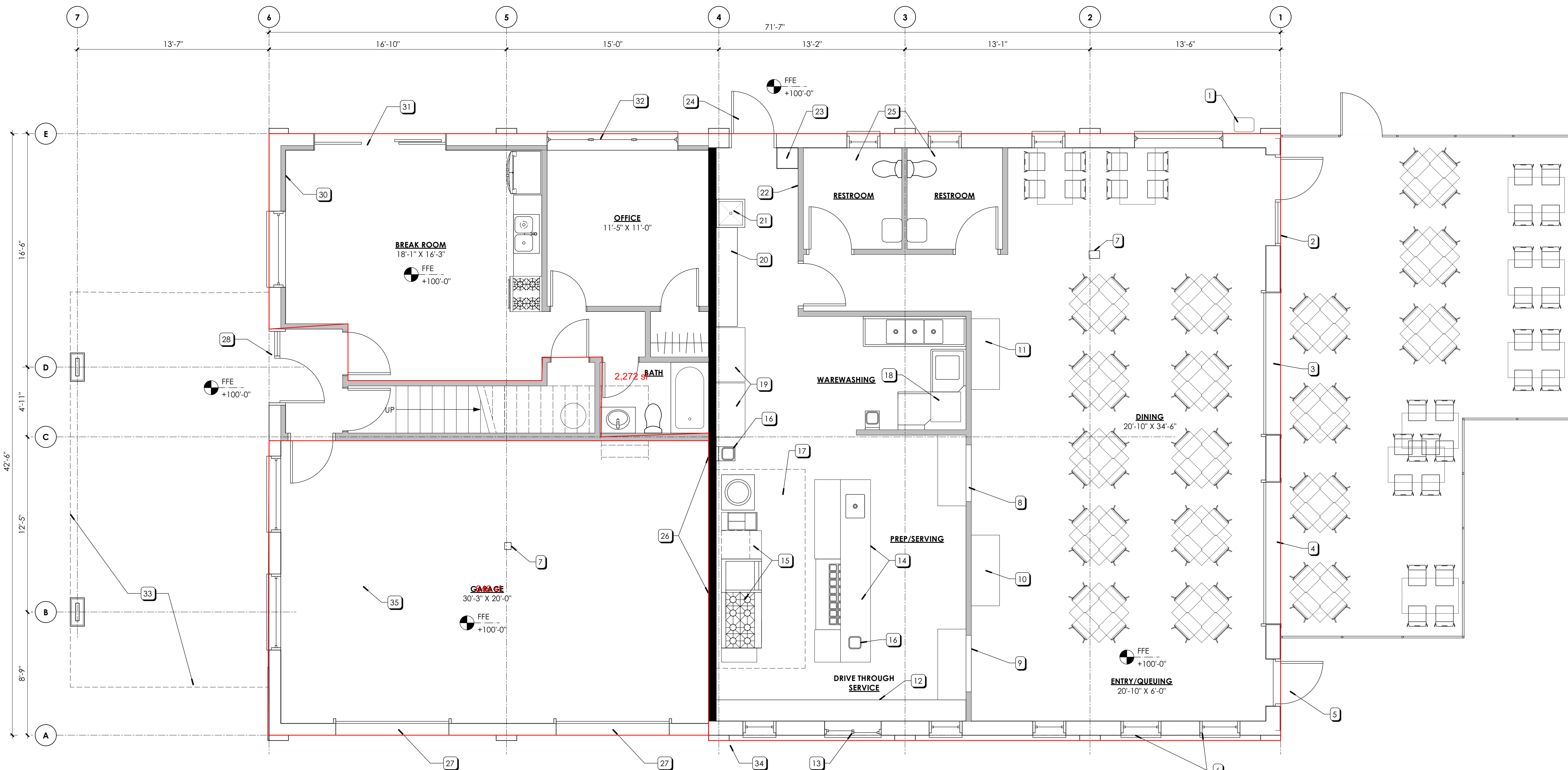
REVISIONS

MAIN LEVEL FLOOR PLAN

A1.0

FLOOR PLAN KEYED NOTES

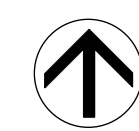
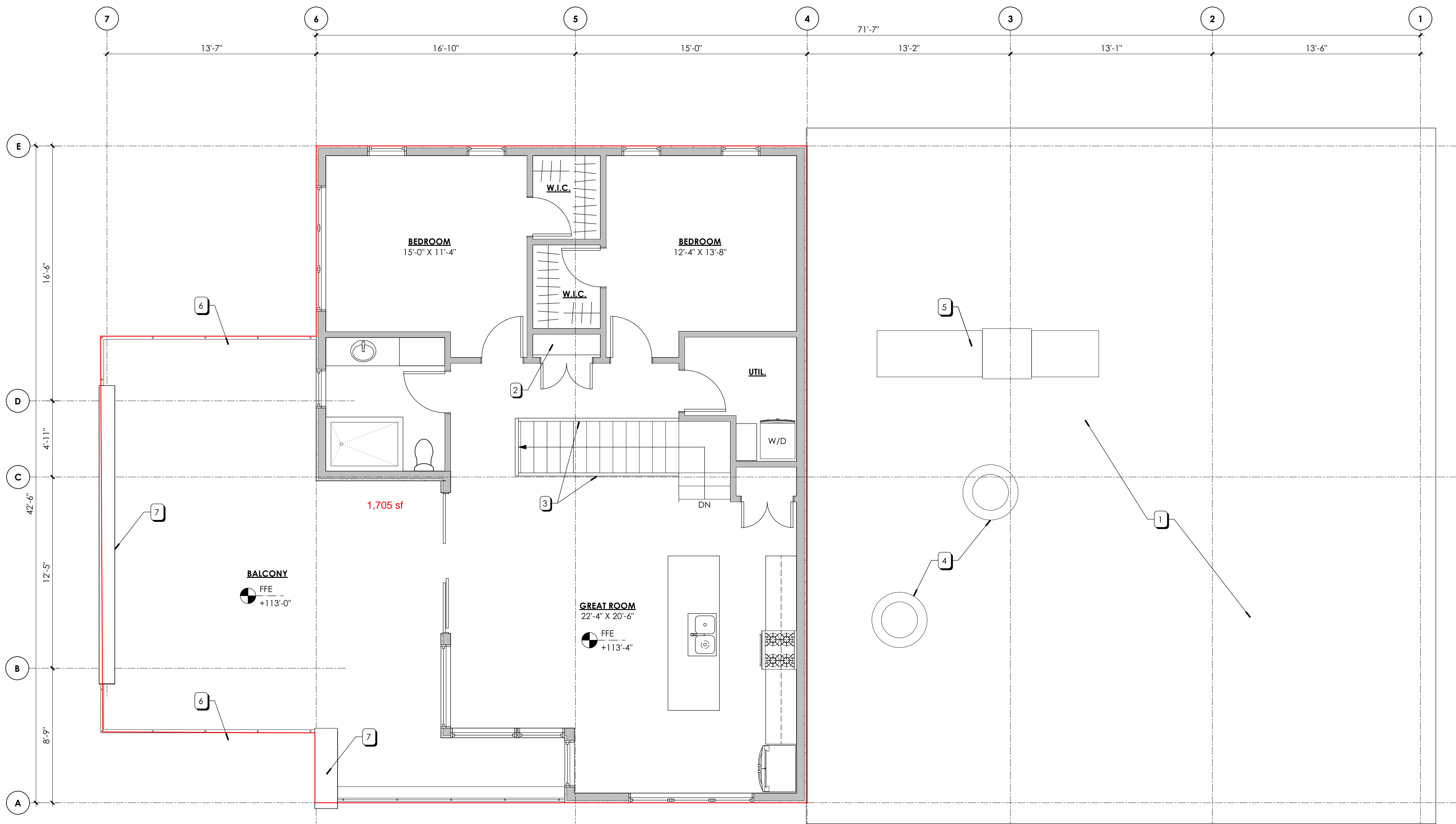
1. (E) GAS METER
2. DOOR & SIDELIGHTS TO REPLACE (E) DOOR & WINDOW (PATIO ACCESS & BUILDING EGRESS)
3. OVERHEAD DOOR TO REPLACE (E)
4. OVERHEAD DOOR W/ WALL INFILL TO REPLACE (E); MATCH ADJ. DOOR SIZE
5. (N) DOOR & RESTAURANT ENTRY
6. WINDOW W/ BRICK WALL INFILL TO REPLACE (E)
7. (E) REROFFITED COLUMN; VERIFY REMOVAL W/ STRUCTURAL
8. ORDER WINDOW
9. PICK UP WINDOW
10. DRINK STATION
11. TRASH RECEPTACLES
12. DRIVE THROUGH SERVICE / P.O.S.
13. DRIVE THROUGH SERVICE WINDOW IN ENLARGED R.O.
14. PREP/SERVING AREA
15. COOK LINE W/ COOKTOP, RANGE, FRYER & TANDOORI OVEN
16. HAND SINK
17. TYPE I COMMERCIAL HOOD
18. DISHWASHER W/ TYPE I HOOD ABOVE (AS REQUIRED BY MAKE/MODEL)
19. FOOD STORAGE/REFRIGERATOR(S)
20. STORAGE/SHELVING
21. MOP SINK
22. RELOCATED ELECTRICAL PANEL
23. (E) CHIMNEY
24. (N) DOOR & R.O. FOR KITCHEN ACCESS
25. ACCESSIBLE RESTROOM TO REPLACE (E)
26. 2 HOUR FIRE SEPARATION BETWEEN RESTAURANT AND RESIDENTIAL
27. OVERHEAD DOOR/ ENLARGED OPENING TO REPLACE (E) WINDOW
28. DOOR & SIDELIGHT TO REPLACE (E) WINDOW
29. N/A
30. INSULATED WALL FURRING
31. PATIO DOOR IN ENLARGED OPENING
32. WINDOW & INFILL @ (E) WALL OPENING
33. BALCONY ABOVE
34. ORDER MENU SIGN
35. 2 POST CAR LIFT



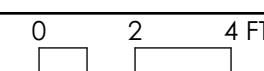
1 MAIN LEVEL FLOOR PLAN
Scale: 1/4" = 1'-0"
0 2 4 FT

LEGEND

	EXISTING CONSTRUCTION
	NEW CONSTRUCTION
	2 HOUR RATED CONSTRUCTION



2 UPPER LEVEL FLOOR PLAN
Scale: 1/4" = 1'-0"



FLOOR PLAN KEYED NOTES

1. ROOF BELOW
2. LINEN CLOSET
3. OPEN RAILING
4. KITCHEN HOOD EXHAUST FAN
5. KITCHEN HOOD MAKEUP AIR UNIT
6. CABLE RAILING
7. PONY WALL WITH STONE CLADDING

LEGEND

- EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- 2 HOUR RATED CONSTRUCTION



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DATE

8/9/21

REVISIONS

UPPER LEVEL FLOOR PLAN

A1.1



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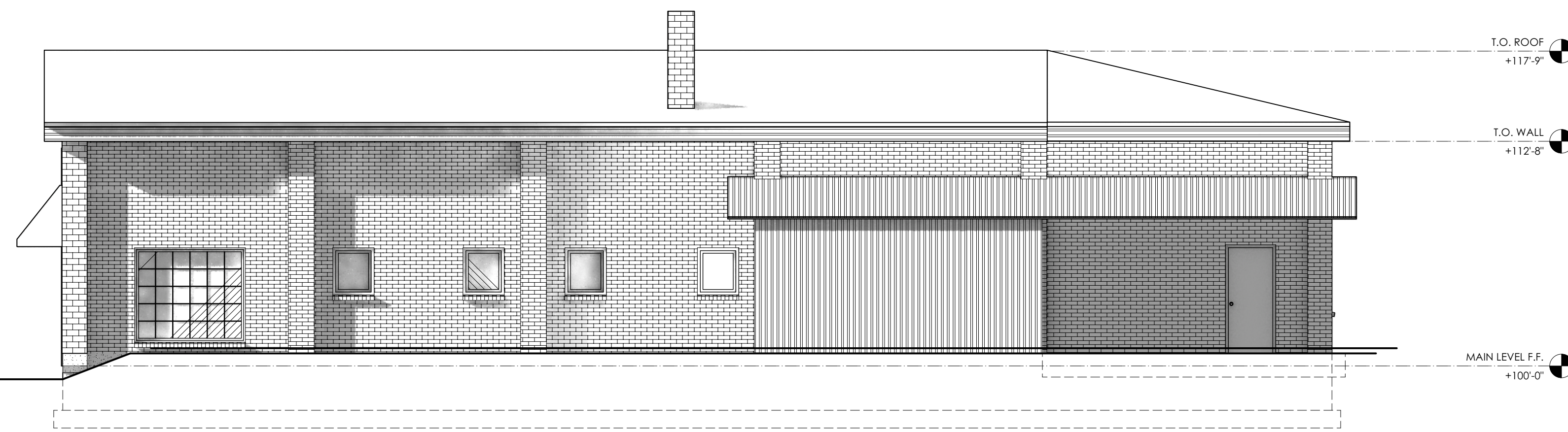
DATE

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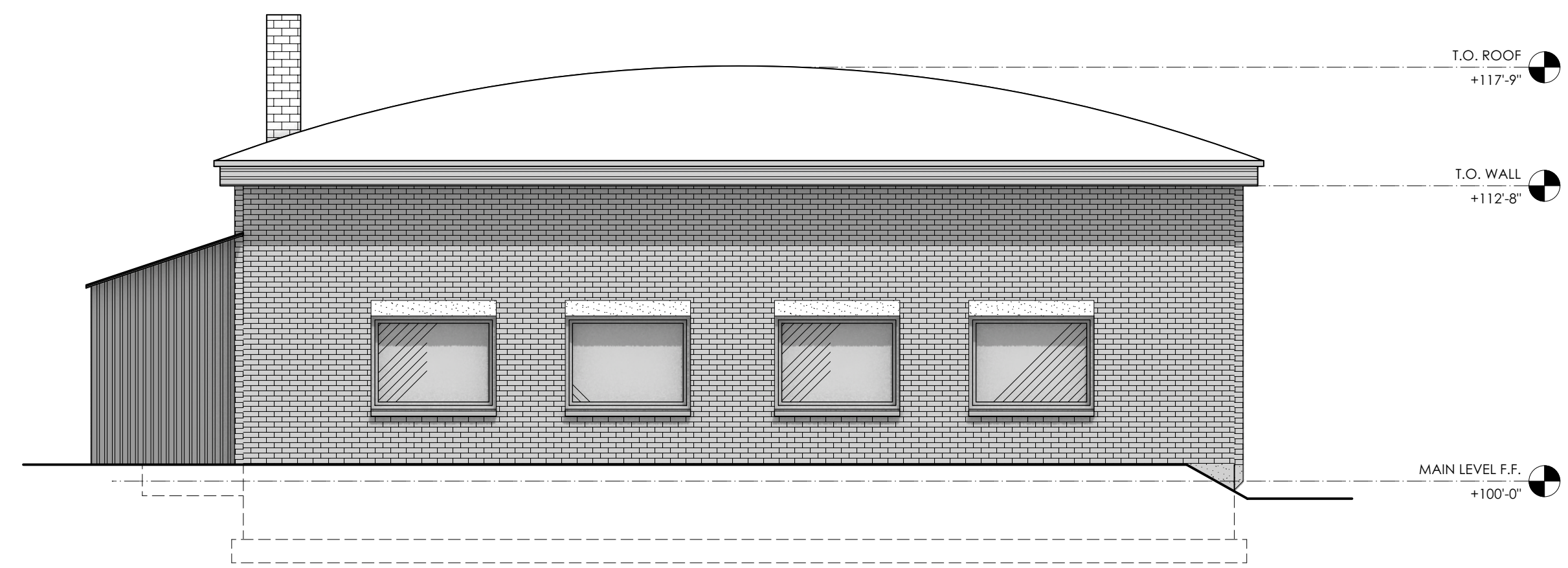
REVISIONS

EXTERIOR ELEVATIONS - EXISTING

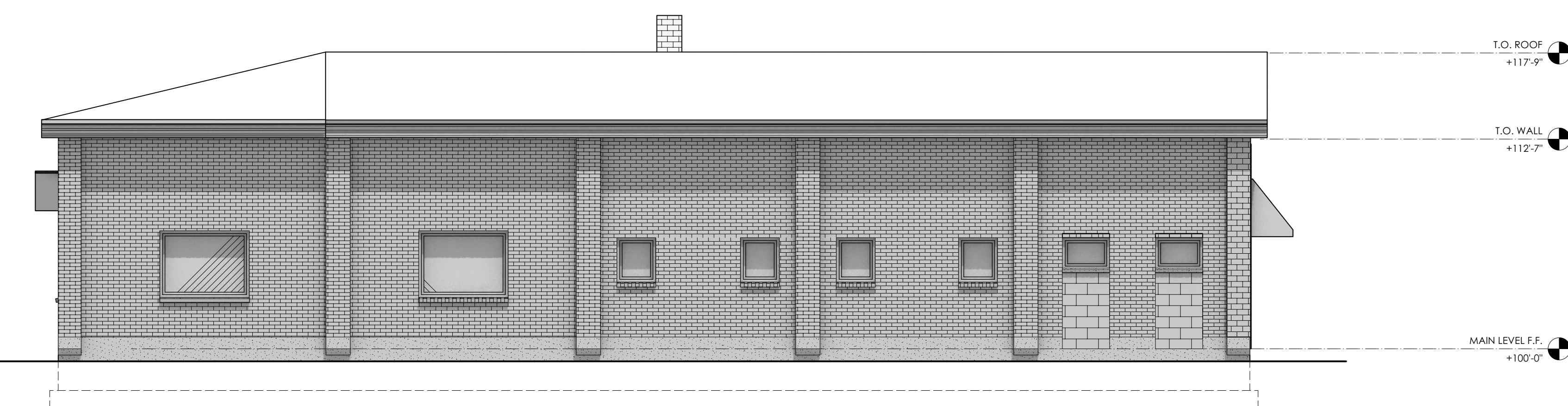
A2.0



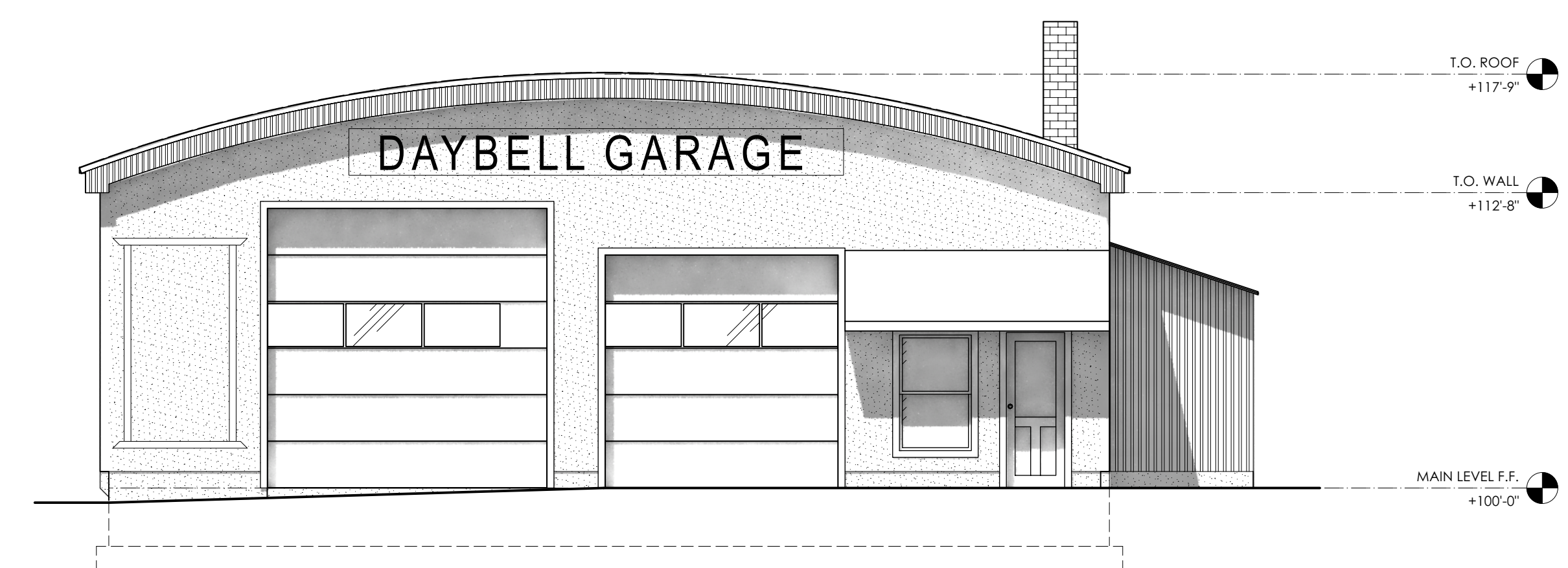
2 EXISTING NORTH ELEVATION
Scale: 3/16" = 1'-0"



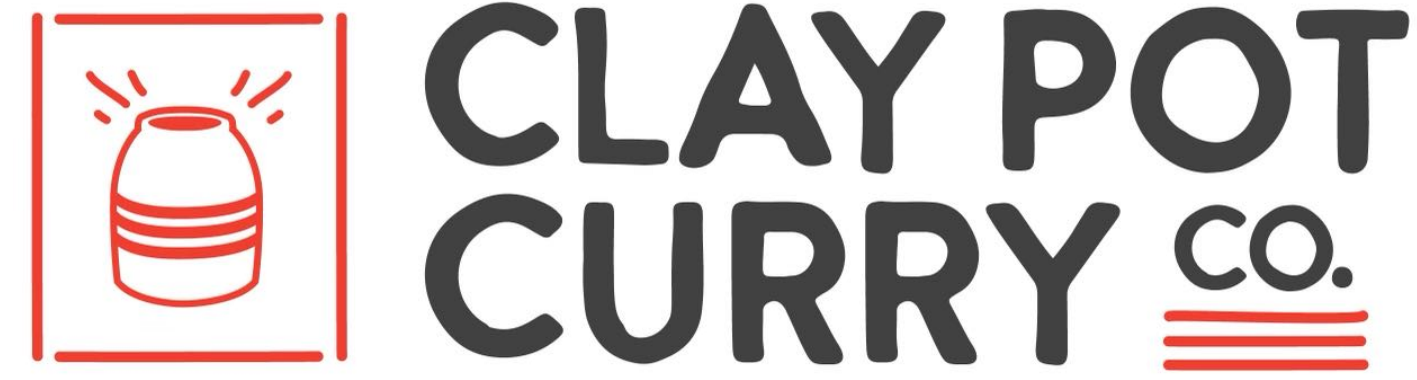
1 EXISTING WEST ELEVATION
Scale: 3/16" = 1'-0"



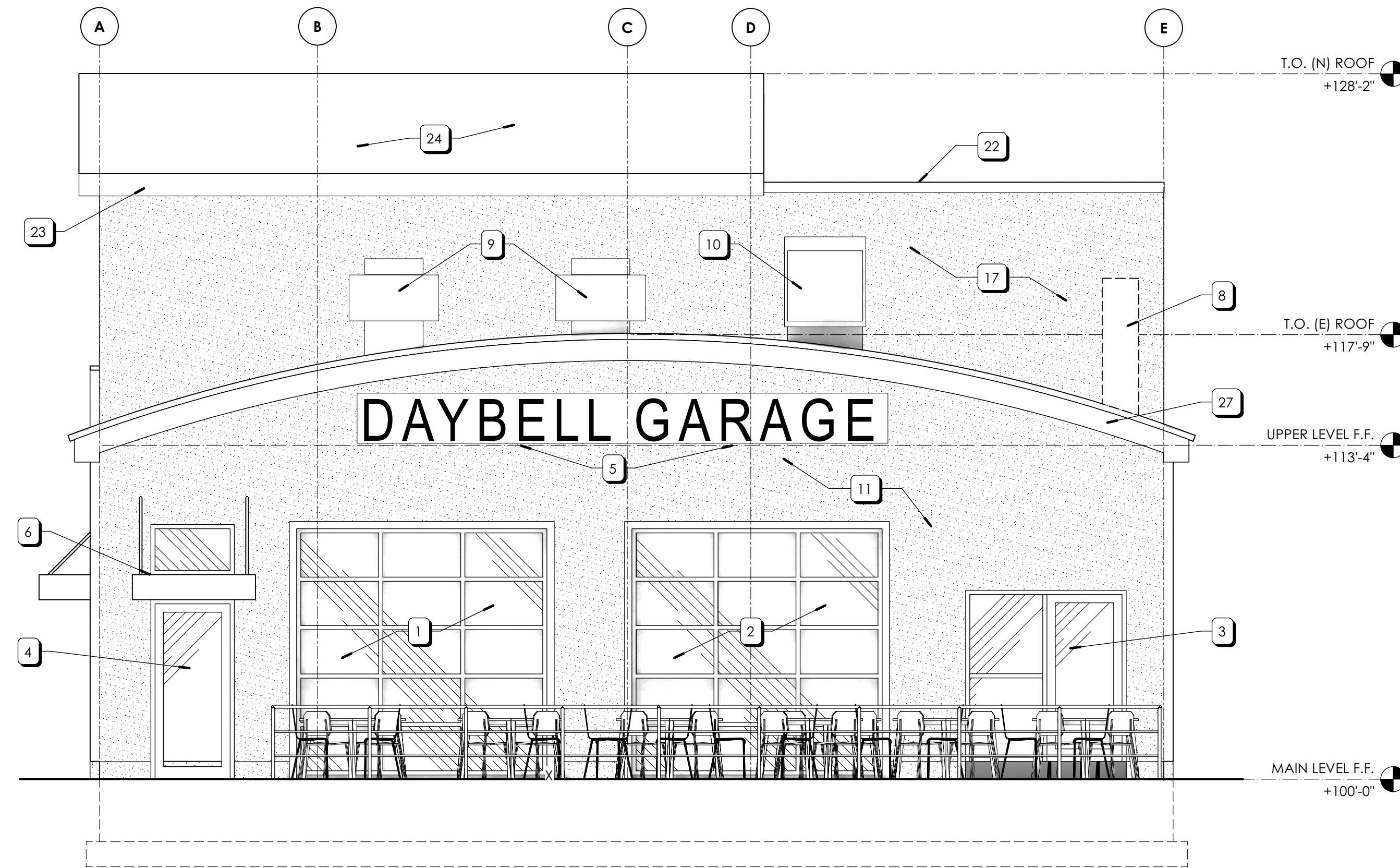
5 EXISTING SOUTH ELEVATION
Scale: 3/16" = 1'-0"



6 EXISTING EAST ELEVATION
Scale: 3/16" = 1'-0"



3 PROPOSED COMMERCIAL TENANT LOGO
Scale: NO TO SCALE



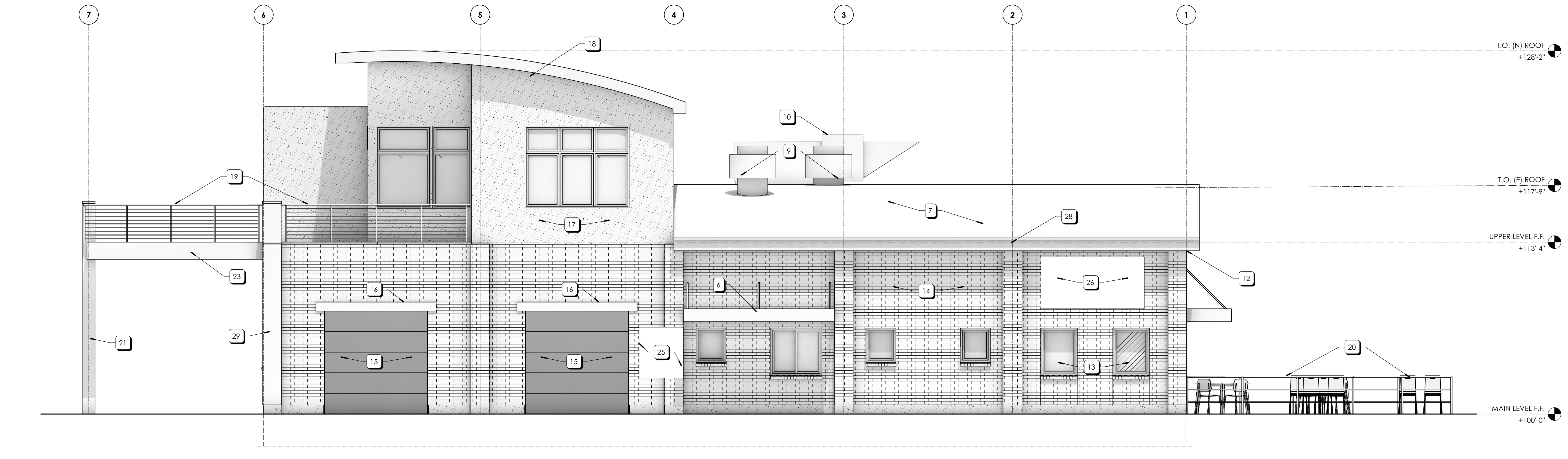
2 EAST ELEVATION
Scale: 1/4" = 1'-0"

EXTERIOR ELEVATION KEYED NOTES

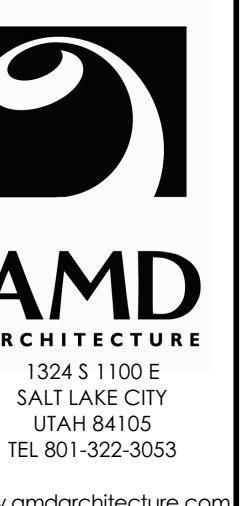
1. GLASS/METAL SECTIONAL OVERHEAD DOOR TO REPLACE (E); ENLARGE ROUGH OPENING TO MATCH ADJACENT DOOR
2. GLASS/METAL SECTIONAL OVERHEAD DOOR TO REPLACE (E)
3. ALUMINUM STOREFRONT DOOR & SIDELIGHT TO REPLACE (E) DOOR & WINDOW, WITH ENLARGED DOOR FOR ADA COMPLIANCE
4. ALUMINUM STOREFRONT DOOR IN NEW ROUGH OPENING
5. (E) HISTORIC BUILDING SIGN TO REMAIN, REPAIR AS REQUIRED AND REPAINT (EXISTING BUILDING FEATURE NOT CONSIDERED PART OF BUILDING SIGNAGE)
6. METAL CANOPY
7. MEMBRANE ROOFING TO REPLACE (E) SHEET ASPHALT ROOFING
8. REMOVE (E) STRUCTURALLY UNSOUND MASONRY CHIMNEY
9. KITCHEN HOOD EXHAUST FAN
10. KITCHEN HOOD MAKEUP AIR UNIT
11. (E) STUCCO
12. (E) METAL FASCIA & SOFFIT TO REMAIN
13. WINDOW & BRICK WALL INFILL TO REPLACE (E) WINDOW & CMU WALL INFILL
14. (E) BRICK
15. SECTIONAL DOOR IN ENLARGED WINDOW OPENING
16. STEEL LINTEL
17. STUCCO
18. METAL RAKE & SOFFIT
19. CABLE RAILING
20. OUTDOOR DINING PATIO WITH METAL RAIL
21. COLUMN WITH CONCRETE SKIN FACING (BASIS OF DESIGN- ÖKÖ SKIN BY RIEDER)
22. METAL COPING
23. METAL FASCIA & SOFFIT
24. MEMBRANE ROOFING
25. MENU BOARD (16 SF MAX.)
26. BUILDING MOUNTED WALL SIGN (32 SF MAX.)
27. REPLACE (E) METAL RAKE & SOFFIT TO MATCH BUILDING ADDITION
28. REPLACE (E) METAL FASCIA & SOFFIT TO MATCH BUILDING ADDITION
29. CONCRETE SKIN FACING VENEER (BASIS OF DESIGN- ÖKÖ SKIN BY RIEDER)

GENERAL COLOR NOTES

- | | |
|-----------------------|---|
| 1. EXISTING BRICK: | TO REMAIN AS IS |
| 2. EXISTING STUCCO: | REPAINT TO LIGHT GRAY |
| 3. NEW STUCCO: | LIGHT GRAY |
| 4. DOORS AND WINDOWS: | WHITE |
| 5. TRIM: | BLACK |
| 6. MEMBRANE ROOFING: | WHITE/TAN (LIGHT COLOR FOR SOLAR REFLECTANCE) |
| 7. STONE PANELS: | "CHROME7/MATT" ÖKÖ SKIN BY RIEDER |



1 SOUTH ELEVATION
Scale: 1/4" = 1'-0"



DESIGN REVIEW SET - NOT FOR CONSTRUCTION

DAYBELL
298 S. CENTER ST.
MIDWAY, UT

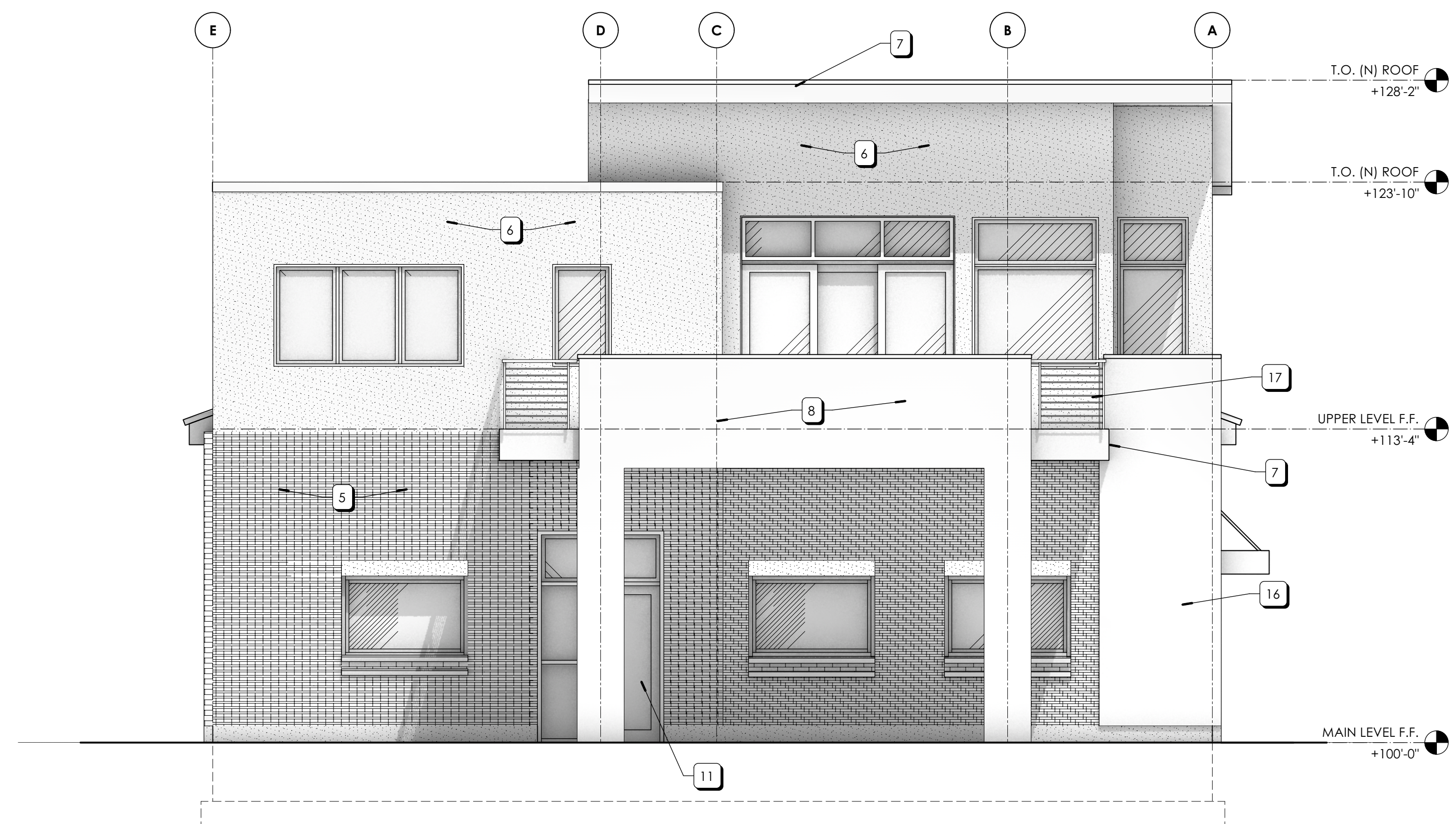
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DATE
8/9/21

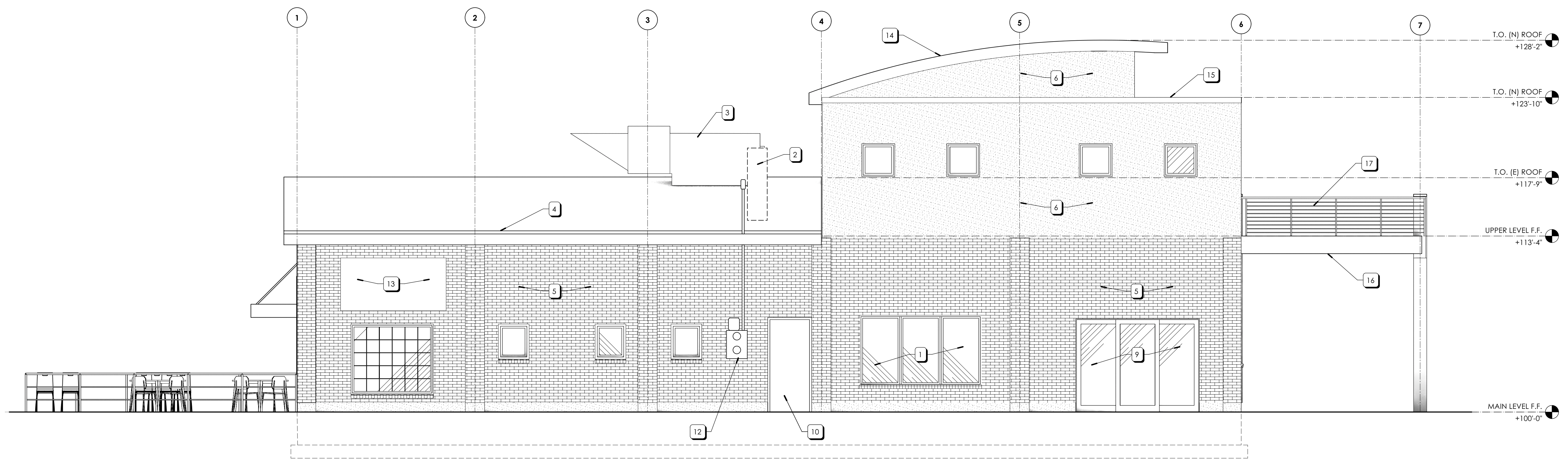
REVISIONS

EXTERIOR ELEVATIONS

A2.1



2 WEST ELEVATION
Scale: 1/4" = 1'-0"



1 NORTH ELEVATION
Scale: 1/4" = 1'-0"

- EXTERIOR ELEVATION KEYED NOTES**
1. WINDOW & INFILL @ (E) WALL OPENING
 2. REMOVE (E) STRUCTURALLY UNSOUND MASONRY CHIMNEY
 3. KITCHEN HOOD MAKEUP AIR UNIT
 4. (E) METAL FASCIA & SOFFIT TO REMAIN
 5. (E) BRICK
 6. STUCCO
 7. METAL FASCIA & SOFFIT
 8. BALCONY WITH CONCRETE SKIN PANELS (BASIS OF DESIGN- ÖKÖ SKIN BY RIEDER)
 9. DOOR @ ENLARGED WALL OPENING
 10. HOLLOW METAL DOOR & FRAME IN (N) OPENING
 11. DOOR & SIDELIGHT IN ENLARGED WINDOW OPENING
 12. ELECTRICAL METER AND OVERHEAD SERVICE
 13. BUILDING MOUNTED WALL SIGN (32 SF MAX.)
 14. METAL RAKE & SOFFIT
 15. METAL COPING
 16. CONCRETE SKIN PANEL VENEER (BASIS OF DESIGN- ÖKÖ SKIN BY RIEDER)
 17. CABLE RAILING



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DESIGN REVIEW SET - NOT FOR CONSTRUCTION

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MIDWAY, UT

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DATE

8/9/21

REVISIONS

TITLE SHEET

G0.0

September 14, 2021

Midway City
Attn: Michael Henke
75 North 100 West
Midway, Utah 84049

Subject: Daybell Garage Conditional Use Permit Review

Dear Michael:

Horrocks Engineers recently reviewed the plans for the above mixed use development. The following issues should be addressed before a building permit is issued.

General: The proposed mixed use development is located at approximately 298 South Center Street. The proposed use will include a restaurant on the main floor with a residential unit on the second level. Final construction site plans should be approved prior to final approval.

Water

- Applicant should verify that the existing lateral has adequate flow for both the restaurant and residential unit.

Roads

- The applicant will need to get an approved access permit from UDOT for the proposed driveway access onto Center Street prior to any approval from City Council.

Storm Drain

- The site will need provide a storm drain analysis for 25 year – 24 hour storm event and hold that water onsite. Then it can discharge into the existing irrigation line that runs through the property and south on Center Street.

Please feel free to call our office with any questions.

Sincerely,
HORROCKS ENGINEERS



Wesley Johnson, P.E.
Midway City Engineer

cc: Wayne Gordon AMD Architecture