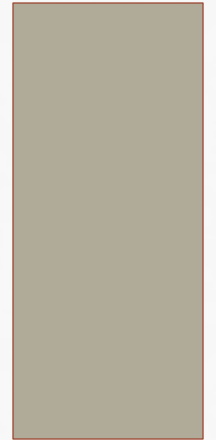


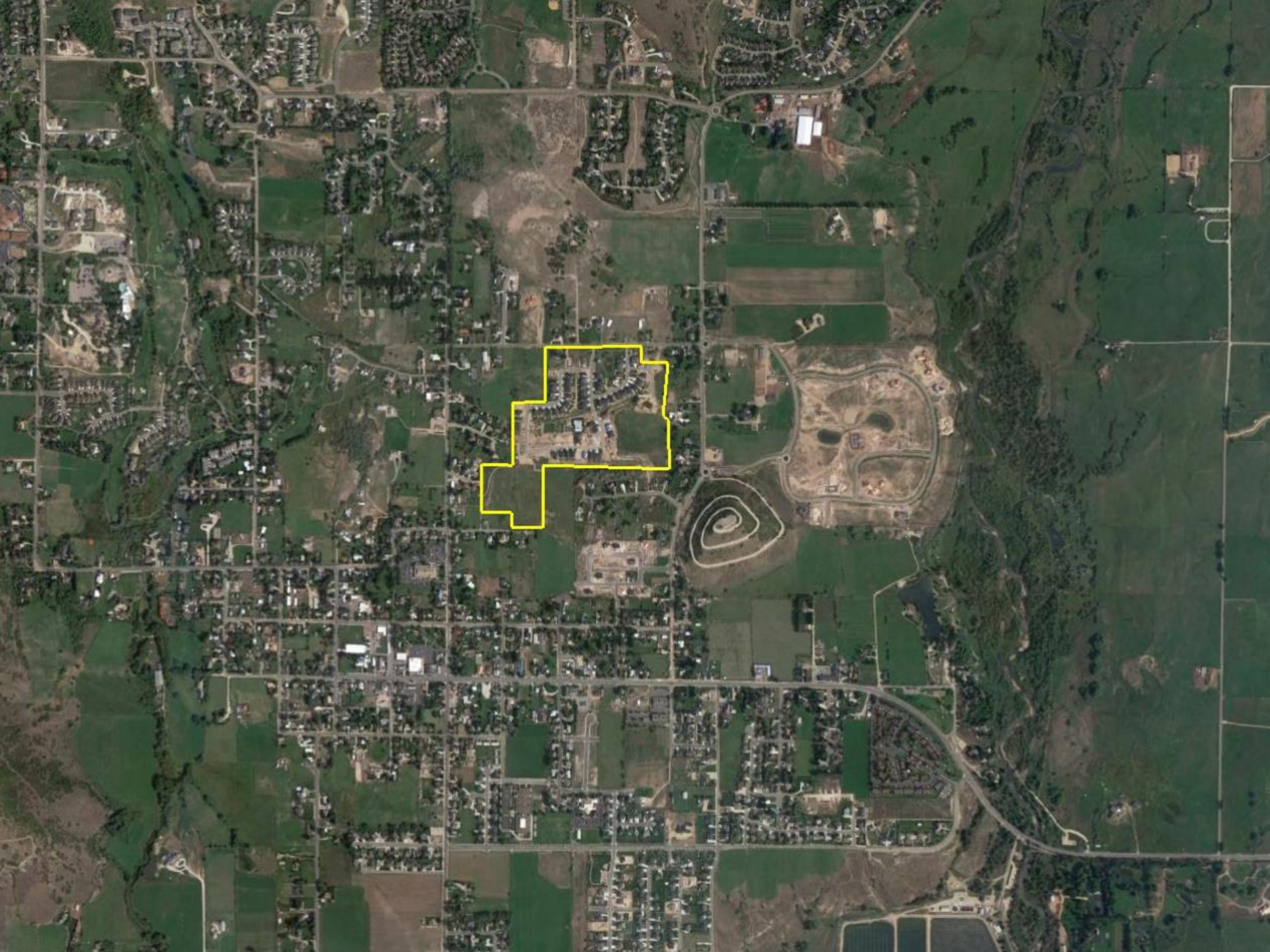
REMUND FARMS PHASE 5
RESOLUTION 2022-34

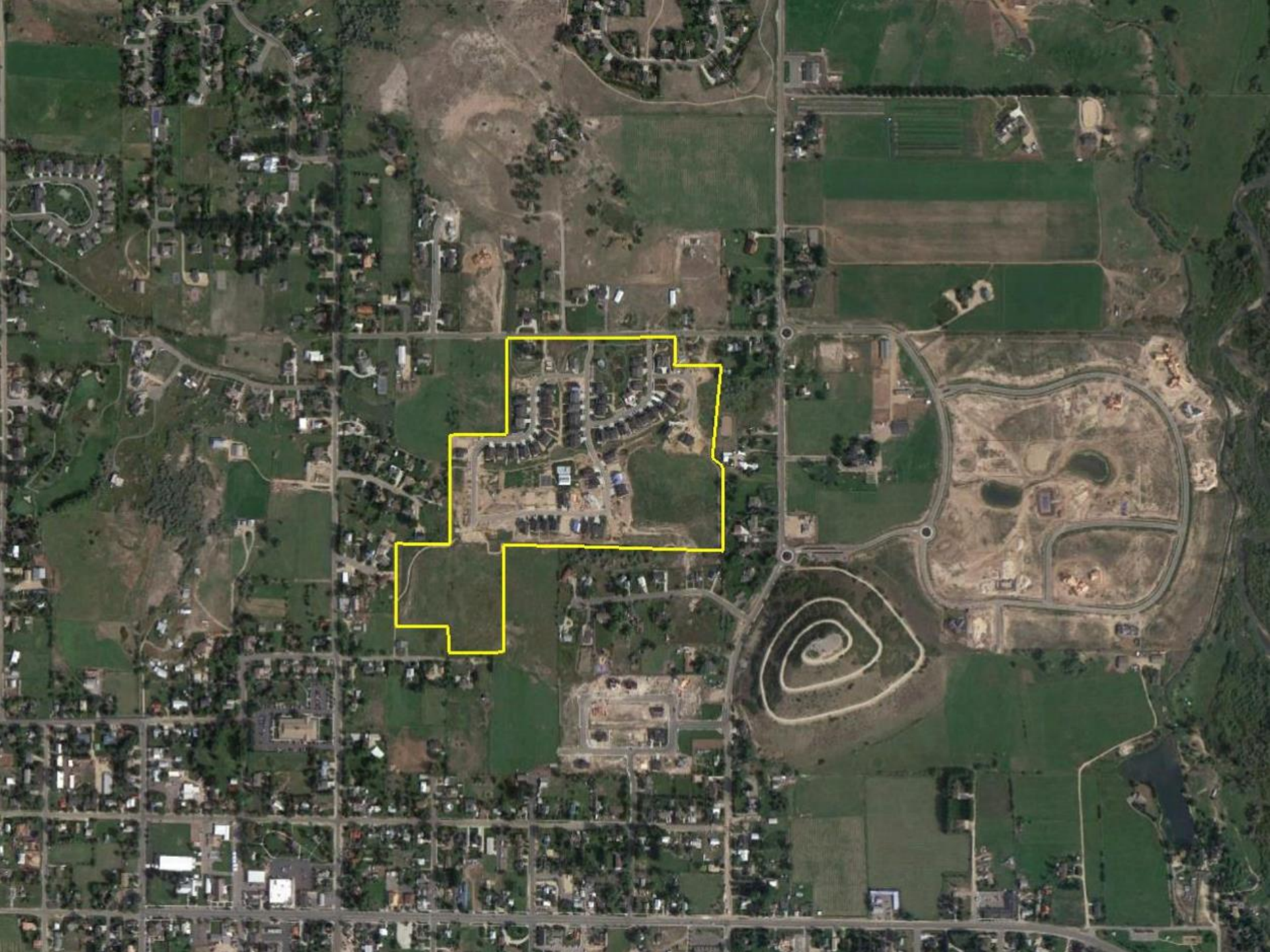
MASTER PLAN AMENDMENT



LAND USE SUMMARY

- **Overview:** Adjust the size of building envelopes in phase 5
 - Proposal would adjust 7 of the 10 building envelopes in phase 5
 - 9.22 Acres in Phase 5
 - Open Space:
 - Current Plan - 1.29 Acres Open Space
 - Proposed Plan - 1.17 Acres Open Space
- Private Roads
- Sensitive lands include wetlands
- The lots will connect to the Midway Sanitation District sewer, Midway City's culinary water line, and Midway Irrigation Company's secondary water line







AMENDING A MASTER PLAN

- Remund Farms Master Plan Agreement
 - Section 5
 - Agreement may be amended only by mutual consent by the City and the developer
 - The City is under no obligation to change the approved master plan

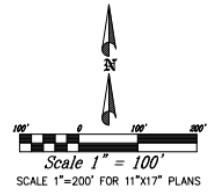
MASTER PLAN APPROVAL

- Master Plans must demonstrate that approval of the project in multiple phases can occur such that the project can still function autonomously if subsequent phases are not completed
 - Sufficient property
 - Water rights
 - Roads (traffic circulation)
 - Sensitive lands protection
 - Open space

PROPOSED AMENDMENTS

- Proposed amendments
 - Adjust the pad dimensions for units 91-97. Some units become larger, and some become smaller
 - Adjustments to the seven footprints result in an overall footprint square footage increase of 2,613 SF (0.06 acres)
 - Proposed adjustments result in some units encroaching closer to wetlands. No units will encroach into wetlands
 - Setback from south property line for units 96 & 97 will remain at 42'

APPROVED MASTER PLAN



- LEGEND**
- WETLANDS
 - TRAIL
 - IMPROVED DITCH
 - RECORDED UNIT
 - FUTURE UNIT (BUILDING PAD)
 - 10' PRIVATE AREA-TYPE 2 (SEE NOTE)

10' PRIVATE AREA-TYPE 2 NOTE:
PRIVATE AREA-TYPE 2 IS FOR COVERED DECKS, PERGOLAS, HOT TUBS AT GROUND LEVEL, PATIOS, FIRE PITS, BARBECUE GRILLS AND SMALL STORAGE BINS AND OUTDOOR FURNITURE.

ROOFS TO COVER THIS PRIVATE AREA ARE ALLOWED BUT ENCLOSED WALLS ARE PROHIBITED.

PRIVATE AREA-TYPE 2 MAY BE FENCED WITH A 42" HIGH WROUGHT IRON FENCE ONLY.

ALL IMPROVEMENTS IN PRIVATE AREA-TYPE 2 ARE SUBJECT TO THE CC&R'S AND HOA APPROVAL.

LAND USE SUMMARY

ZONE:	R-1-15
TOTAL AREA:	50.87 AC
PUD AREA:	50.36 AC
SUBDIVISION AREA:	0.51 AC
SUBDIVISION LOTS:	1 LOT (REMAIND EX. HOME)
PUD UNITS:	96 UNITS
TOTAL UNITS:	97 TOTAL UNITS
DENSITY:	1.91 PER ACRE
ONSITE OPEN SPACE:	28.36 AC (55.75% OF ENTIRE)
OFFSITE OPEN SPACE:	1.32 AC (2.59%)
TOTAL OPEN SPACE:	29.68 AC (58.54% OF ENTIRE) (50% REQUIRED)

PUD UNIT FRONT SETBACK NOTE:
16.16 S.F.C. THE CITY COUNCIL MAY WAIVE THIS REQUIREMENT (STAGGERED SETBACKS) WHEN A CURVILINEAR STREET DESIGN IS USED AND SHOWN TO CREATED THE SAME VARYING SETBACK EFFECT.

PUD DENSITY CALCULATIONS

TOTAL PUD AREA:	50.36 ACRES
WETLAND AND 25' BUFFER:	13.39 ACRES
DENSITY FOR R-1-15 ZONE:	2.50 UNITS/ACRE
DENSITY FOR WETLANDS AND 25' BUFFER:	0.10 UNITS/ACRE

$2.5(50.36 - 13.39) + 13.39(0.10) = 93.74$

ALLOWED PUD UNITS FOR THE PROPERTY: 93.74

UNITS FOR OFFSITE OPEN SPACE TRANSFER: 2.28

TOTAL PUD UNITS ALLOWED FOR PROJECT: 96.00

*SEE OFFSITE OPEN SPACE TRANSFER APPROVAL FROM MIDWAY CITY COUNCIL - MAXIMUM OF 97 UNITS ALLOWED FOR THE DEVELOPMENT.

MIDWAY CITY CODE EXCEPTIONS NOTE:
THIS PLAN IS BASED ON THE FOLLOWING EXCEPTIONS ALLOWED IN CITY CODE.
-50'-00"-SAC LONGER THAN 500 FEET WITH CITY COUNCIL APPROVAL
-WETLAND SETBACKS WITH CITY ENGINEER APPROVAL

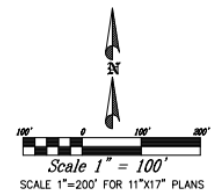
THIS DOCUMENT IS RELEASED FOR REVIEW ONLY. IT IS NOT INTENDED FOR CONSTRUCTION UNLESS SIGNED AND SEALED.

PAUL D. BERRY, P.E.
SERIAL NO. 285596
DATE: 28 JUN 2021

WATTS ENTERPRISES
REMUND FARMS
APPROVED MASTER PLAN



PROPOSED AMENDMENT



- LEGEND:**
- WETLANDS
 - TRAIL
 - RECORDED DITCH
 - IMPROVED TYPE-1 BUILDING PAD
 - 10' RECORDED TYPE-2 (SEE NOTE)
 - REMAINING PHASE-TYPE 1 BUILDING PAD
 - 10' REMAINING PHASE-TYPE 2 (SEE NOTE)

10' PRIVATE AREA-TYPE 2 NOTE:
PRIVATE AREA-TYPE 2 IS FOR COVERED DECKS, PERGOLAS, HOT TUBS AT GROUND LEVEL, PATIOS, FIRE PITS, BARBECUE GRILLS AND SMALL STORAGE BINS AND OUTDOOR FURNITURE.

ROOFS TO COVER THIS PRIVATE AREA ARE ALLOWED BUT ENCLOSED WALLS ARE PROHIBITED.

PRIVATE AREA-TYPE 2 MAY BE FENCED WITH A 42" HIGH WROUGHT IRON FENCE ONLY.

ALL IMPROVEMENTS IN PRIVATE AREA-TYPE 2 ARE SUBJECT TO THE CC&R'S AND HOA APPROVAL.

LAND USE SUMMARY

ZONE	R-1-15
TOTAL AREA	50.36 AC
PUD AREA	50.36 AC
SUBDIVISION AREA	0.51 AC
SUBDIVISION LOTS	1 LOT (REMAIN EX HOME)
PUD UNITS	96 UNITS
TOTAL UNITS	97 TOTAL UNITS

DENSITY

DENSITY	1.91 PER ACRE
ONSITE OPEN SPACE	27.33 AC (54.28% OF ENTIRE)
OFFSITE OPEN SPACE	1.32 AC (2.62%)
TOTAL OPEN SPACE	28.65 AC (56.92% OF ENTIRE) (50% REQUIRED)

PUD UNIT FRONT SETBACK NOTE:
16.16 B.S.C. THE CITY COUNCIL MAY WAIVE THIS REQUIREMENT (STAGGERED SETBACKS) WHEN A CURVILINEAR STREET DESIGN IS USED AND SHOWN TO CREATED THE SAME VARYING SETBACK EFFECT.

PUD DENSITY CALCULATIONS

TOTAL PUD AREA	50.36 ACRES
WETLAND AND 25' BUFFER	13.39 ACRES
DENSITY FOR R-1-15 ZONE	2.50 UNITS/ACRE
DENSITY FOR WETLANDS AND 25' BUFFER	0.10 UNITS/ACRE
$2.50(50.36-13.39) + 13.39(0.10) = 93.74$	

ALLOWED PUD UNITS FOR THE PROPERTY	93.74
UNITS FOR OFFSITE OPEN SPACE TRANSFER	2.26
TOTAL PUD UNITS ALLOWED FOR PROJECT	96.00

*SEE OFFSITE OPEN SPACE TRANSFER APPROVAL FROM MIDWAY CITY COUNCIL. MAXIMUM OF 97 UNITS ALLOWED FOR THE DEVELOPMENT.

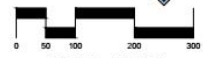
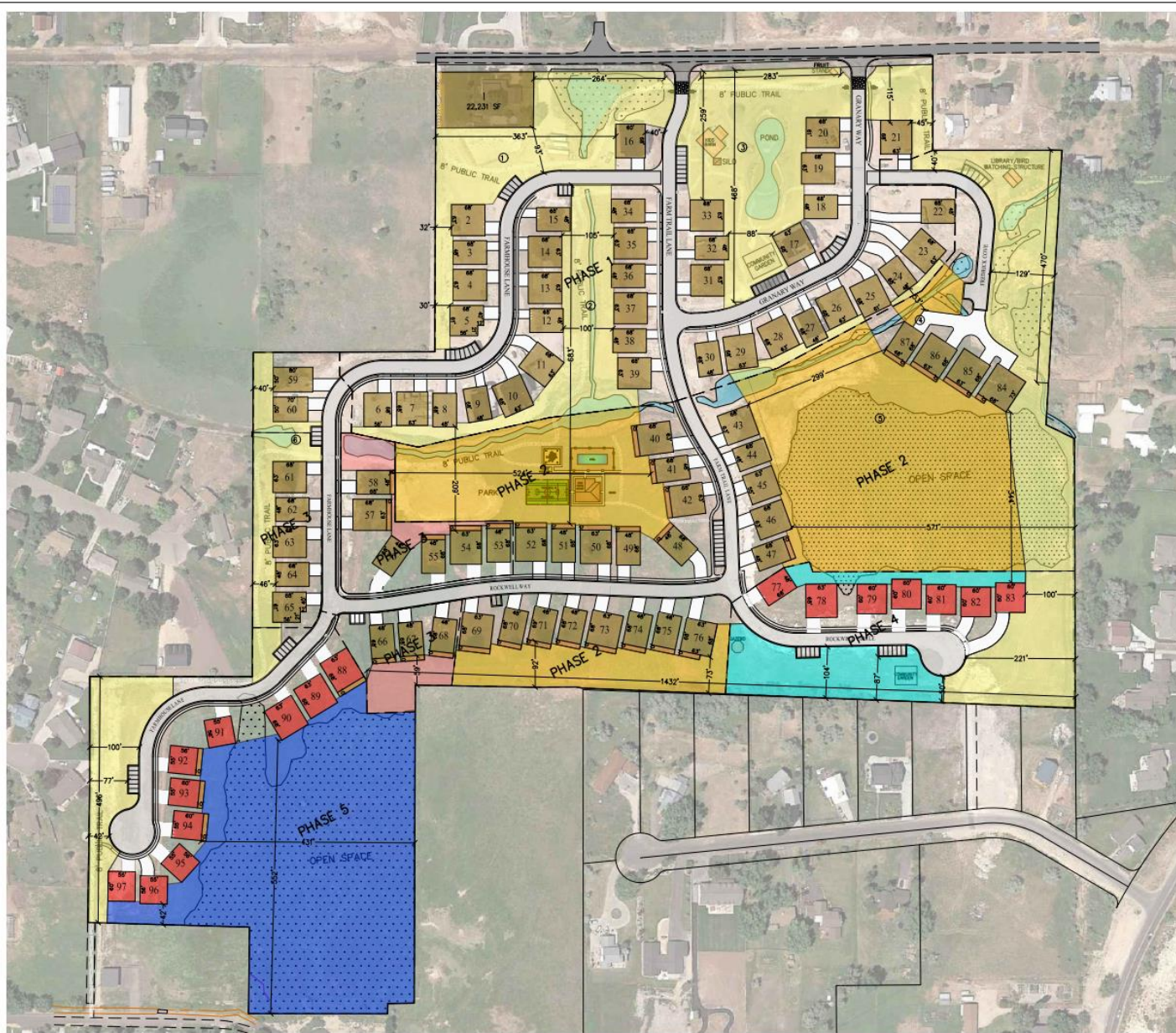
MIDWAY CITY CODE EXCEPTIONS NOTE:
THIS PLAN IS BASED ON THE FOLLOWING EXCEPTIONS ALLOWED IN CITY CODE.
-CUL-DE-SAC LONGER THAN 500 FEET WITH CITY COUNCIL APPROVAL.
-WETLAND SETBACKS WITH CITY ENGINEER APPROVAL.

THIS DOCUMENT IS RELEASED FOR REVIEW ONLY. IT IS NOT INTENDED FOR CONSTRUCTION UNLESS SIGNED AND SEALED.

PAUL D. BERG P.E.
SERIAL NO. 285096
DATE: 29 JUN 2021

WATTS ENTERPRISES
REMUND FARMS
MASTER PLAN
AMENDMENT 2021

PROPOSED AMENDMENT



SCALE: 1"=100'

- LEGEND**
- WETLANDS
 - RECORDED UNIT (BUILDING PAD)
 - FUTURE UNITS (BUILDING PAD)
 - 10' PRIVATE AREA-TYPE 2

OPEN SPACE REQUIREMENTS:
 PERIPHERY - 40' MINIMUM
 INTERIOR - 100' MINIMUM

TOTAL OPEN SPACE: ONSITE 26.91 AC (52.91%)
 OFFSITE 1.32 AC (2.56%)
 TOTAL 28.23 AC (55.51%) (50% REQUIRED)

OPEN SPACE DEDICATION BY PHASE

PHASE	AREA	OPEN SPACE PER PHASE	TOTAL PROJECT AREA	TOTAL OPEN SPACE
1	15.96 AC	11.26 AC (70.55%)	15.96 AC	11.26 AC (70.55%)
OFFSITE	1.32 AC	1.32 AC (100.00%)	15.96 AC	12.58 AC (78.82%)
2	17.96 AC	8.10 AC (45.10%)	33.92 AC	20.68 AC (60.97%)
3	3.59 AC	0.62 AC (17.27%)	37.51 AC	21.30 AC (56.78%)
4	4.14 AC	1.29 AC (31.16%)	41.65 AC	22.59 AC (54.24%)
5	9.22 AC	5.64 AC (61.17%)	50.87 AC	28.23 AC (55.51%)

OPEN SPACE NOTES:

TOTAL AREA: 50.87 ACRES
 PUD AREA: 50.36 ACRES
 TOTAL OPEN SPACE: 28.23 ACRES (55.51%) OF ENTIRE DEVELOPMENT

OPEN SPACE IN A SINGLE OPEN SPACE AREA = 18.47 ACRES (65.13%)

SECTION 16.16.11.C REQUIRES ONE-HALF OF ALL OPEN SPACE TO BE RETAINED IN A SINGLE OPEN SPACE AREA. OPEN SPACE PARCEL 5 MEETS THIS PUD REQUIREMENT.

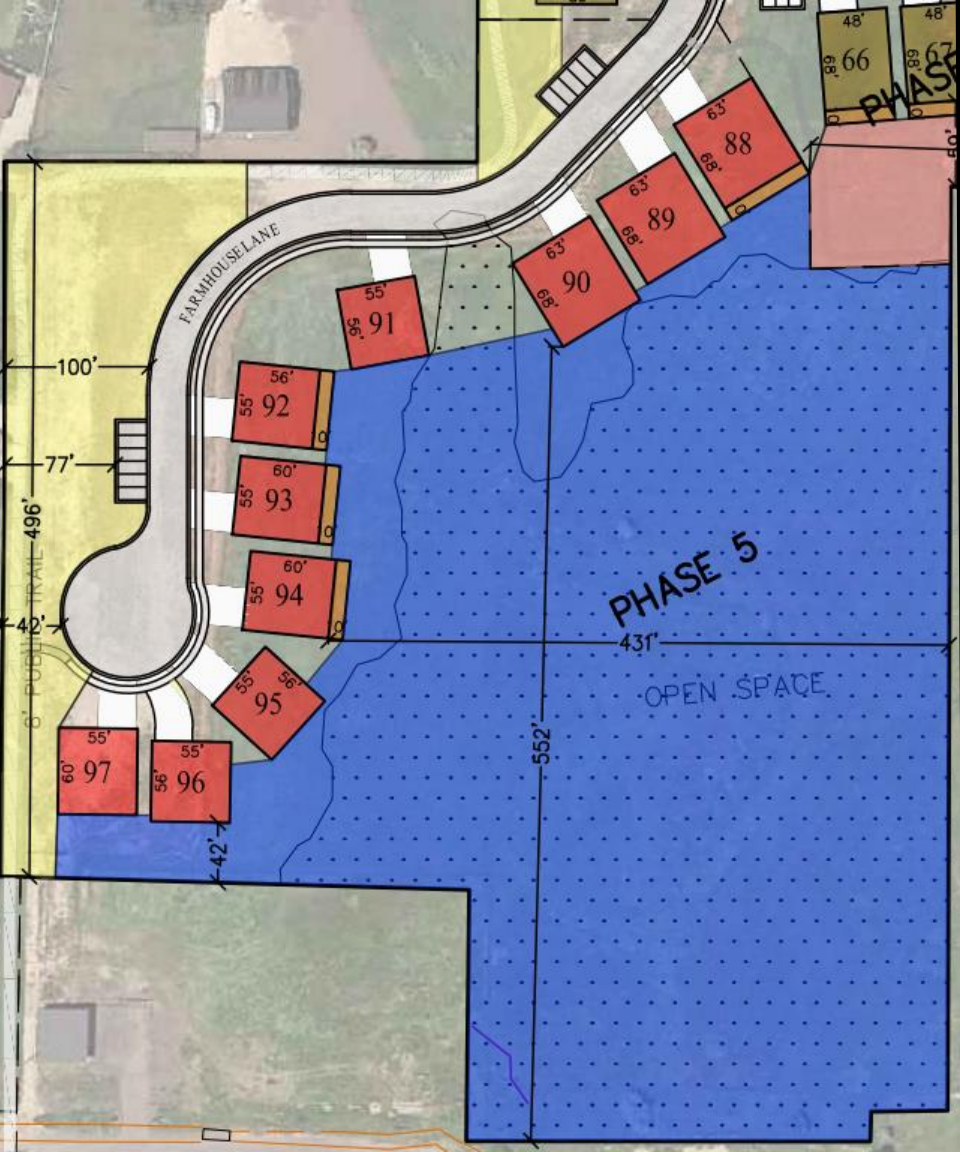
THIS DOCUMENT IS RELEASED FOR REVIEW ONLY. IT IS NOT INTENDED FOR CONSTRUCTION UNLESS SIGNED AND SEALED.

PAUL D. BIRD, P.E.
 SERIAL NO. 290502
 DATE: 29 JUN 2021

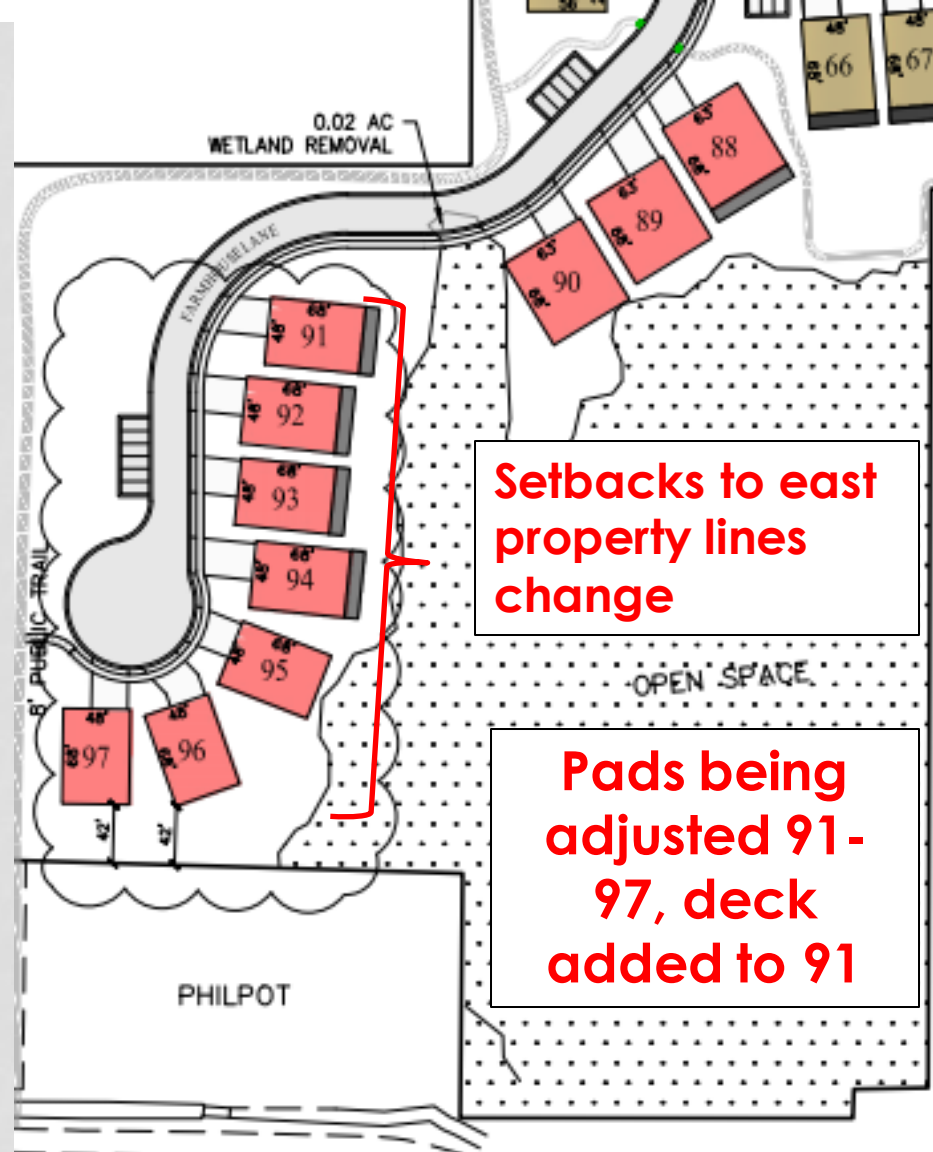
WATTS ENTERPRISES
 REMUND FARMS
 APPROVED 2019
 OPEN SPACE PLAN



DESIGN BY: PDB DATE: 29 JUN 2021 SHEET
 DRAWN BY: DEJ REV: 3



**Existing 2019
Master Plan**



**Proposed 2022
Master Plan**

9/7/21 CITY COUNCIL MOTION:

Motion: Council Member Simonsen moved to table Resolution 2021-27, and that it be reviewed by the applicant and the City Council to be brought back to the next council meeting if the following issues had been resolved:

- Unit 96 fixed by keeping the setback at 42 feet. (Phase 5)
- The water issues reviewed to determine in they should be dealt with now or later and how they would be monitored and prevented over time. (Phase 5)

Seconded: Council Member Orme seconded the motion.

Discussion: None

Vote: The motion was approved with the Council voting as follows:

Aye: Council Member Dougherty, Council Member Drury, Council Member Orme, Council Member Payne, Council Member Simonsen

Nay: None



KEY

- 14 ● 0.50
- 15 ● 0.67

? - Queried Where Uncertain

Piezometer Location, ID, and Elevation Differential in feet.

Red Location Indicates Piezometer Installed in 2016.
Blue Location Indicates Piezometer Installed in 2018.



Contour Interval in Feet of Increase (Rising Water Level in Red) or

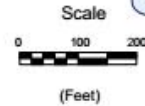
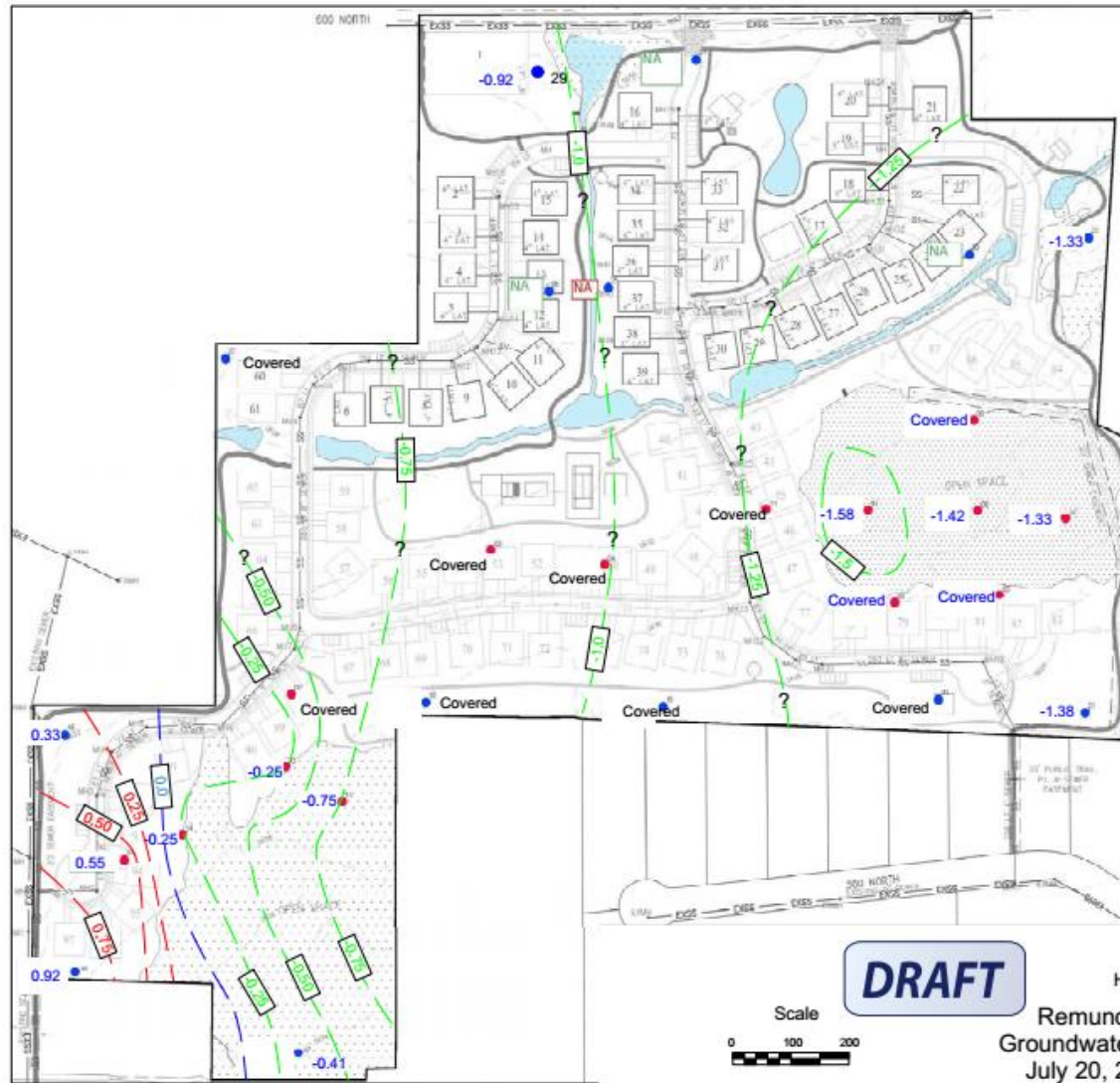


Contour Interval in Feet of Decrease (Falling Water Level in Green)

NA - Piezometer covered or no longer accessible



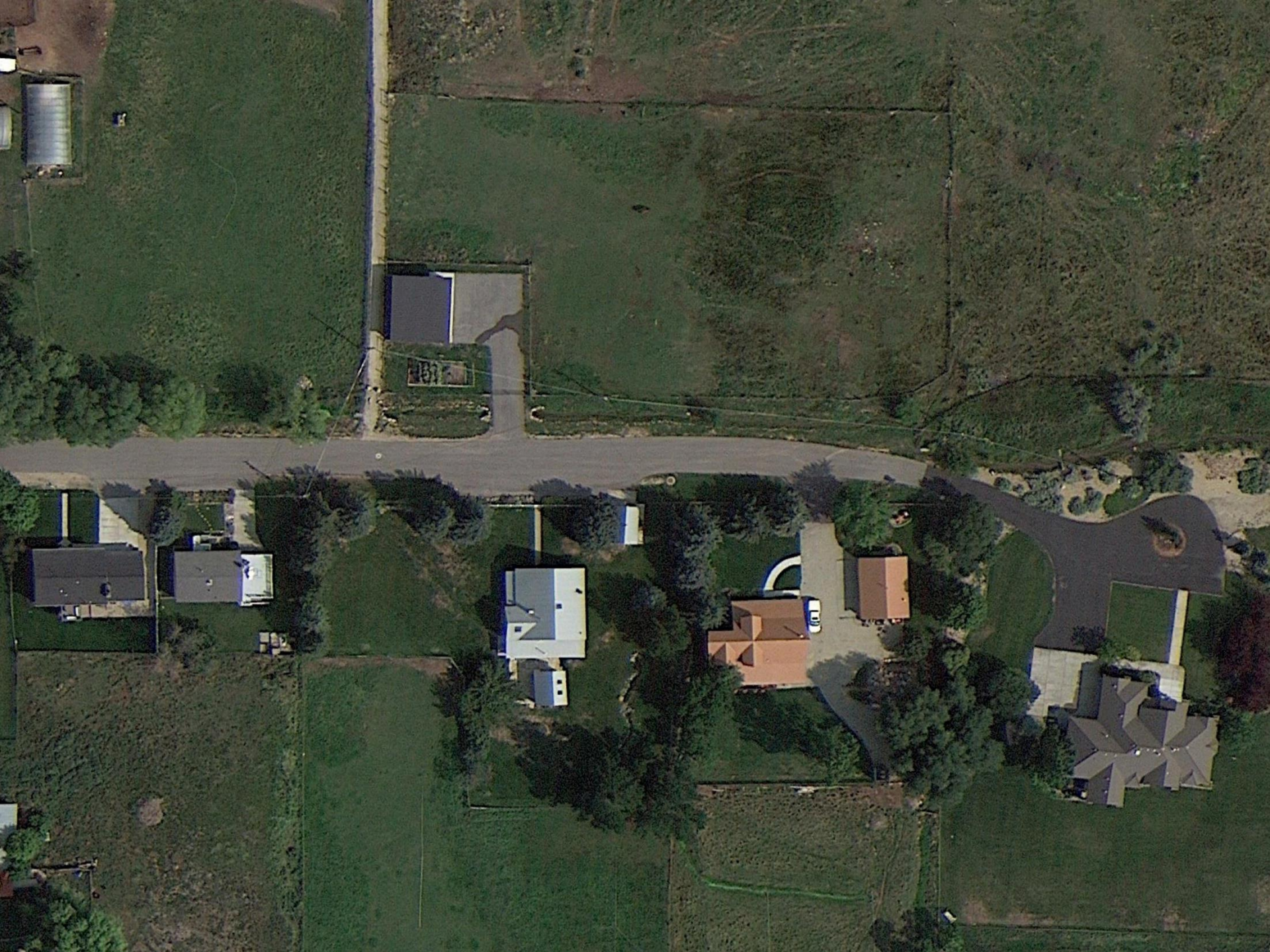
BASE MAP : Horrocks Engineers



DRAFT

Horrocks Engineers
Remund Farms Subdivision
Groundwater Elevation Differential
July 20, 2018 to July 15, 2022

Figure 1



250 NORTH DITCH



250 NORTH DITCH



EQUALIZATION PERFORATED PIPE



EQUALIZATION PERFORATED PIPE



EQUALIZATION PERFORATED PIPE



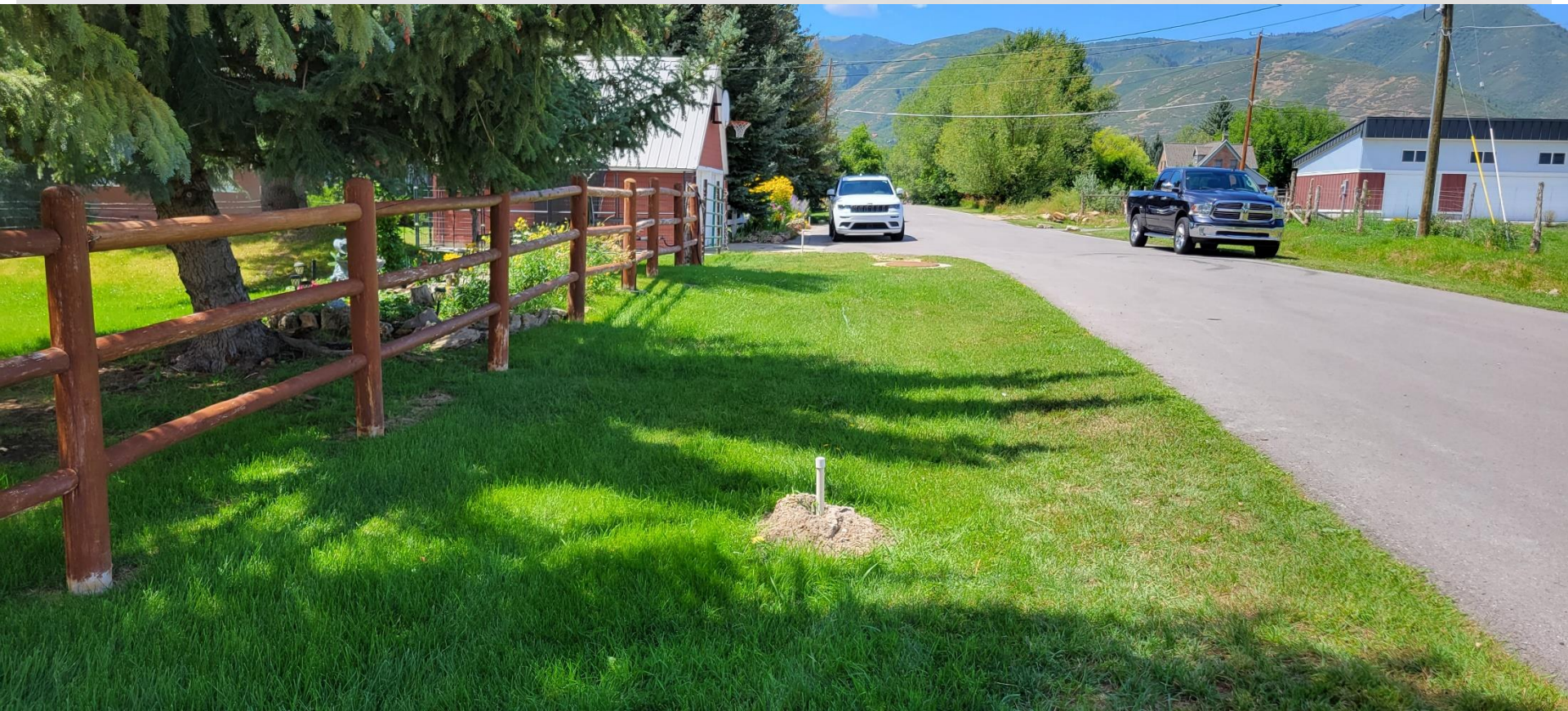
250 NORTH PIEZOMETERS



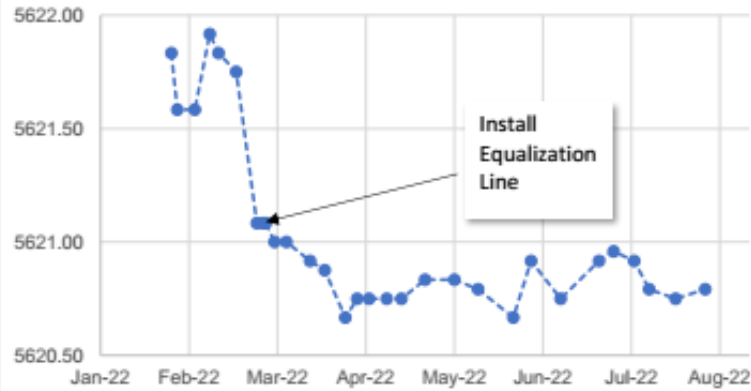
250 NORTH PIEZOMETERS



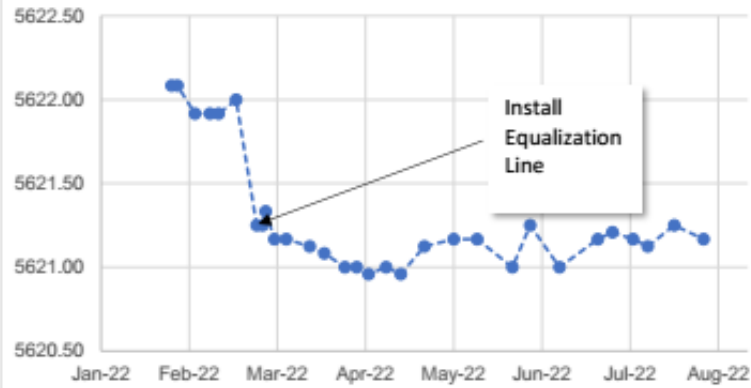
250 NORTH PIEZOMETERS



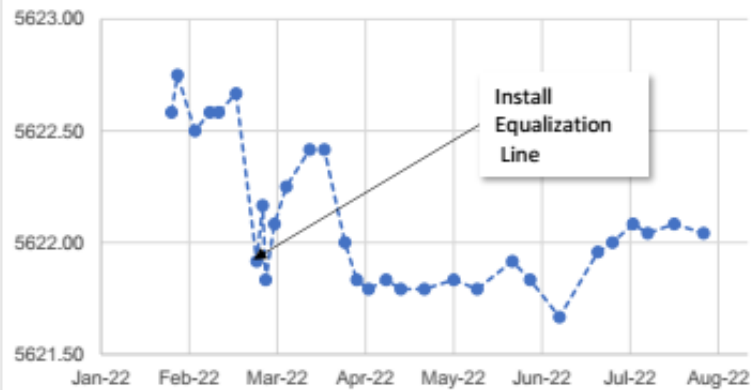
Remund Farms Subdivision Piezo B-1

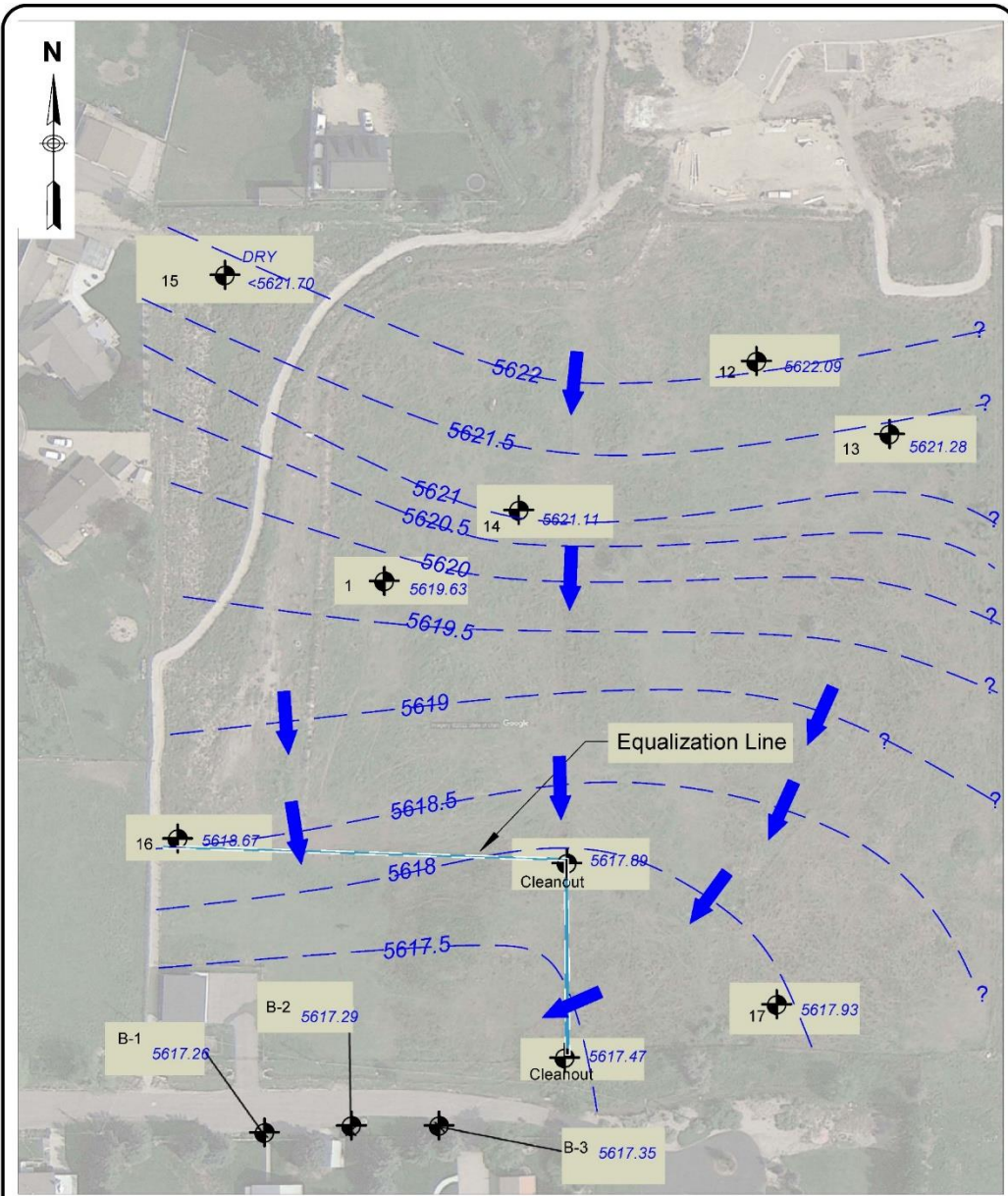


Remund Farms Subdivision Piezo B-2




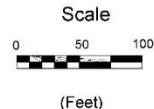
Remund Farms Subdivision Piezo B-3





KEY

-  5618
Elevation Contour on Groundwater Surface
-  Direction of Groundwater Flow



Horrocks Engineers
 Remund Farms Subdivision
 Groundwater Elevation Map
 September 19, 2022

Figure 1

PROPOSED FINDINGS

- The proposed master plan appears to meet the requirements of the code.
- The building pads for seven of the ten units will change in size creating an overall increase in building square footage and reduction in open space.
- Some setbacks from the proposed building pads to the peripheral boundaries in phase 5 will decrease.
- One public trail will be paved as part of the subdivision. The trail will benefit members of the community.
- Amending the master plan is discretionary and the City is under no obligation to approve the proposal even if it complies with the land use code.

PROPOSED CONDITIONS

1. The applicant will survey the boundaries of the wetlands and then install temporary construction fencing when the site improvements begin for phase 5 as well as when homes are constructed in phase 5.
2. The developer will accept all liability for water table level variations associated with the development.