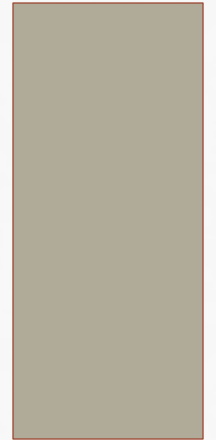


AMEYALLI RESORT

PHASE 1

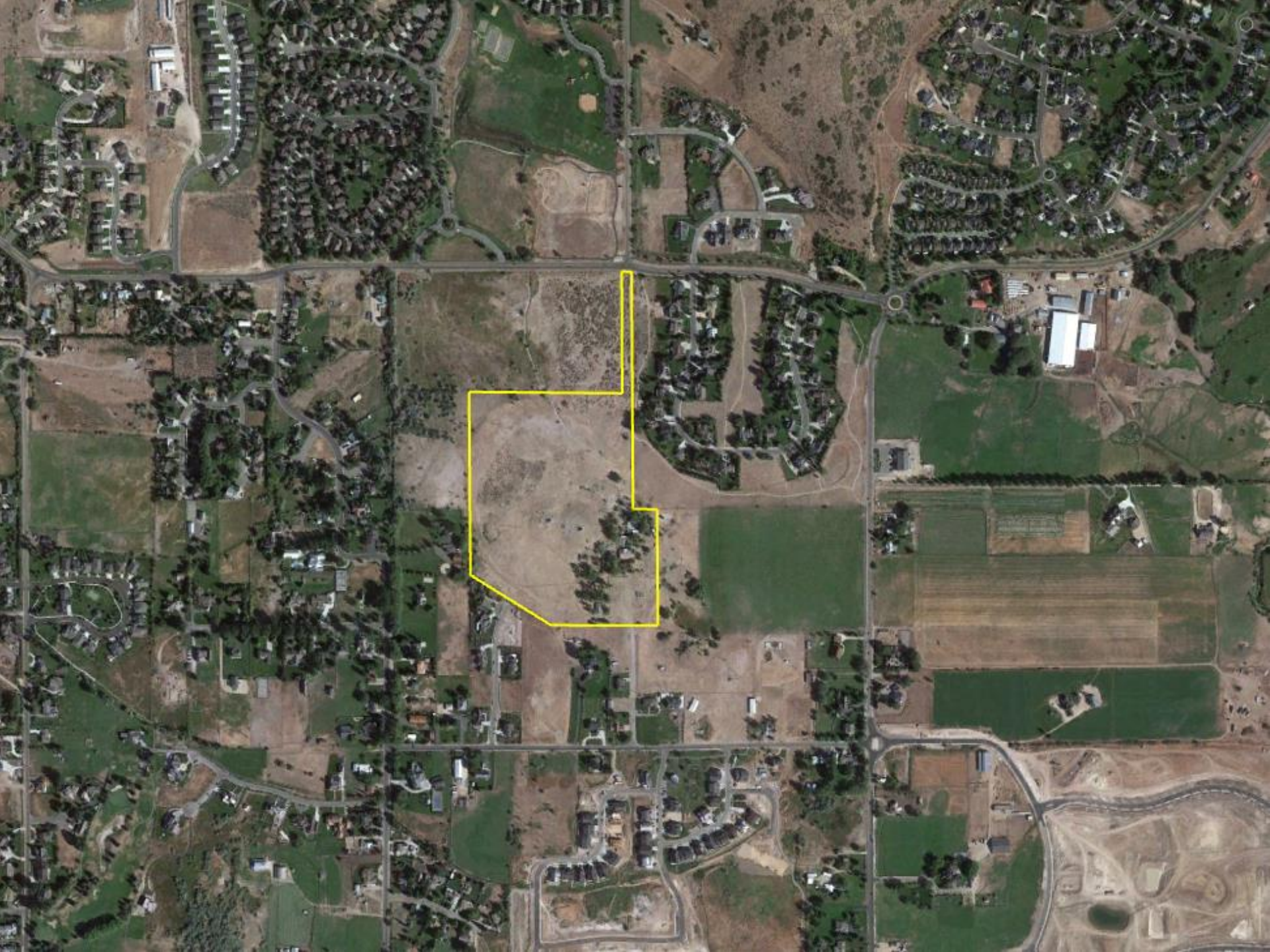
PRELIMINARY

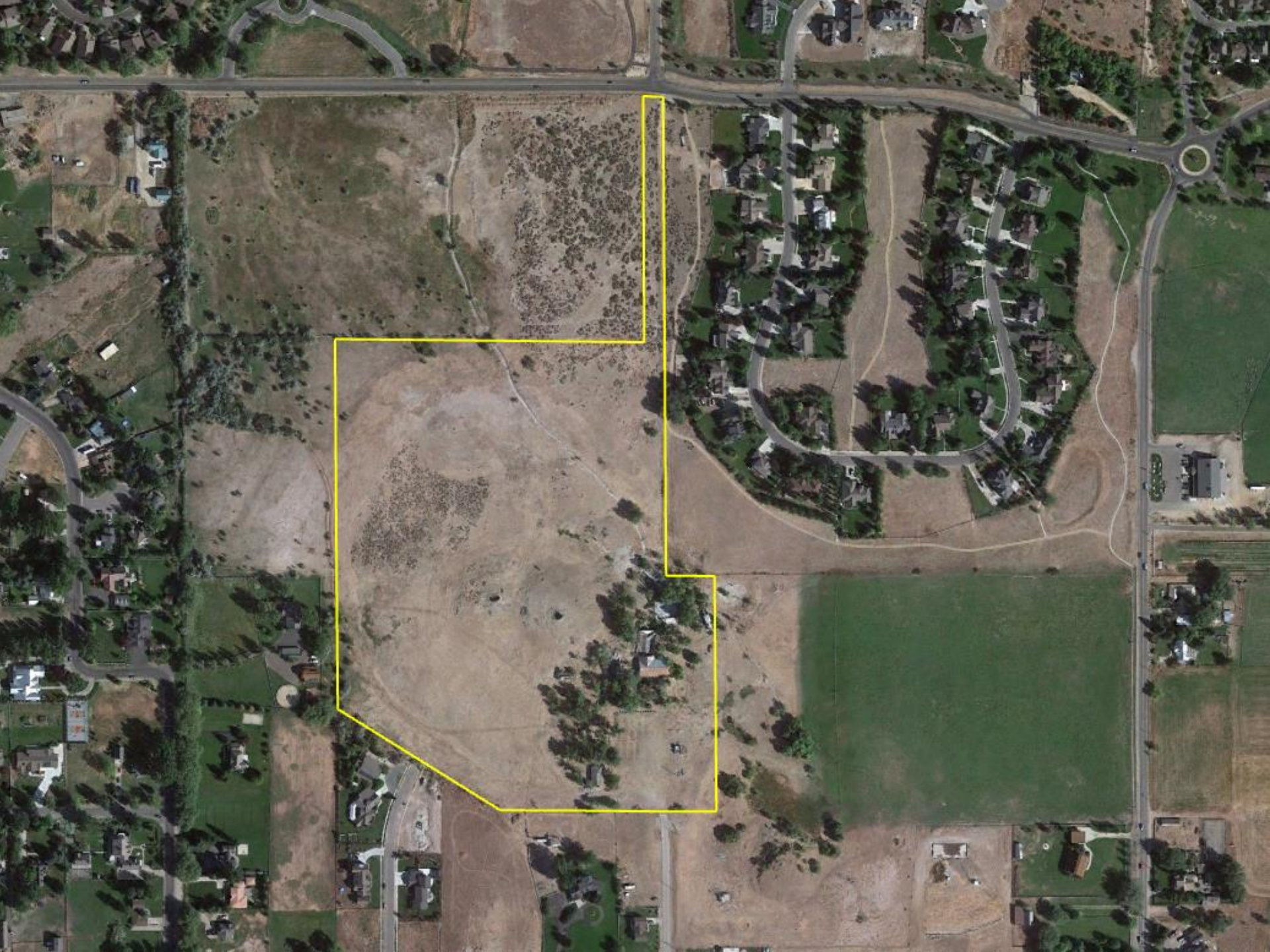


LAND USE SUMMARY

- Resort Zone (RZ)
- Phase 1 approximately 16 acres (28.87 acres total)
- 11.87 acres of open space (15.95 acres of open space in entire master plan)
 - 8.81 acres are preserved in a conservation easement
- 12 duplexes (24 units), two family lodges, and amenities
- Public trails from 600 North to Burgi Lane (8' paved), River Road to resort core (soft surface), and crater loop trail (soft surface).
- Private roads and storm drain system will be maintained by the property owner
- New improvements will connect to the Midway Sanitation District sewer and to the City's culinary water line.
- Sensitive lands on the property include hot pots, rock outcroppings and 25% and greater slopes.







MASTER SITE PLAN |

OVERALL RESORT

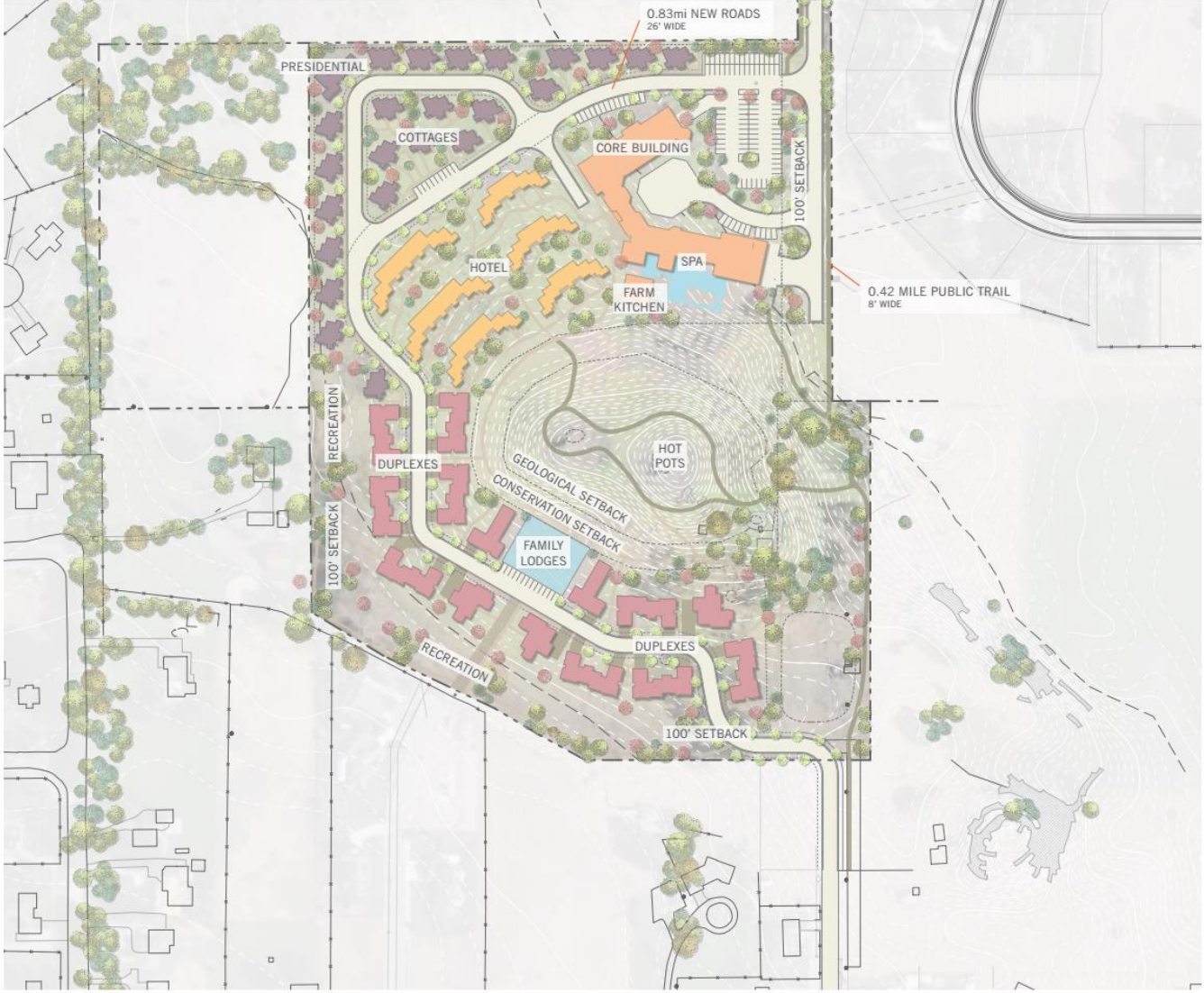


PROGRAM | LEGEND

- 1 MAIN ENTRANCE
- 2 AGRICULTURAL PRESERVATION AREA
SEE RECORDED RURAL PRESERVATION SUBDIVISION PLAT.
- 3 CORE BUILDING
- 4 HOTEL
- 5 COTTAGES
- 6 DUPLEXES
- 7 FAMILY LODGE + FAMILY POOL AREA
- 8 RECREATION ZONE
- 9 FARM KITCHEN
- 10 RESTORED EXISTING POT ROCK STRUCTURE
- 11 HOT POTS
- 12 POTENTIAL EMERGENCY ACCESS PATH

MASTER SITE PLAN I

SITE METRICS



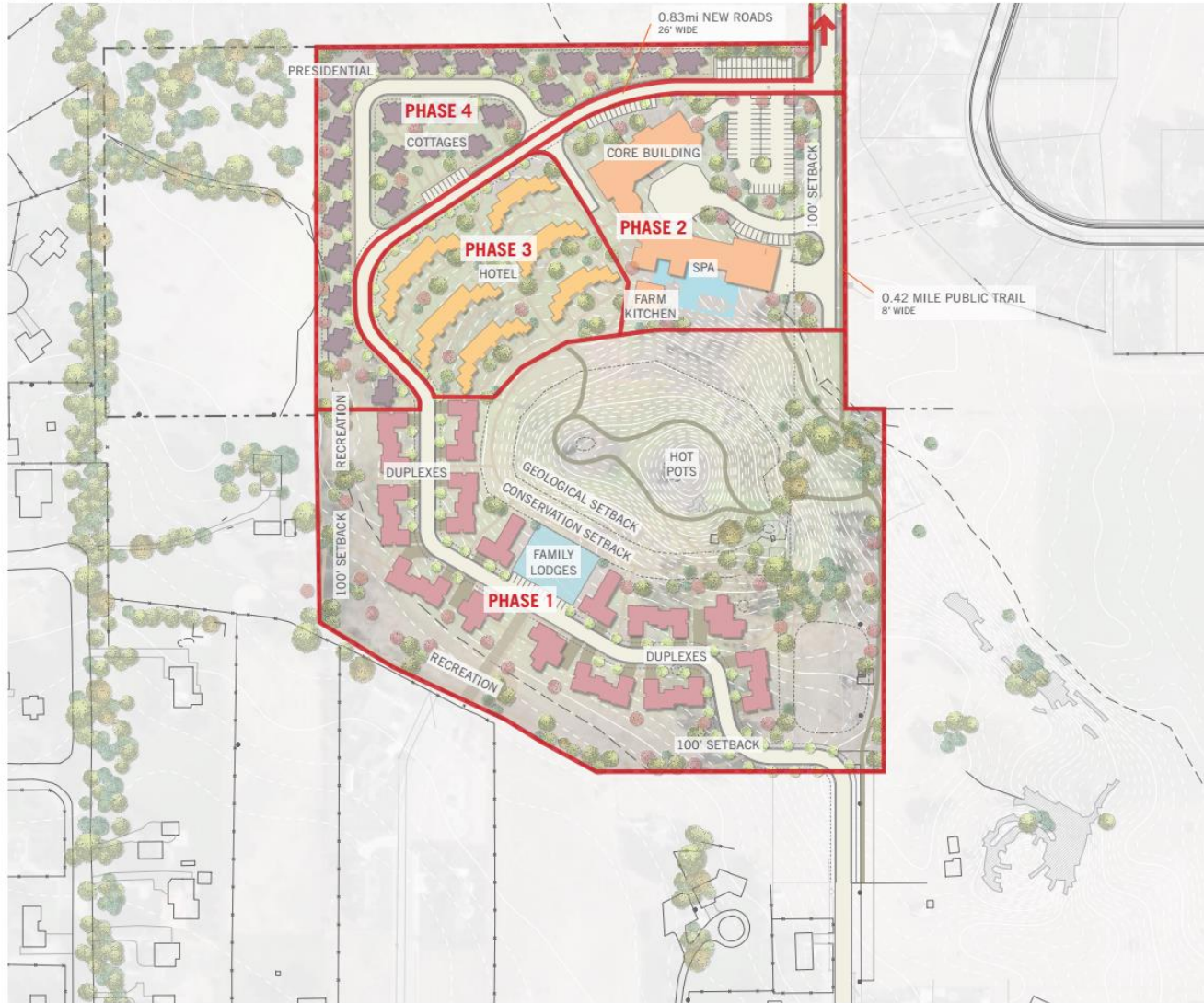
PROGRAM | GROSS SF

| | |
|-----------------------------|----------------|
| 80 Hotel Rooms: | 41,270 |
| 23 Cottages: | 40,020 |
| 1 Presidential Suite: | 3,210 |
| Core Building: | 48,510 |
| 24 Duplexes: | 66,393 |
| 2 Family Lodges: | 10,542 |
| Farm Kitchen: | 2,500 |
| TOTAL: | 212,445 |
| TOTAL # of Bedrooms: | 237 |



MASTER SITE PLAN I

PHASE METRICS



PROGRAM | GROSS SF

PHASE 1:

| | |
|---------------------|---------------|
| 24 Duplexes: | 66,393 |
| 2 Family Lodges: | 10,542 |
| 108 Bedrooms | 76,935 |

PHASE 2:

| | |
|----------------|--------|
| Core Building: | 48,510 |
| Farm Kitchen: | 2,500 |
| 51,010 | |

PHASE 3:

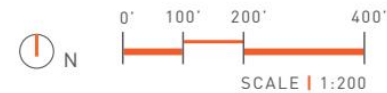
| | |
|--------------------|---------------|
| 80 Hotel Rooms: | 41,270 |
| 80 Bedrooms | 41,270 |

PHASE 4:

| | |
|-----------------------|---------------|
| 23 Cottages: | 40,020 |
| 1 Presidential Suite: | 3,210 |
| 49 Bedrooms | 43,230 |

TOTAL: 212,445

TOTAL # of Bedrooms: 237



MASTER SITE PLAN I

OPEN SPACE PLAN



TOTAL AREA OF RESORT | AC

| | | |
|-----------------------------|--------------|-------|
| Building Footprint: | 4.88 | 16.9% |
| Roads, Parking & Driveways: | 4.03 | 14.0% |
| Green Space: | 19.96 | 69.1% |
| Landscaped Areas: | 4.02 | 13.9% |
| Open Areas: | 15.95 | 55.2% |

TOTAL Project Area: **28.87**

OPEN SPACE | AC

Proposed Open Space: **15.95** 55.2%

PHASE 1:

| | |
|---------------|-------|
| Built Area: | 1.77 |
| Open Space: | 11.87 |
| % of Phases: | 76.3% |
| % of Project: | 41.1% |

PHASE 1+2:

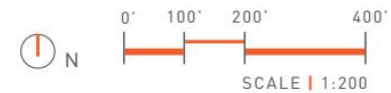
| | |
|---------------|-------|
| Built Area: | 2.94 |
| Open Space: | 14.57 |
| % of Phases: | 69.5% |
| % of Project: | 50.5% |

PHASE 1+2+3:

| | |
|---------------|-------|
| Built Area: | 3.88 |
| Open Space: | 15.22 |
| % of Phases: | 63.4% |
| % of Project: | 52.7% |

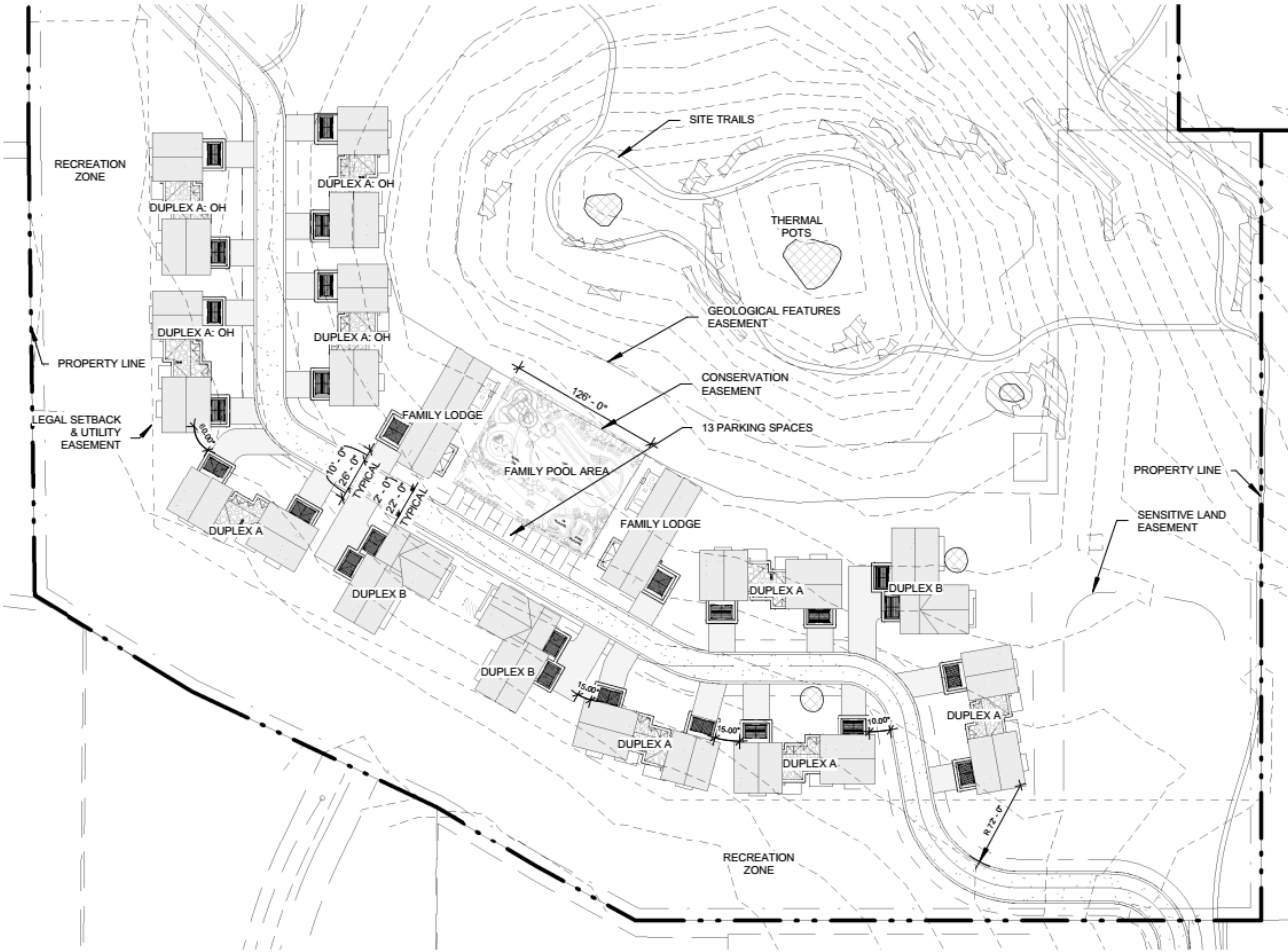
PHASE 1+2+3+4:

| | |
|----------------|-------|
| Built Area: | 4.88 |
| Open Space: | 15.95 |
| % for Phase: | 55.2% |
| % for Project: | 55.2% |



PHASED SITE PLAN I

PHASE 1 : DUPLEXES AND FAMILY LODGES



AREAS | GROSS SF

DUPLEX A:

| | |
|--------------------------------|--------------|
| LEVEL 01: | |
| GROSS CONDITIONED | 3,117 |
| GROSS UNCONDITIONED | 1,264 |
| LEVEL 02: | |
| GROSS CONDITIONED | 2,455 |
| GROSS UNCONDITIONED | 873 |
| TOTAL GRS CONDITIONED | 5,572 |
| TOTAL GRS UNCONDITIONED | 2,137 |

DUPLEX B:

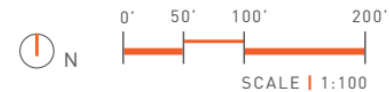
| | |
|--------------------------------|--------------|
| LEVEL 01: | |
| GROSS CONDITIONED | 2,384 |
| GROSS UNCONDITIONED | 1,076 |
| LEVEL 02: | |
| GROSS CONDITIONED | 3,031 |
| GROSS UNCONDITIONED | 897 |
| TOTAL GRS CONDITIONED | 5,415 |
| TOTAL GRS UNCONDITIONED | 1,973 |

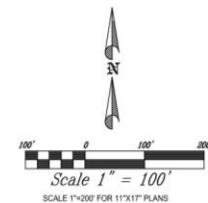
FAMILY LODGE:

| | |
|--------------------------------|--------------|
| LEVEL 01: | |
| GROSS CONDITIONED | 2,636 |
| GROSS UNCONDITIONED | 695 |
| LEVEL 02: | |
| GROSS CONDITIONED | 2,635 |
| GROSS UNCONDITIONED | 681 |
| TOTAL GRS CONDITIONED | 5,271 |
| TOTAL GRS UNCONDITIONED | 1,376 |

- 9 DUPLEX A BUILDINGS
- 3 DUPLEX B BUILDINGS
- 2 FAMILY LODGE BUILDINGS

26 INDIVIDUAL UNITS TOTAL





| TREES | QTY | COMMON / BOTANICAL NAME | CONT. | CAL. | SIZE |
|-----------------|------------|---|---------------|------|--------|
| | 54 | Autumn Blaze Maple / Acer freemanii 'Autumn Blaze' | BAB | | 2" Cal |
| | 3 | Existing Tree / Existing Tree | Existing Tree | | |
| | 56 | Green Ash / Fraxinus pennsylvanica | BAB | | 2" Cal |
| | 113 | Spring Snow Crab Apple / Malus x 'Spring Snow' | BAB | | 2" Cal |
| | 48 | Canada Red Chokecherry / Prunus virginiana 'Canada Red' | BAB | | 2" Cal |
| EVERGREEN TREES | QTY | COMMON / BOTANICAL NAME | CONT. | CAL. | SIZE |
| | 51 | Colorado Spruce / Picea pungens | BAB | | 8-10' |
| GROUND COVERS | QTY | COMMON / BOTANICAL NAME | CONT. | | |
| | 44,932 sf | Native Grass & Wildflower Mix / Native Grass & Wildflower Mix | Hydroseed | | |
| | 185,718 sf | Kentucky Bluegrass / Poa pratensis | soil | | |
| MULCH | QTY | COMMON / BOTANICAL NAME | CONT. | | |
| | 1,371 sf | 12" Engineered Playground Wood Fiber | Mulch | | |
| | 113,034 sf | 4" Wood Mulch / 4" Wood Mulch | Mulch | | |
| | 468,720 sf | Natural areas or hydroseeded | | | |
| | 3,940 sf | Grass pavers for emergency access | | | |

| PHASE | GRASS | MULCH | NATURAL | TREES IN NATURAL AREA | TOTAL IRRIGATED (GRASS, MULCH AND TREES) |
|-------|------------|------------|------------|-----------------------------------|--|
| 1 | 87,800 SF | 38,063 SF | 442,793 SF | 540 SF (10 SF PER TREE, 54 TREES) | 136,423 SF (13,515 SF OF NATIVE AREA TO BE IRRIGATED ALONG MOUNTAIN SPA DRIVE) (2.90 AC) |
| 2 | 33,873 SF | 23,874 SF | 0,072 SF | 30 SF (10 SF PER TREE, 3 TREES) | 57,977 SF (1.32 AC) |
| 3 | 54,652 SF | 36,721 SF | N/A | N/A | 91,373 SF (2.10 AC) |
| 4 | 72,127 SF | 14,366 SF | 16,885 SF | N/A | 86,483 SF (1.99 AC) |
| | 242,252 SF | 113,034 SF | 468,730 SF | 570 SF | |
| | 5.70 AC | 2.59 AC | 10.76 AC | 0.01 AC | |

- LEGEND**
- WETLANDS (3.75 ACRES)
 - SLOPES > 25% (0.33 ACRES OUTSIDE OF HOT POT/CRATER)
 - HOT POT/CRATER SENSITIVE LANDS (3.52 ACRES)

LANDSCAPE NOTES:

- RESEED ANY DISTURBED AREAS WITH NATIVE GRASS HYDROSEED.

THIS DOCUMENT IS RELEASED FOR REVIEW ONLY. IT IS NOT INTENDED FOR CONSTRUCTION UNLESS SIGNED AND SEALED.

CARL N. BERG L.A.
SERIAL NO. 7162790
DATE: 3.05.2022

CHUCK HEATH
MOUNTAIN SPA

PRELIMINARY
LANDSCAPE PLAN

380 E Main St, Suite 204
Midway, UT 84049 ph: (801) 723-2000

DESIGN BY: CNB DATE: 3 OCT 2022 SHEET
DRAWN BY: DAW REV: 19

DECIDUOUS TREES

POTENTIAL
STORM WATER
BASIN

PLANTINGS
AROUND UNITS
(TYP.)

HOT
POTS

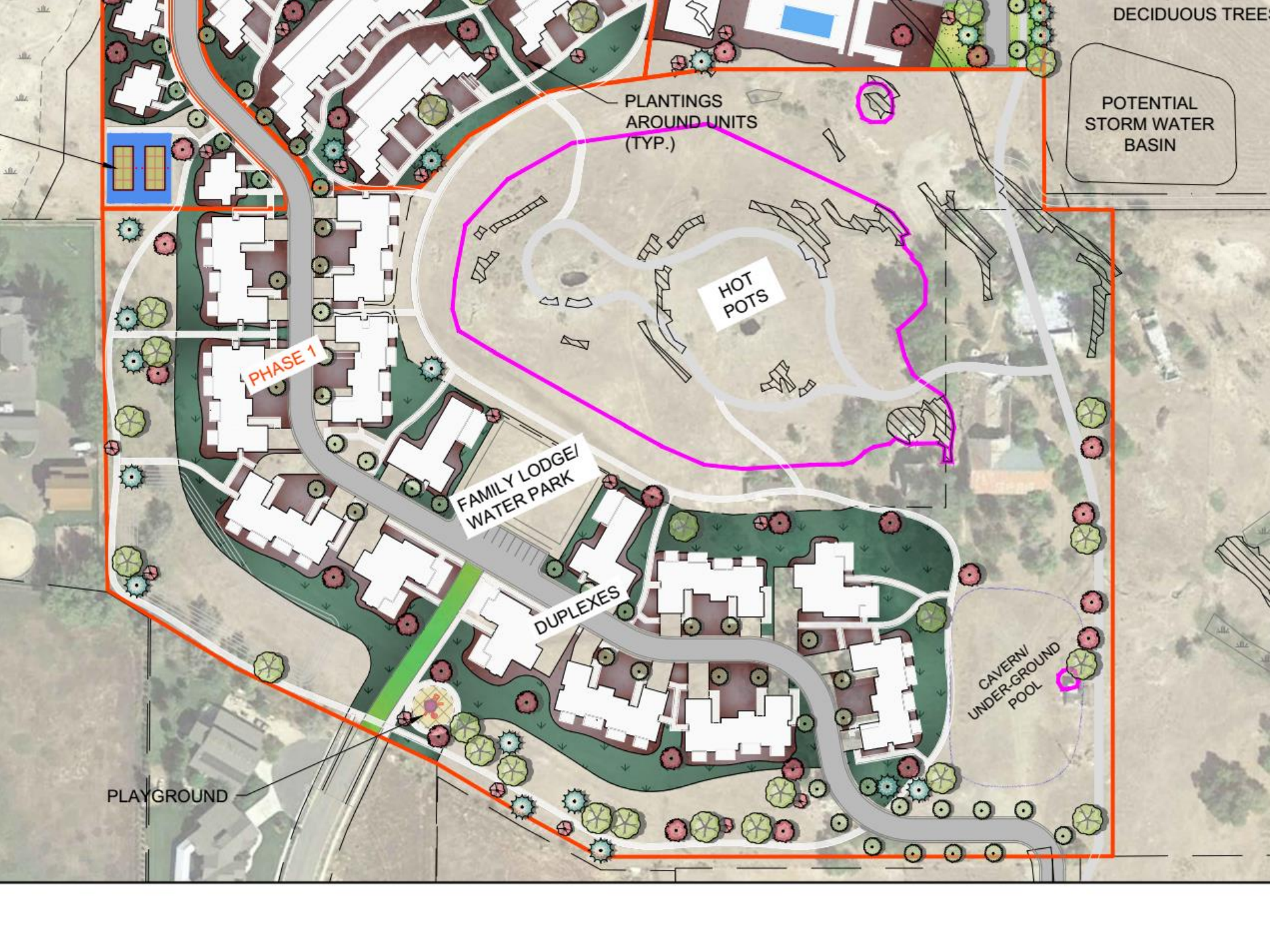
PHASE 1

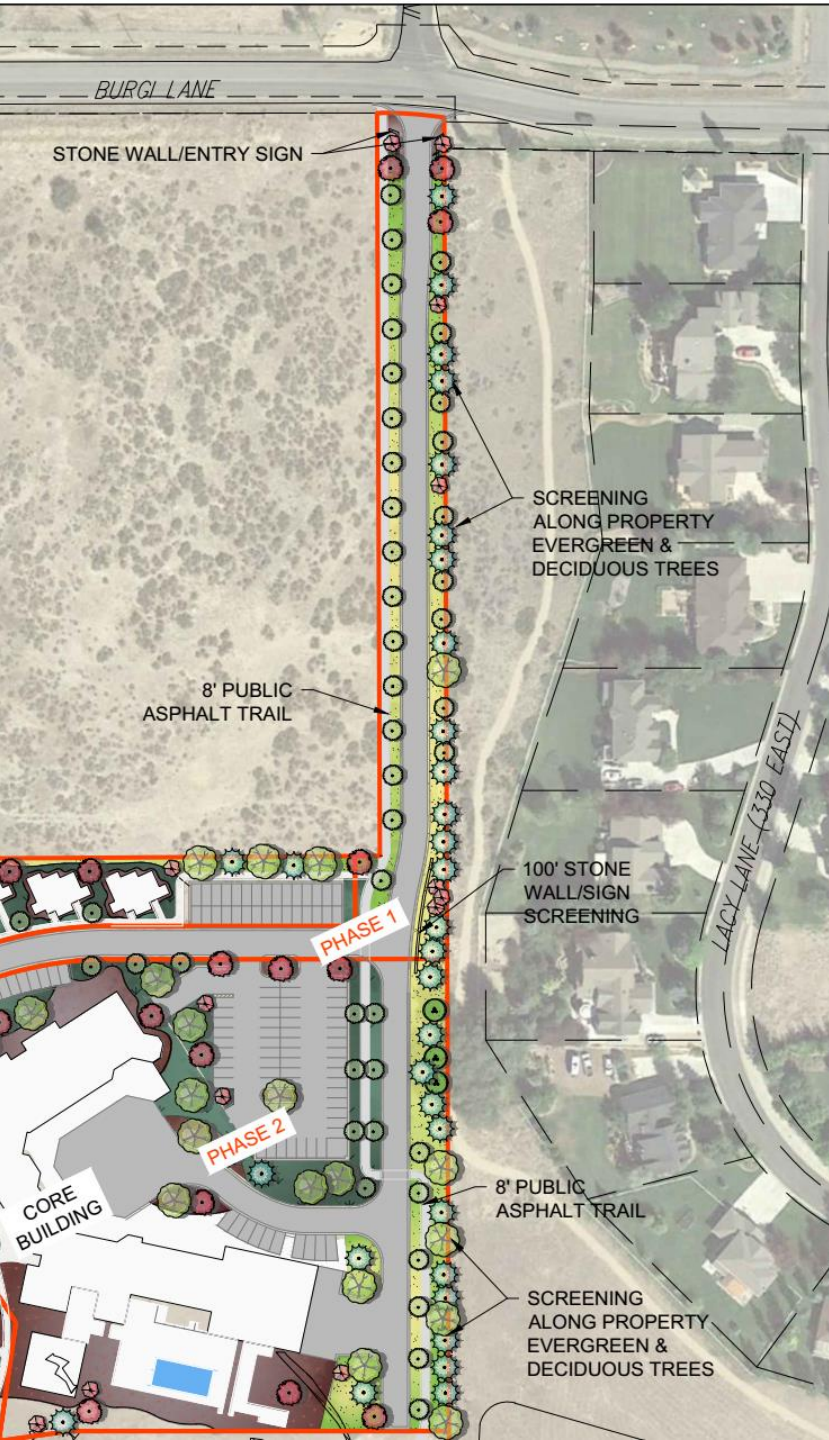
FAMILY LODGE/
WATER PARK

DUPLEXES

CAVERN/
UNDERGROUND
POOL

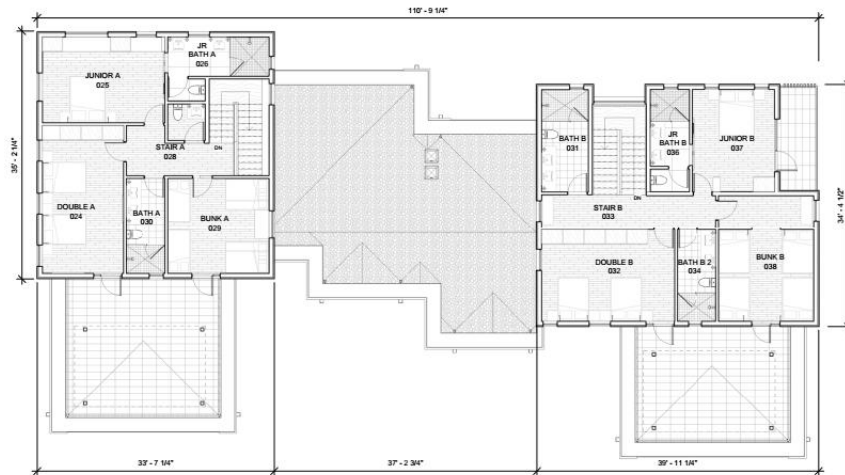
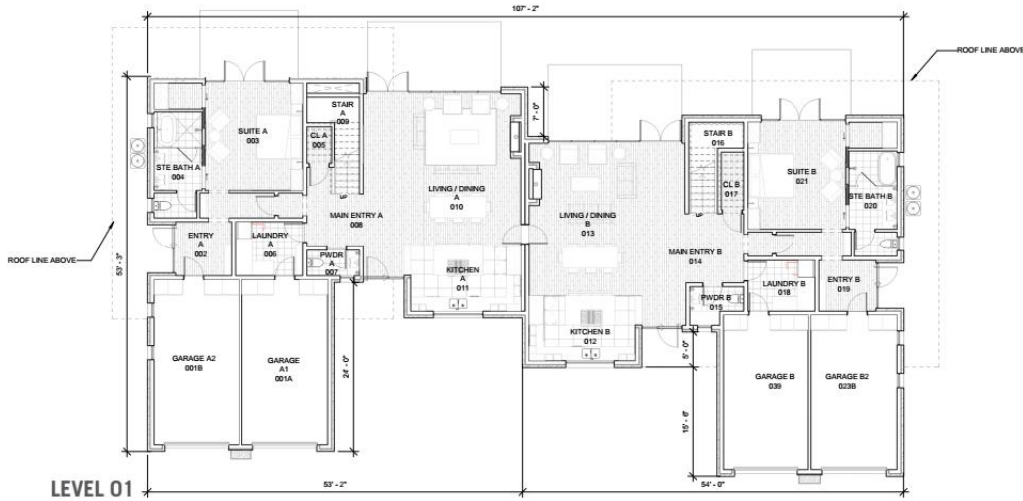
PLAYGROUND





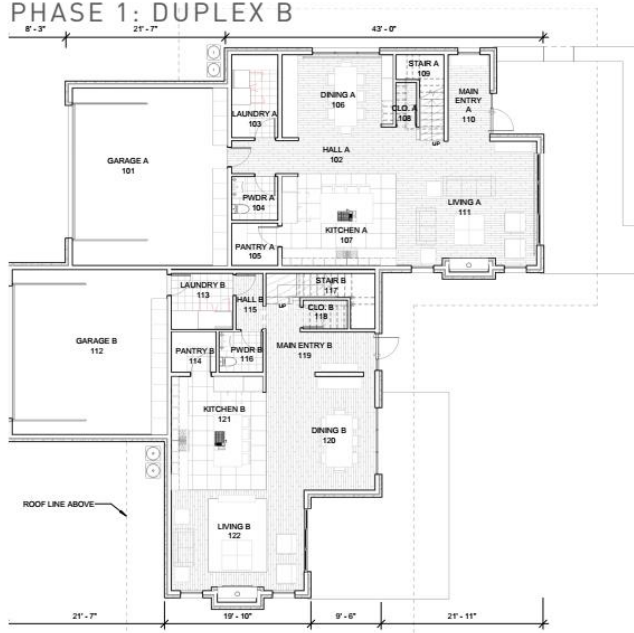
BUILDING AREA PLAN AND DESIGN ELEMENTS I

PHASE 1 : DUPLEX A



BUILDING AREA PLAN AND DESIGN ELEMENTS |

PHASE 1: DUPLEX B



LEVEL 01

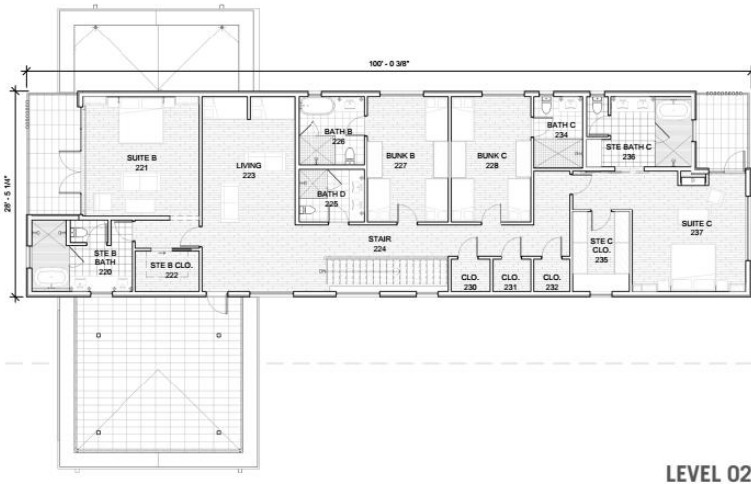
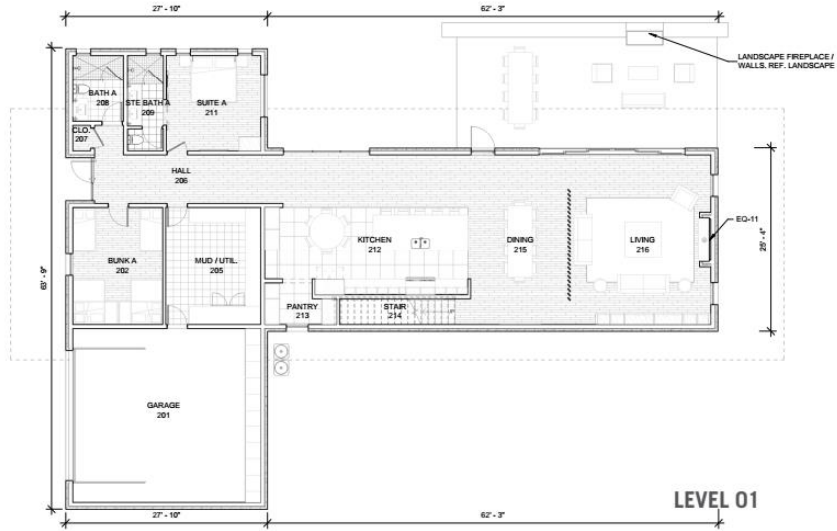


LEVEL 02



BUILDING AREA PLAN AND DESIGN ELEMENTS |

PHASE 1: FAMILY LODGE



LEGEND

-  WETLANDS (3.75 ACRES)
-  SLOPES > 25% (0.33 ACRES OUTSIDE OF HOT POT/CRATER)
-  HOT POT/CRATER SENSITIVE LANDS (3.52 ACRES)
-  GRASS PAVER (EMERGENCY LANE)
-  ROADS AND PARKING
-  CORE BUILDING COURTYARD
-  6' PRIVATE TRAILS
-  8' PUBLIC TRAILS

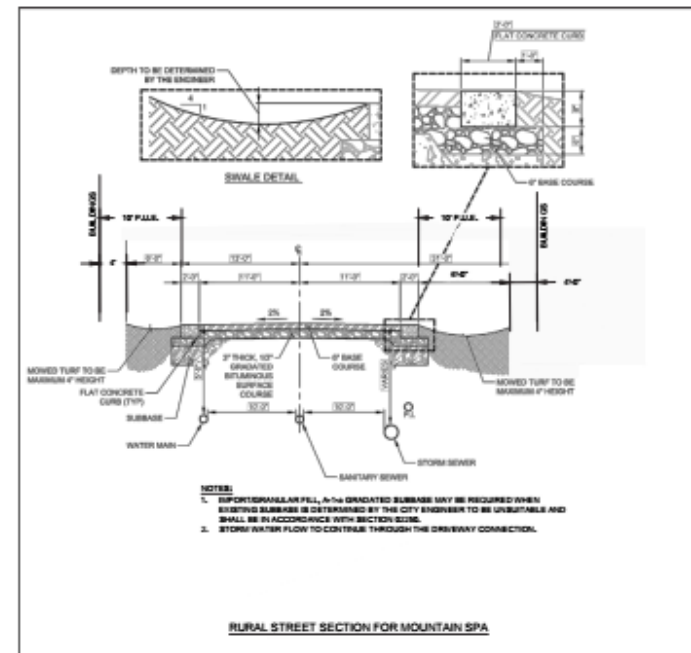
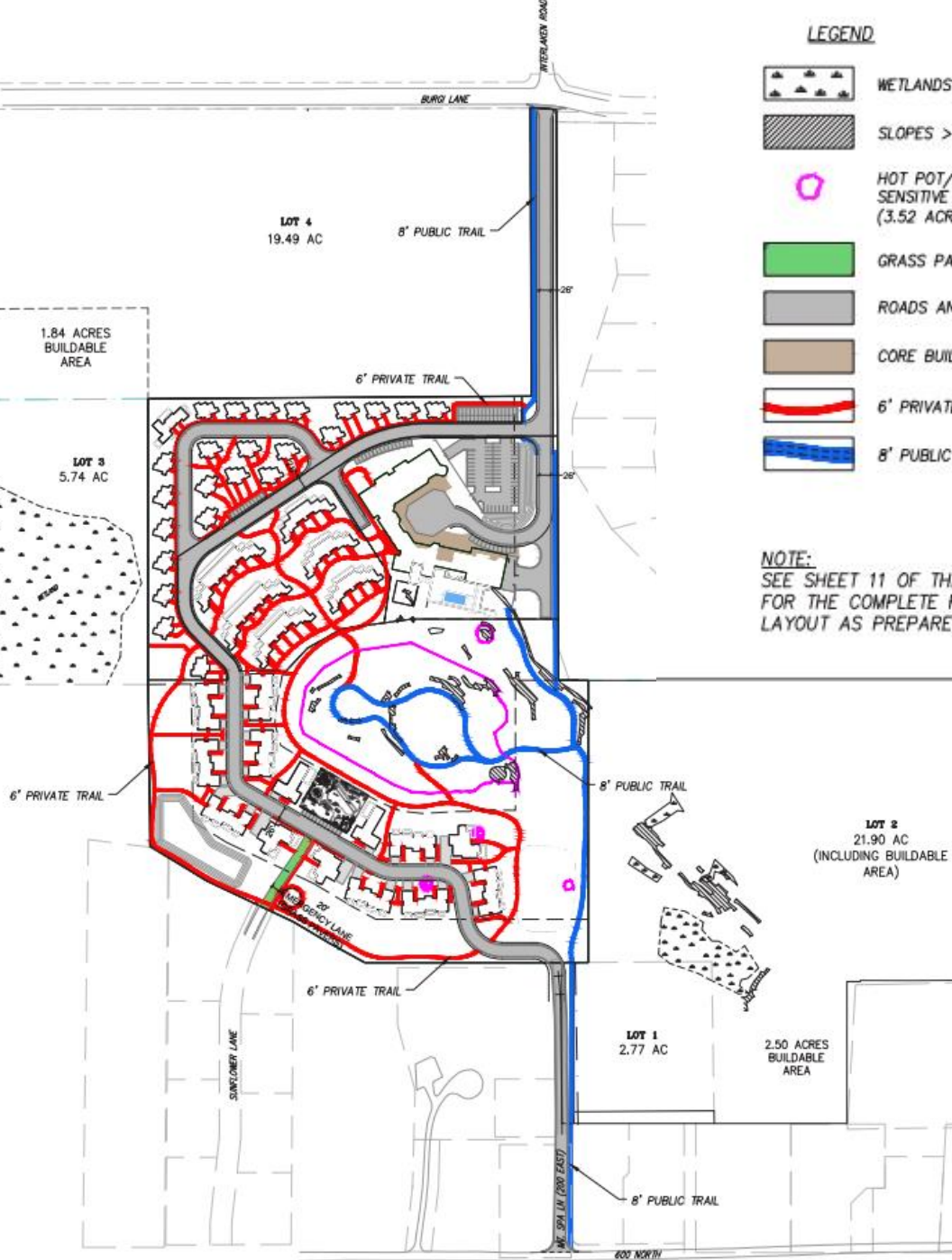
THIS DOCUMENT IS RELEASED FOR REVIEW ONLY. IT IS NOT INTENDED FOR CONSTRUCTION UNLESS SIGNED AND SEALED.
 PAUL D. BERG _____ P.E.
 SERIAL NO. 295595
 DATE: 25 AUG 2022

CHUCK HEATH
 MOUNTAIN SPA
 ROAD AND TRAILS PLAN

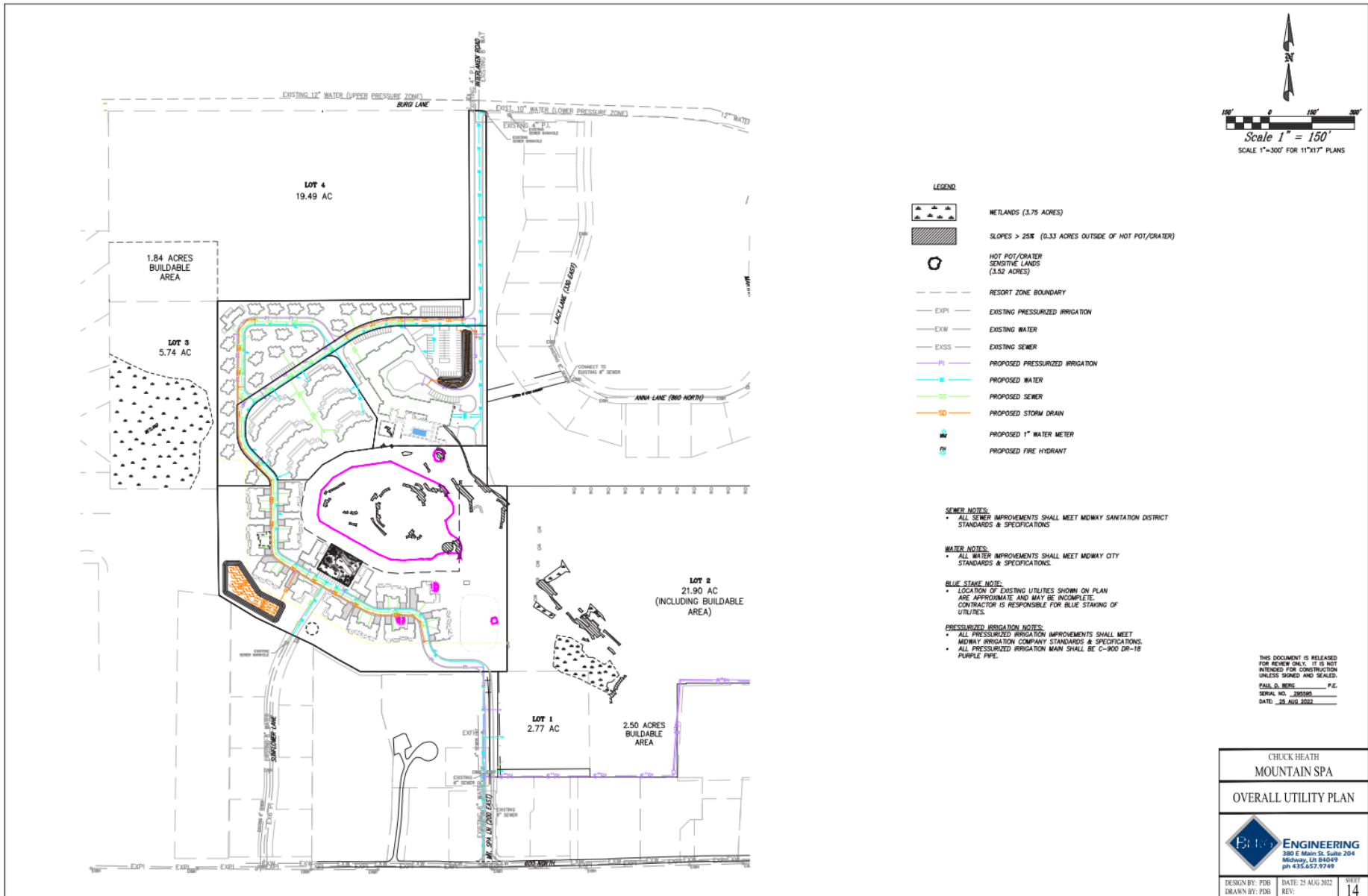


DESIGN BY: PDB DATE: 25 AUG 2022 SHEET
 DRAWN BY: PDB REV: 13

NOTE:
 SEE SHEET 11 OF THE PRELIMINARY PLANS FOR THE COMPLETE RESORT PARKING LAYOUT AS PREPARED BY THE ARCHITECT.



PROPOSED OVERALL UTILITIES PLAN |



Mountain Spa Resort Master Plan Water Right Calculations

October 1, 2022 (Revised per new plan with Lacy Lane and Staff Review Comments)

Prepared by: Paul Berg, P.E., Berg Engineering

Project Information

Tables 1 and 2 provide the water right requirements and water uses for The Mountain Spa Resort Master Plan.

Tables 1 and 2 were previously approved by the Midway Water Board and Midway City Council as part of the Resort Master Plan.

Updates to Tables 1 and 2 have been made to reflect changes between the master plan and the preliminary plan.

Table 3 provides the water rights needed for each phase of the development.

Table 1 - Water Use Requirements

| Use | Water Requirement | | Source of Requirement | Return Flow Requirement | Total Required | |
|--|-------------------|----------------|-----------------------------|-------------------------|----------------|------------------|
| | Quantity | Unit | | | Quantity | Unit |
| Irrigated / landscaped area | 3.00 | acre-feet/acre | Midway Water Board | — | 3.00 | acre-feet/acre |
| Hotel units (1 bedroom) | 150 | gpd/unit | Table 1, Utah Code R309-510 | 1.77 | 0.30 | acre-feet/unit |
| Cottage units (2 hotel units with lockout) | 300 | gpd/unit | Table 1, Utah Code R309-510 | 1.77 | 0.60 | acre-feet/unit |
| Presidential units (3 bedrooms) | 0.80 | acre-feet/acre | Midway Water Board | — | 0.80 | acre-feet/unit |
| Duplex units (6 - 7 bedrooms) | 0.80 | acre-feet/acre | Midway Water Board | — | 0.80 | acre-feet/unit |
| Family lodge (5 bedrooms) | 0.80 | acre-feet/acre | Midway Water Board | — | 0.80 | acre-feet/unit |
| Yurt | 150.00 | gpd/unit | Same as Hotel Unit | 1.77 | 0.30 | acre-feet/unit |
| Restaurant | 35 | gpd/seat | Table 2, Utah Code R309-510 | 1.77 | 0.07 | acre-feet/seat |
| Bar | 20 | gpd/seat | Table 2, Utah Code R309-510 | 1.77 | 0.04 | acre-feet/seat |
| Swimming pools | 10 | gpd/person | Table 2, Utah Code R309-510 | 1.77 | 0.02 | acre-feet/person |
| Spa / gym | 25 | gpd/person | Table 2, Utah Code R309-510 | 1.77 | 0.05 | acre-feet/person |
| Event space / conference center | 5 | gpd/person | Table 2, Utah Code R309-510 | 1.77 | 0.01 | acre-feet/person |
| Hotel staff and employees | 15 | gpd/person | Table 2, Utah Code R309-510 | 1.77 | 0.03 | acre-feet/person |
| Kitchen staff and employees | 15 | gpd/person | Table 2, Utah Code R309-510 | 1.77 | 0.03 | acre-feet/person |
| Laundry | 580 | gpd/washer | Table 2, Utah Code R309-510 | 1.77 | 1.15 | acre-feet/washer |

Table 2 - Water Right Needs for the Mountain Spa Resort

| Use | Project Quantity | Unit | Water Requirement with Return Flow | Unit | Total (acre-feet) |
|--|------------------|---------|------------------------------------|------------------|-------------------|
| Irrigated area (more added to plan) | 8.31 | acres | 3.00 | acre-feet/acre | 24.93 |
| Hotel units (1 bedroom) | 80 | units | 0.30 | acre-feet/unit | 24.00 |
| Cottage units (2 bedrooms) | 23 | units | 0.60 | acre-feet/unit | 13.80 |
| Presidential units (3 bedrooms) | 1 | units | 0.80 | acre-feet/unit | 0.80 |
| Duplex units (6 - 7 bedrooms) | 24 | units | 0.80 | acre-feet/unit | 19.20 |
| Family lodge (5 bedrooms) | 2 | units | 0.80 | acre-feet/unit | 1.60 |
| Yurt (have been removed from the plan) | 0 | units | 0.30 | acre-feet/unit | 0.00 |
| Restaurants | 71 | seats | 0.07 | acre-feet/person | 4.97 |
| Rooftop bar | 35 | seats | 0.04 | acre-feet/person | 1.40 |
| Event space / conference center | 245 | person | 0.01 | acre-feet/person | 2.45 |
| Swimming pools | 201 | person | 0.02 | acre-feet/person | 4.02 |
| Spa - Main Full Service | 102 | person | 0.05 | acre-feet/person | 5.10 |
| Spa - Med Spa | 73 | person | 0.05 | acre-feet/person | 3.65 |
| Spa - Basement | 51 | person | 0.05 | acre-feet/person | 2.55 |
| Fitness Center | 53 | person | 0.05 | acre-feet/person | 2.65 |
| Hotel staff and employees | 53 | person | 0.03 | acre-feet/person | 1.59 |
| Kitchen staff and employees | 18 | person | 0.03 | acre-feet/person | 0.54 |
| Laundry | 4 | washers | 1.15 | acre-feet/washer | 4.60 |

117.85 acre-feet

124.5 acre feet

Table 3 - Water Right Needs per Phase for the Mountain Spa Resort

| Use | Project Quantity | Unit | Water Requirement with Return Flow | Unit | Total (acre-feet) |
|-------------------------------|------------------|-------|------------------------------------|----------------|-------------------|
| Phase 1 | | | | | |
| Duplex units (6 - 7 bedrooms) | 24 | units | 0.80 | acre-feet/unit | 19.20 |
| Family lodge (5 bedrooms) | 2 | units | 0.80 | acre-feet/unit | 1.60 |
| Irrigated area | 2.90 | acres | 3.00 | acre-feet/acre | 8.70 |
| Phase 1 Total | | | | | 29.5 |

36.5 acre feet

PROJECT OVERVIEW

- Open space
- 16.06 acres total
 - 11.87 acres in phase 1
- Phase 1 construction
 - 24 duplex units
 - 2 family lodges
- Access
 - Road from 600 North to Burgi Lane will be built in its entirety with phase 1 to meet access requirements

PROJECT OVERVIEW

- Public trails
 - Trail from 600 North to Burgi Lane will be built in its entirety with phase 1
 - Paved 8' trail
 - Crater loop trail will be built in phase 1
 - Soft surface trail
 - Trail from River Road to resort core public trail
 - Soft surface 6-8' trail
- Private trails
 - Hard surface 6' trails and sidewalks

PROJECT OVERVIEW

- Architectural approval
 - The general architectural theme has been approved but individual buildings will need VAC review before buildings permits may be submitted
- Setbacks
 - 100' setbacks from boundaries of Mtn Spa property
 - 30' setbacks from private roads unless approved by City Council
 - Developer is proposing 15-20' setbacks for most buildings in Phase 1 but some are as minimal as 5' from the private roads

PROJECT OVERVIEW

- Memorandum of Understanding
 - Restore and maintain the historic “Mountain Spa” pole sign.
 - **Construct the previously mentioned trails.**
 - **Restore natural hot spring water to at least one of the craters in the protected pot rock area.**
 - **Demolish and clean up the old buildings and derelict swimming pools in and around the protected pot rock area, leaving the two-story historic stone building intact.**
 - Provide for the preservation of wildlife habitat, particularly the wetland areas on the northwest of the property.

WATER BOARD RECOMMENDATION

- The Water Advisory Board reviewed the project on October 3, 2022, to determine the water required for the proposal. They recommended that 124.5 acre feet (99.57 culinary and 24.93 outside irrigation) will be required for the entire project.
- Phase 1 will require 36.5 acre feet (27.8 culinary and 8.7 outside irrigation)

PLANNING COMMISSION RECOMMENDATION

- Motion: Commissioner Wardle: I make a motion that we recommend approve the preliminary application for Phase 1 of Ameyalli Resort on 28.87-acres. The preliminary plan 24 duplex units and 2 family lodges, private road, public and private trails, and other resort related amenity improvements. The property is located at approximately 800 North 200 East in the Resort Zone. We accept staff findings and the three conditions listed in the staff report. And adding a fourth condition that the hot pot loop trail no to be constructed with hard surface materials such as concrete or asphalt, but a material that will integrate into the natural surroundings. And add items 2, 3 and 4 that are mentioned in the memorandum of understanding to be added into Phase 1.

PROPOSED PLAN CONDITIONS

PRELIMINARY RESORT PLAN

- LIGHT MITIGATION STRATEGIES

All future site lighting will comply with Midway Municipal code 5.02.080 outdoor lighting and glare to help mitigate the potential impact on the surrounding residents. Please refer to page 7 of the submitted Preliminary City Application Package.

- LIGHT NUISANCE STRATEGIES

On Saturday, September 17, 2022, at 9:00 am, Chuck Heath met with Bill McDonald, Lacy Lane Estates Homeowners Association President, Vice President Doug Gray, and Secretary Gary Otteson. The objective of the meeting was to collaborate on strategies to help reduce the light nuisance from cars leaving the resort and shining on homes on Lacy Lane Estates. One highly favored approach would be for the developer to build a 40' x 5' HT stone wall with evergreens behind it. Furthermore, other evergreens would be planted on HOA's property, thus helping reduce the light nuisance.

POSSIBLE FINDINGS

- The proposal will benefit the City financially by creating a greater tax base.
- The proposal will help the City better comply with State requirements regarding the ability to collect resort tax.
- The public trail system in the development will benefit the entire community by creating public trails across the property.
- Amenities will be created that will be accessible year-round which will invite more tourists to visit the resort in all seasons.

PROPOSED CONDITIONS

1. A light plan must be submitted for final approval to the City, and agreeable to the City, that will mitigate the potential impact to the surrounding residents.
2. More detail must be submitted to determine that the light nuisance from cars leaving the resort and shining on homes on Lacy Lane Estates has been properly mitigated before the item is scheduled for City Council review.
3. An updated water rights recommendation from the Water Board must be made before the item is reviewed by the City Council.