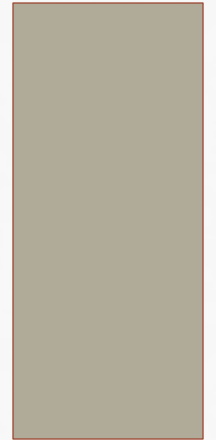


AMEYALLI RESORT (FKA MT. SPA)

MASTER PLAN

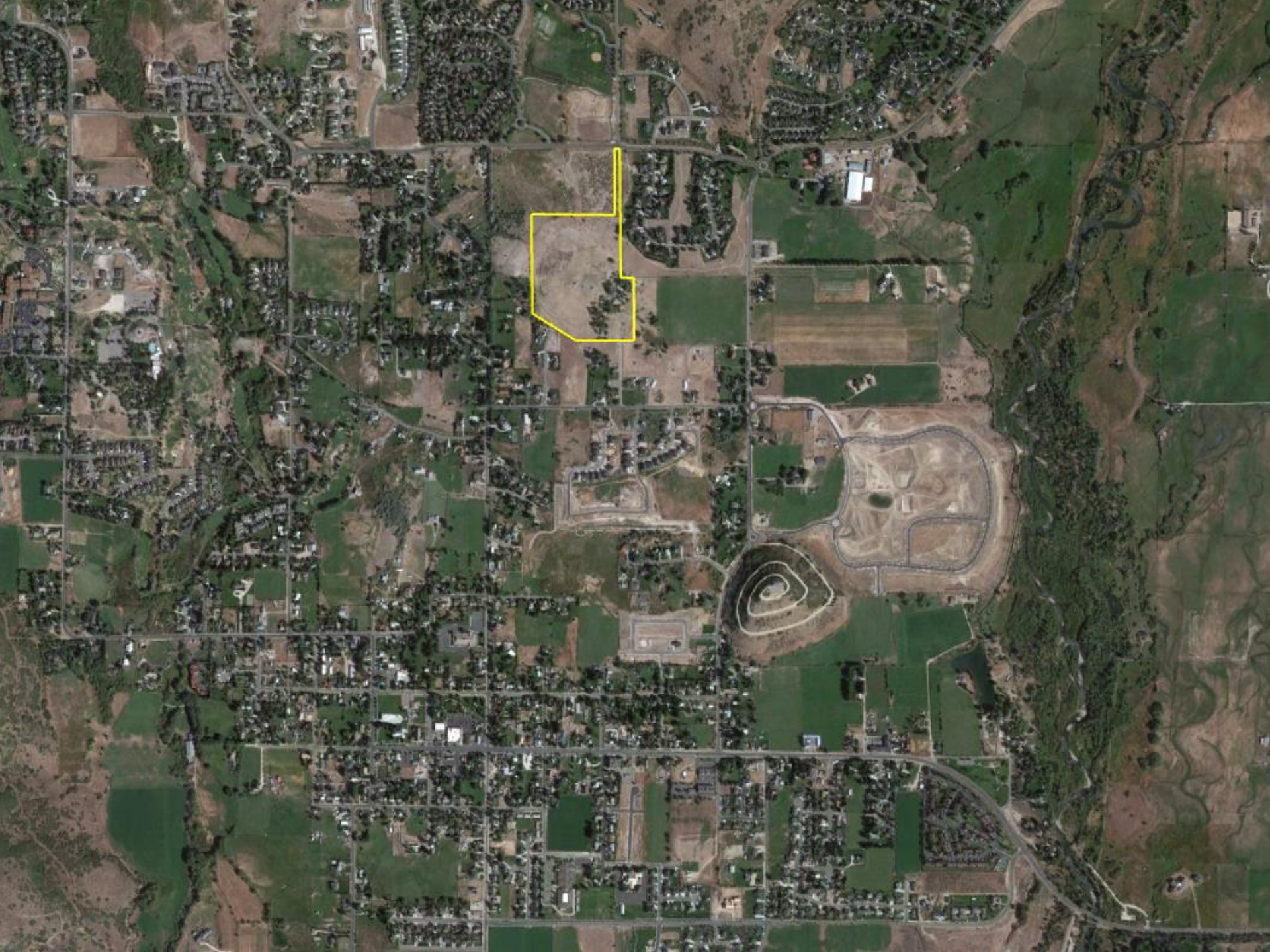


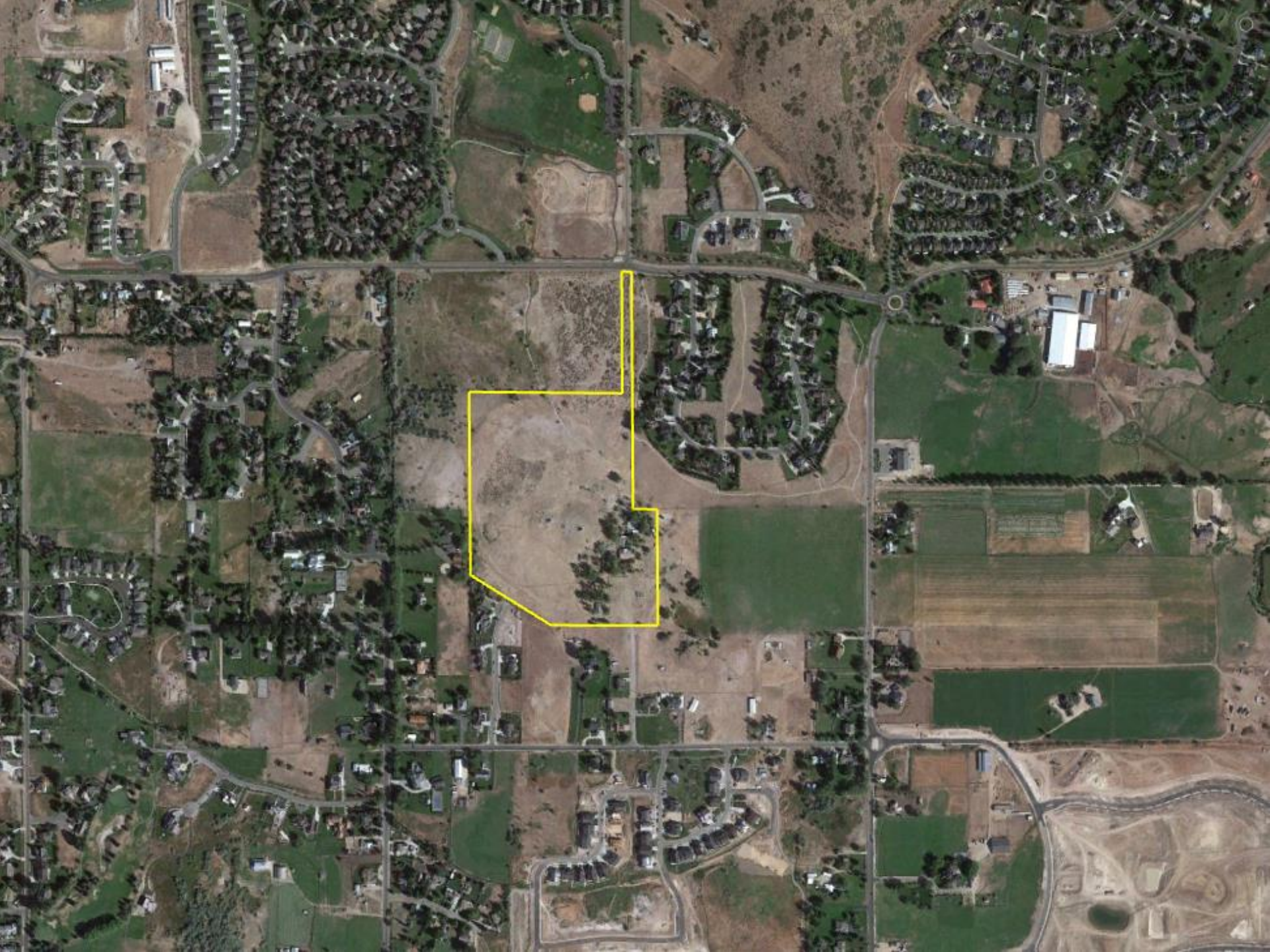
PROJECT OVERVIEW

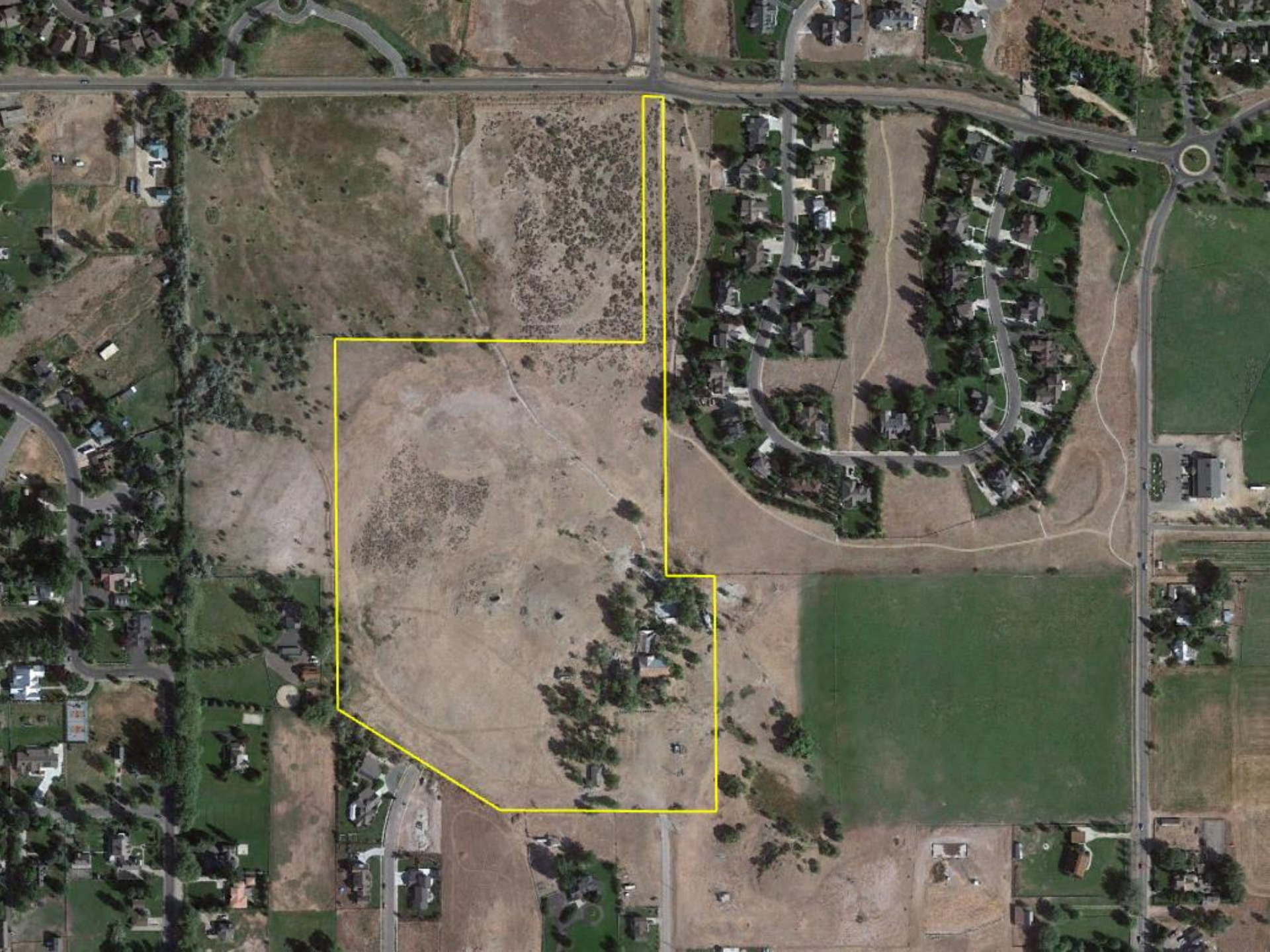
- **Proposal:** The applicant is proposing to develop a resort on the former Mt. Spa property.
- **Zoning:** Resort Zone
- **Parcel:** 28.87 acres
- **Proposed Uses:**
 - Core Resort/Spa Bldg.
 - Hotel rooms (80 ea.)
 - Cottages (23 ea.)
 - Duplexes (24 units)
 - Family Lodges (2 ea.)
 - Presidential Suite (1 unit)

MASTER PLAN REQUIREMENTS

- Property
- Water Rights
- Roads
- Sensitive Lands Protection
- Open Space
- Phasing

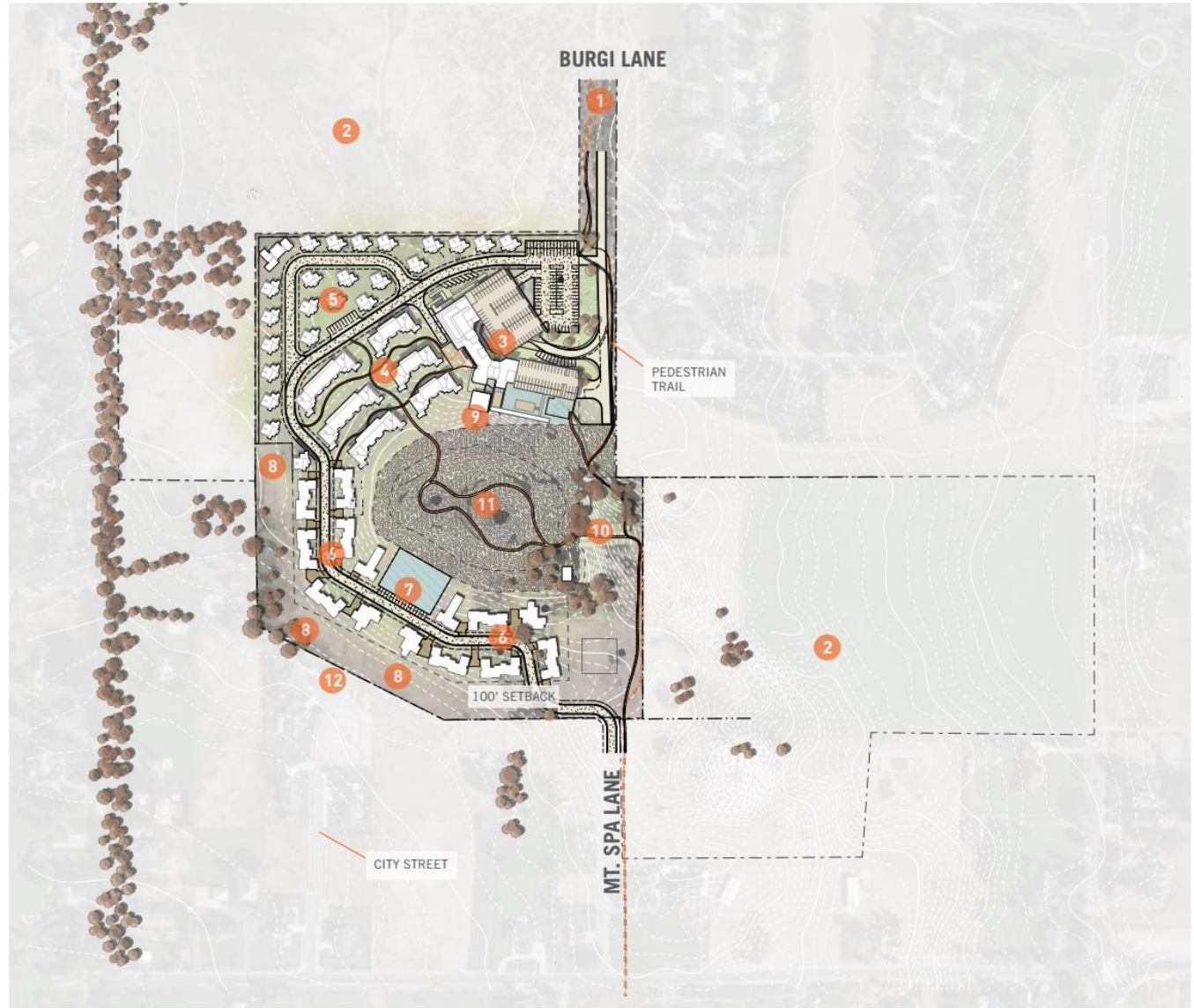






CONCEPT DESIGN / PROPOSED LAND USE I

OVERALL SITE PLAN



PROGRAM | LEGEND

- 1 MAIN ENTRANCE
- 2 AGRICULTURAL PRESERVATION AREA
SEE RECORDED RURAL PRESERVATION SUBDIVISION PLAT.
- 3 CORE BUILDING
- 4 HOTEL
- 5 COTTAGES
- 6 DUPLEXES
- 7 FAMILY LODGE + FAMILY POOL AREA
- 8 RECREATION ZONE
- 9 FARM KITCHEN
- 10 RESTORED EXISTING POT ROCK STRUCTURE
- 11 HOT POTS
- 12 POTENTIAL EMERGENCY ACCESS PATH



0' 150' 300' 600'



SCALE | 1:300

CONCEPT DESIGN / PROPOSED LAND USE PLAN |

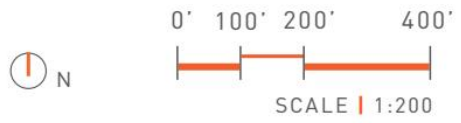
SITE METRICS



PROGRAM | GROSS SF

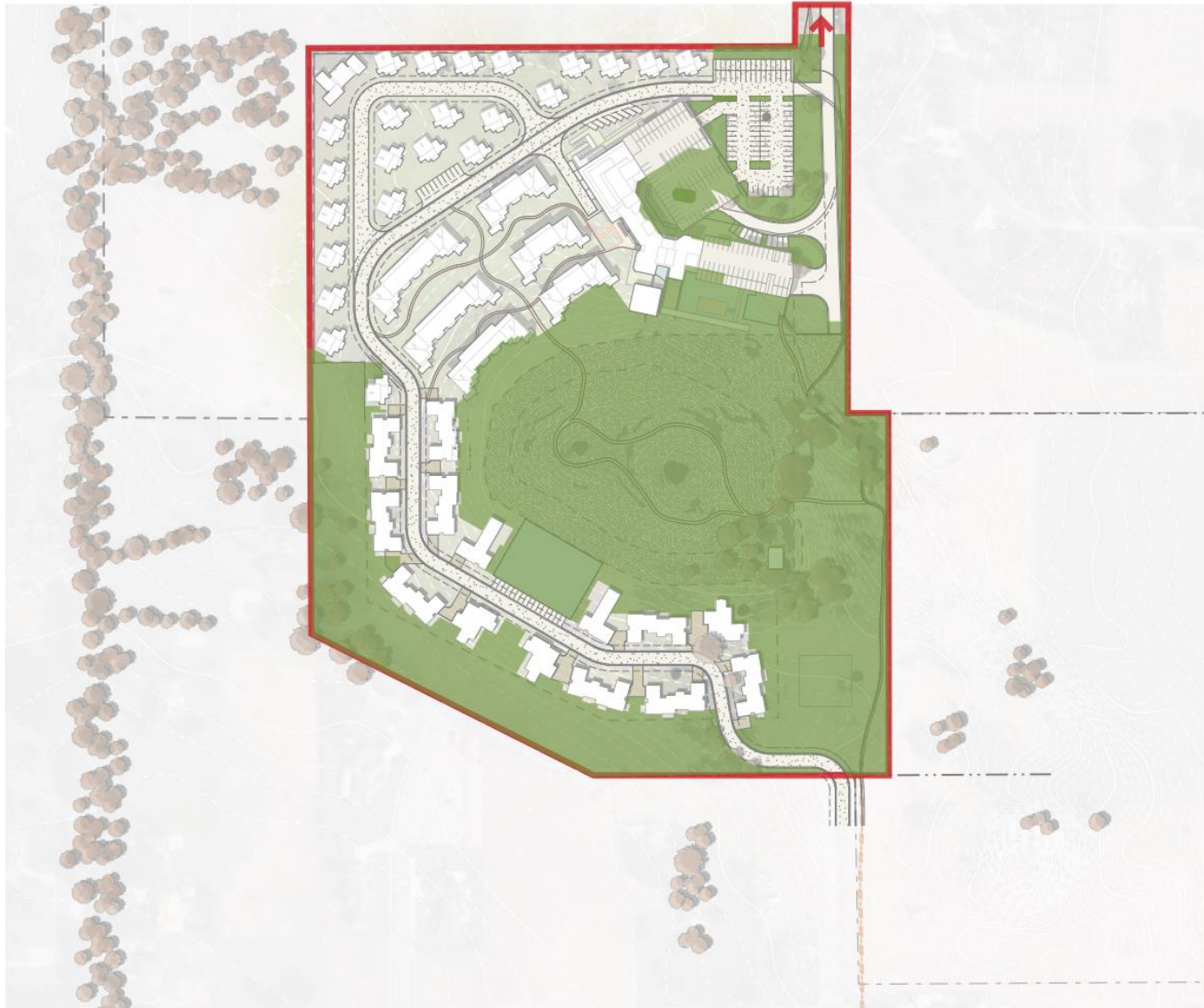
80 Hotel Rooms:	41,270
23 Cottages:	40,020
1 Presidential Suite:	3,210
Core Building:	48,510
24 Duplexes:	81,756
2 Family Lodges:	12,672
Farm Kitchen:	2,500
TOTAL:	229,938

TOTAL # of Bedrooms: 237



CONCEPT DESIGN / PROPOSED LAND USE PLAN |

OPEN SPACE METRICS: SITE



TOTAL AREA OF RESORT | AC

Building Footprint:	3.78	13.1%
Roads, Parking & Driveways:	3.36	11.6%
Green Space:	21.73	75.3%
Landscaped Areas:	5.67	19.7%
Open Areas:	16.06	55.6%

TOTAL Project Area: **28.87**

OPEN SPACE | AC

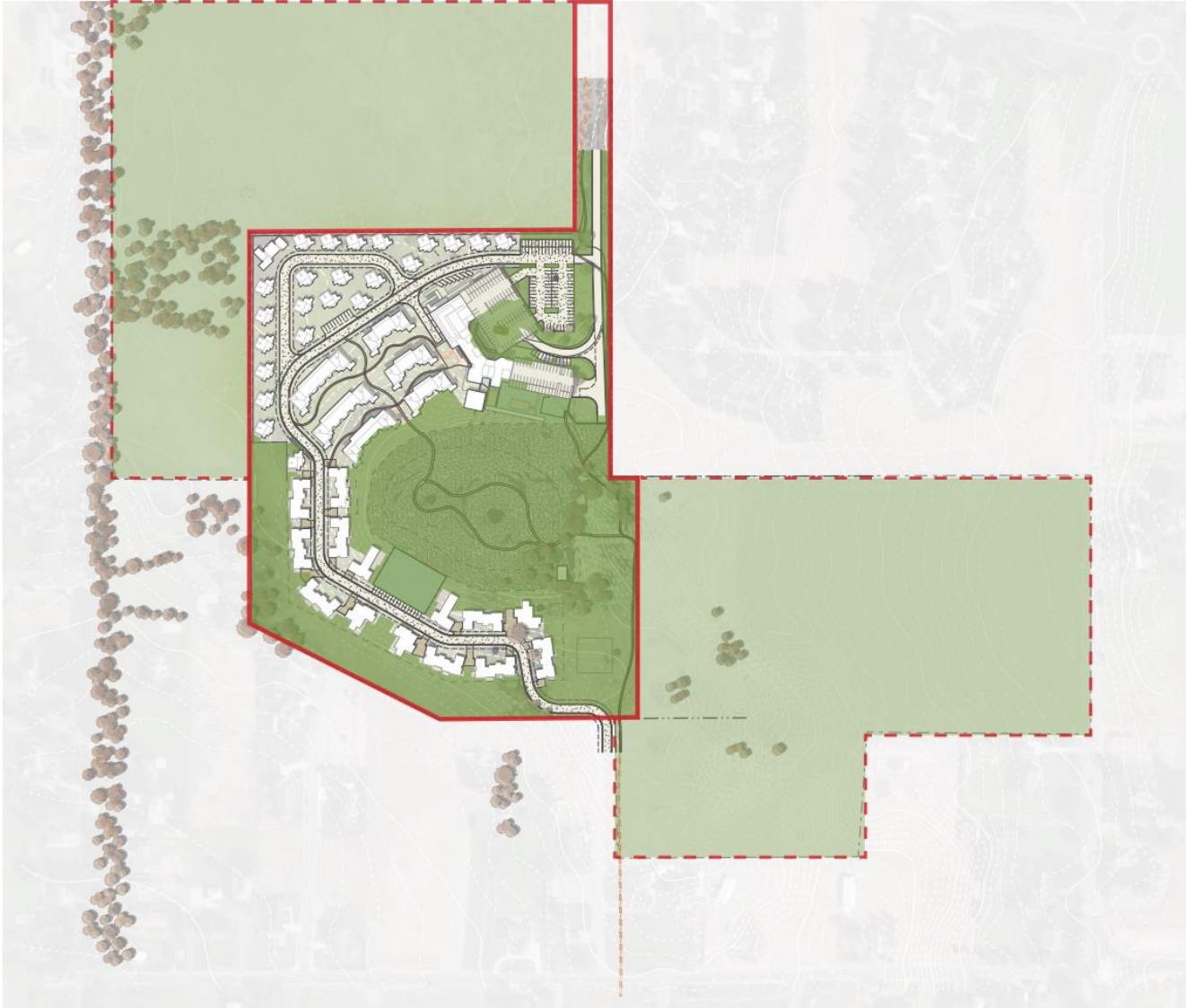
Proposed Open Space: **16.06** 55.6%



SCALE | 1:200

CONCEPT DESIGN / PROPOSED LAND USE PLAN |

OPEN SPACE METRICS: SITE WITH CONTEXT



TOTAL AREA OF RESORT | AC

Building Footprint:	3.78	13.1%
Roads, Parking & Driveways:	3.36	11.6%
Green Space:	21.73	75.3%
Landscaped Areas:	5.67	19.7%
Open Areas:	16.06	55.6%

TOTAL Project Area: **28.87**

OPEN SPACE | AC

Proposed Open Space: **16.06** 55.6%

0' 150' 300' 600'



SCALE | 1:300

CONCEPT DESIGN / PROPOSED LAND USE PLAN |

HIGHEST POINT



0' 100' 200' 400'



SCALE | 1:200

CONCEPT DESIGN / PROPOSED LAND USE PLAN |

PARKING COUNTS



PROGRAM | GROSS SF

76 Hotel Rooms:	41,270
23 Cottages:	40,020
1 Presidential Suite:	3,210
Core Building:	48,510
24 Duplexes:	81,756
2 Family Lodges:	12,672
Farm Kitchen:	2,500

TOTAL: 229,938

TOTAL # of Bedrooms: 237

PARKING | SURFACE / SUBGRADE

TOTAL PARKING SHOWN	304 spots
<i>EXCLUDING TANDEM VALET SPOTS</i>	
TOTAL PARKING SHOWN	348 spots
<i>INCLUDING TANDEM VALET SPOTS</i>	
*RESORT TOTAL REQUIRED:	302 spots

**based on parking study*



SCALE | 1:200

CONCEPT DESIGN / PROPOSED LAND USE PLAN I

PARKING STUDY

Ameyalli

(formerly the Mountain Spa)

Resort Master Plan Parking Calculations

May 27, 2022

PARKING NEEDS OF A DEVELOPMENT WITH DIFFERENT TYPES OF USES AND BUSINESSES

The parking for Ameyalli (formerly the Mountain Spa) needs to be able to support the peak day, peak hour demand for the various uses and businesses within the resort such as the hotels, spa, restaurants, retail shops, employees, etc.

ELEMENTS OF PARKING DEMAND

To determine the amount of parking that is required for a large scale development with different types of uses the following items need to be considered:

Type of Facilities
Seasonal Variations
Peak Day Use
Time of Day of Peak Use
Shared Parking

Different facilities are known to have different peak parking accumulation patterns. When such uses are combined in a mixed use development, the total number of parking spaces required is less than the sum of the spaces required when the same facilities exist as stand-alone developments.
- Transportation and Land Development, Institute of Transportation Engineers

MIDWAY CITY ORDINANCE

Section 16.13.39 of the Midway City Zoning Ordinance provides the off-street parking standards for Midway City. Section 16.13.39.D states that "...the total number of parking spaces shall not be less than the sum of the requirements for each of the individual uses. Nevertheless, if the applicant can show, by using nationally recognized studies, the City Council may reduce the amount of parking."

Table 1 - Proposed Uses at Ameyalli

Use	Quantity	Unit
Hotel Units (1 bedroom)	80	unit
Cottage Units	23	unit
Cottage Lock Out Units	23	unit
Presidential Units (3 bedrooms)	1	unit
Duplex units (6 - 7 bedrooms)	24	unit
Family Lodge (5 bedrooms)	2	unit
Yurt	4	unit
Restaurant	71	seats
Rooftop Bar	35	seats
Farm Kitchen	12	seats
Event Space / Conference Center	245	person
Swimming Pools	201	person
Spa - Main Full Service	102	person
Spa - Med Spa	73	person
Spa - Basement	51	person
Fitness Center	53	person
Hotel Staff and Employees	53	person
Kitchen Staff and Employees	18	person

RESORT PARKING DEMAND

- Seasonal Variations

Peak use of recreation facilities occurs during summer period

- Time of Peak Use

Time of Peak Hour Demand is 7:00 - 8:00 pm
Peak day demand factor for hotel room parking 0.84 (2)
Peak hour demand factor for hotel parking is 0.95 (3)
Conferences are mostly over in evening, 50% demand during peak hour period
Swimming pool demand is 75% during evening peak period.
Amenity and commercial/retail use drops to 75% during evening period.

- Shared Parking

60% of convention center attendees are hotel guests (1)
60% of the people at the restaurant are hotel guests (1)
Assume 60% of the recreational and amenity users are guests at the resort.

Sources:

- (1) International Association of Conference Centers
- (2) Parking Generation: A Summary of Parking Occupancy Data, Institute of Transportation Engineers
- (3) Shared Parking, The Urban Land Institute & Barton-Aschman Associates, Inc.

Table 2 - Required Parking Spaces for the Ameyalli Master Plan

Use	Quantity	Unit	Parking Standard		Parking Space Subtotal	Peak Day Factor	Peak Hour Factor	Factor for Hotel Parking	Required Spaces	
			Quantity	Unit						
Hotel Units (1 bedroom)	80	unit	1	per unit	80	0.84	0.95	1.00	64	Midway Code 16.13.39.A.4
Cottage Units (2 bedrooms)	23	unit	1	per unit	23	0.84	0.95	1.00	18	Midway Code 16.13.39.A.4
Cottage Lock Out Units	23	unit	1	per unit	23	0.84	0.95	1.00	18	Midway Code 16.13.39.A.4
Presidential Units (3 bedrooms)	1	unit	2	per unit	2	0.84	0.95	1.00	2	Midway Code 16.13.39.A.1
Duplex units (6 - 7 bedrooms)	24	unit	2	per unit	48	0.84	0.95	1.00	38	Midway Code 16.13.39.A.1
Family Lodge (5 bedrooms)	2	unit	2	per unit	4	0.84	0.95	1.00	3	Midway Code 16.13.39.A.1
Yurt	4	unit	1	per unit	4	0.84	0.95	1.00	3	Midway Code 16.13.39.A.1
Restaurant	71	seats	1	per 2 people	36	1.00	1.00	0.40	14	See Note 1.
Rooftop Bar	35	seats	1	per 2 people	18	1.00	1.00	0.40	7	See Note 1.
Farm Kitchen	12	seats	1	per 2 people	6	1.00	1.00	0.40	2	See Note 1.
Event Space / Conference Center	245	person	1	per 2 people	123	1.00	0.50	0.40	25	Midway Code 16.13.39.A.5
Swimming Pools	201	person	1	per 2 people	101	1.00	0.75	0.40	30	Midway Code 16.13.39.A.5
Spa - Main Full Service	102	person	1	per 2 people	51	1.00	0.75	0.40	15	Midway Code 16.13.39.A.5
Spa - Med Spa	73	person	1	per 2 people	37	1.00	0.75	0.40	11	Midway Code 16.13.39.A.5
Spa - Basement	51	person	1	per 2 people	26	1.00	0.75	0.40	8	Midway Code 16.13.39.A.5
Fitness Center	53	person	1	per 2 people	27	1.00	0.75	0.40	8	Midway Code 16.13.39.A.5
Hotel Staff and Employees	53	person	1	per employee	53	1.00	0.33	1.00	17	Midway Code 16.13.39.A.4
Kitchen Staff and Employees	18	person	1	per employee	18	1.00	1.00	1.00	18	Midway Code 16.13.39.A.4
Total Parking Spaces Required for Resort									302	
Total Parking Spaces in Master Plan									348	

Notes:

1. Section 16.13.39 of the Midway City Zoning Ordinance requires 1 parking space per 250 sq. feet for restaurants. This analysis uses seating capacity instead of square feet which is a more accurate method to estimate parking for restaurants.
2. Assumed that only a third of the hotel staff and employees is working during the evening peak hour. Cleaning, laundry and other maintenance employees are gone during the peak hour.

Table 2 - Required Parking Spaces for the Ameyalli Master Plan

Use	Quantity	Unit	Parking Standard		Parking Space Subtotal	Peak Day Factor	Peak Hour Factor	Factor for Hotel Parking	Required Spaces
			Quantity	Unit					
Hotel Units (1 bedroom)	80	unit	1	per unit	80	0.84	0.95	1.00	64
Cottage Units (2 bedrooms)	23	unit	1	per unit	23	0.84	0.95	1.00	18
Cottage Lock Out Units	23	unit	1	per unit	23	0.84	0.95	1.00	18
Presidential Units (3 bedrooms)	1	unit	2	per unit	2	0.84	0.95	1.00	2
Duplex units (6 - 7 bedrooms)	24	unit	2	per unit	48	0.84	0.95	1.00	38
Family Lodge (5 bedrooms)	2	unit	2	per unit	4	0.84	0.95	1.00	3
Yurt	4	unit	1	per unit	4	0.84	0.95	1.00	3
Restaurant	71	seats	1	per 2 people	36	1.00	1.00	0.40	14
Rooftop Bar	35	seats	1	per 2 people	18	1.00	1.00	0.40	7
Farm Kitchen	12	seats	1	per 2 people	6	1.00	1.00	0.40	2
Event Space / Conference Center	245	person	1	per 2 people	123	1.00	0.50	0.40	25
Swimming Pools	201	person	1	per 2 people	101	1.00	0.75	0.40	30
Spa - Main Full Service	102	person	1	per 2 people	51	1.00	0.75	0.40	15
Spa - Med Spa	73	person	1	per 2 people	37	1.00	0.75	0.40	11
Spa - Basement	51	person	1	per 2 people	26	1.00	0.75	0.40	8
Fitness Center	53	person	1	per 2 people	27	1.00	0.75	0.40	8
Hotel Staff and Employees	53	person	1	per employee	53	1.00	0.33	1.00	17
Kitchen Staff and Employees	18	person	1	per employee	18	1.00	1.00	1.00	18

Total Parking Spaces Required for Resort 302

Total Parking Spaces in Master Plan 348

Notes:

1. Section 16.13.39 of the Midway City Zoning Ordinance requires 1 parking space per 250 sq. feet for restaurants. This analysis uses seating capacity instead of square feet which is a more accurate method to estimate parking for restaurants.
2. Assumed that only a third of the hotel staff and employees is working during the evening peak hour. Cleaning, laundry and other maintenance employees are gone during the peak hour.

MASTER PLAN REQUIREMENTS

- **Property**
- Water Rights
- Roads
- Sensitive Lands Protection
- Open Space
- Phasing

CONCEPT DESIGN / PROPOSED LAND USE PLAN |

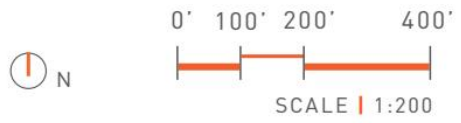
SITE METRICS



PROGRAM | GROSS SF

80 Hotel Rooms:	41,270
23 Cottages:	40,020
1 Presidential Suite:	3,210
Core Building:	48,510
24 Duplexes:	81,756
2 Family Lodges:	12,672
Farm Kitchen:	2,500
TOTAL:	229,938

TOTAL # of Bedrooms: 237



MASTER PLAN REQUIREMENTS

- Property
- Water Rights
- Roads
- Sensitive Lands Protection
- Open Space
- Phasing

AMEYALLI MASTER PLAN

Table 2 - Water Rights Needs for the Mountain Spa Resort

Use	Project Quantity	Unit	Water Requirement with Return Flow	Unit	Total (acre-feet)
Irrigated area	4.30	acres	3.00	acre-feet/acre	12.90
Hotel units (1 bedroom)	80	units	0.30	acre-feet/unit	24.00
Cottage units (2 bedrooms)	24	units	0.80	acre-feet/unit	19.20
Presidential units (3 bedrooms)	1	units	0.80	acre-feet/unit	0.80
Duplex units (6 - 7 bedrooms)	24	units	0.80	acre-feet/unit	19.20
Family lodge (5 bedrooms)	2	units	0.80	acre-feet/unit	1.60
Yurt	4	units	0.30	acre-feet/unit	1.20
Restaurants	71	seats	0.07	acre-feet/person	4.97
Rooftop bar	35	seats	0.04	acre-feet/person	1.40
Event space / conference center	245	person	0.01	acre-feet/person	2.45
Swimming pools	201	person	0.02	acre-feet/person	4.02
Spa - Main Full Service	102	person	0.05	acre-feet/person	5.10
Spa - Med Spa	73	person	0.05	acre-feet/person	3.65
Spa - Basement	51	person	0.05	acre-feet/person	2.55
Fitness Center	53	person	0.05	acre-feet/person	2.65
Hotel staff and employees	53	person	0.03	acre-feet/person	1.59
Kitchen staff and employees	18	person	0.03	acre-feet/person	0.54
Laundry	4	washers	1.15	acre-feet/washer	4.60
Event space / conference center	245	person	0.01	acre-feet/person	2.45

114.87 acre-feet

Notes:

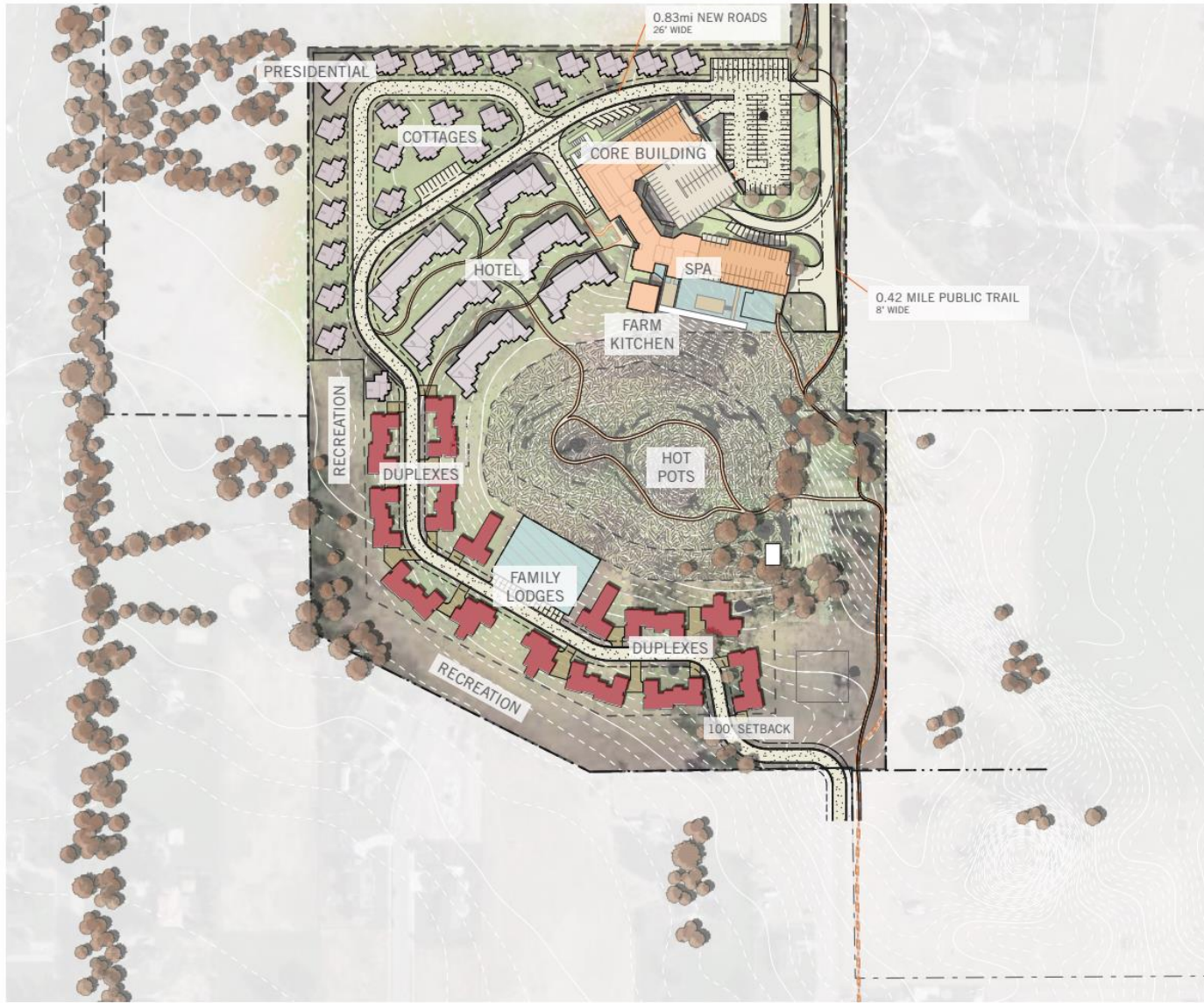
- 1 acre-foot per year = 892 gallons per day
- Return Flow Factor = State Indoor Requirement / Midway City Indoor Requirement = 0.45 / 0.80 = 1.77
- The architect has estimated 4.30 acres of irrigated area for the resort property.

MASTER PLAN REQUIREMENTS

- Property
- Water Rights
- Roads
- Sensitive Lands Protection
- Open Space
- Phasing

CONCEPT DESIGN / PROPOSED LAND USE PLAN |

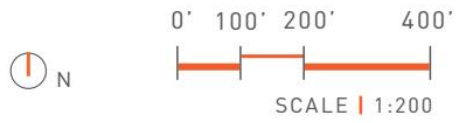
SITE METRICS



PROGRAM | GROSS SF

80 Hotel Rooms:	41,270
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TOTAL:	229,938

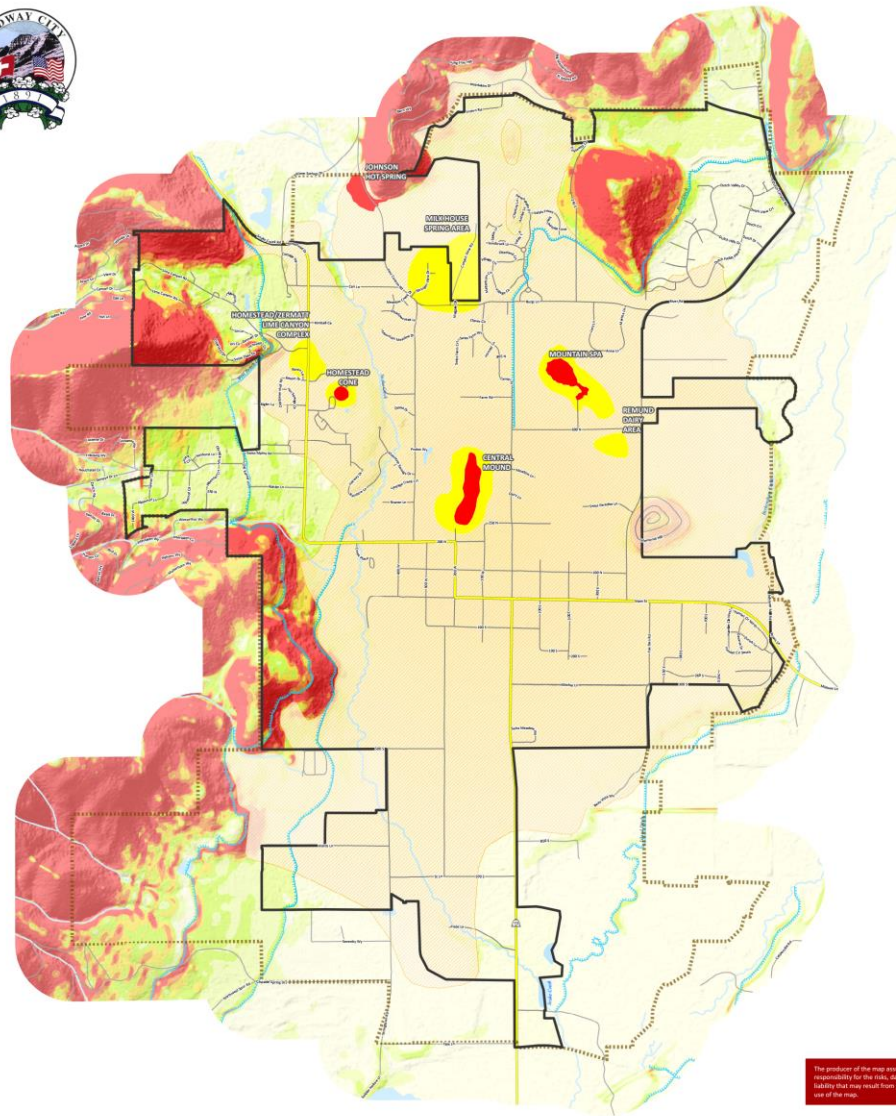
TOTAL # of Bedrooms: 237



MASTER PLAN REQUIREMENTS

- Property
- Water Rights
- Roads
- Sensitive Lands Protection
- Open Space
- Phasing

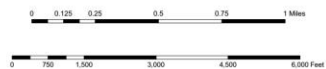
MIDWAY CITY - Geological & Hydrological Features



The producer of the map assumes no responsibility for the data, design, and liability that may result from the reader's use of the map.

Legend

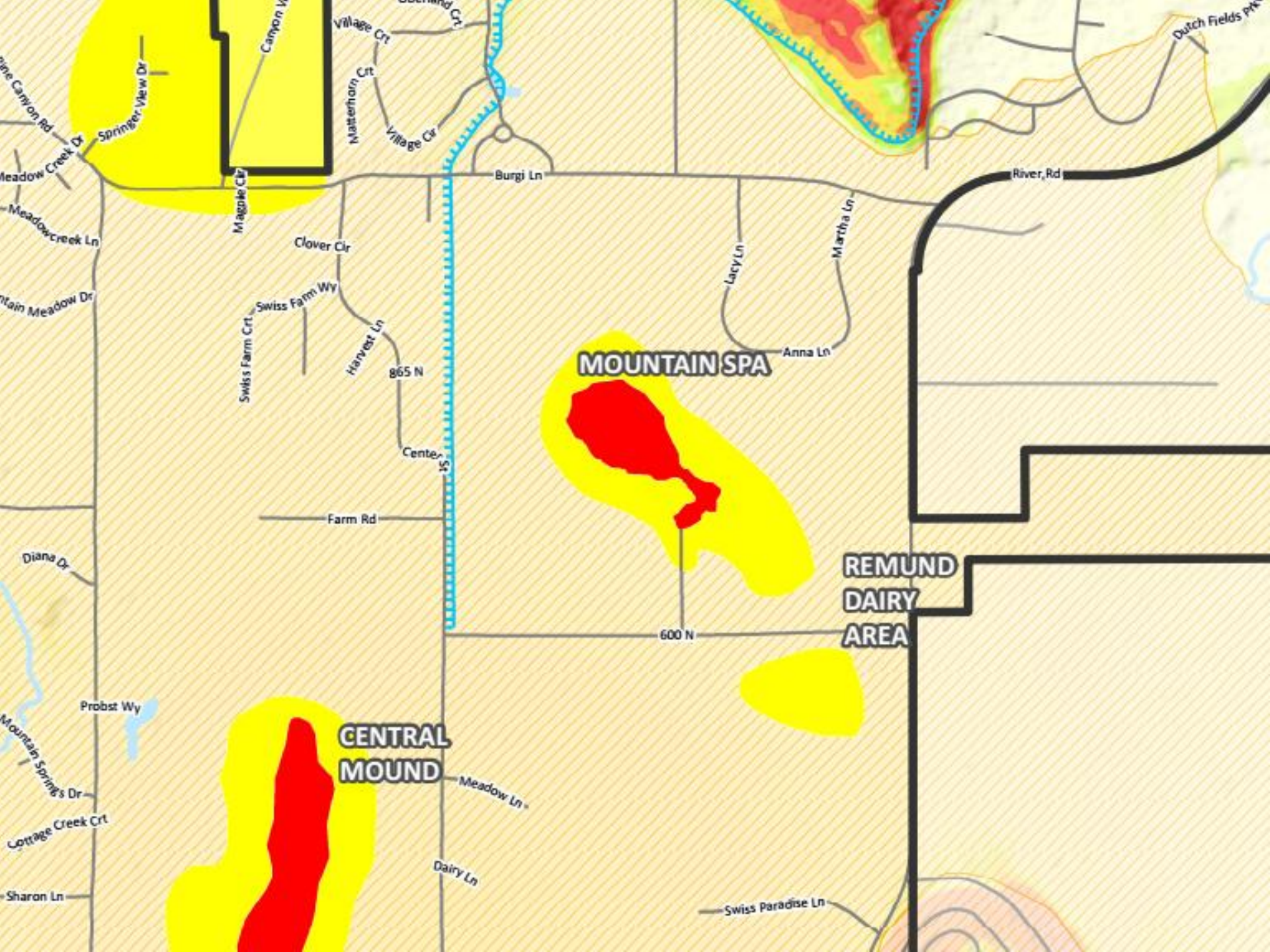
Geologic Features	Roads	Slope
Major	Primary	0 - 5%
Minor	Secondary	5 - 10%
Pot Rock Areas	Canal	10 - 15%
Midway City	Stream	15 - 20%
Midway Growth Boundary	Water Body	20 - 25%
		> 25%



MOUNTAINLAND
ASSOCIATION OF GOVERNMENTS

Map Produced by Gary Jones, GISP (Chief Cartographer)
Mountainland Association of Governments
Map Production Date: May 2014
Map Scale: 1:50,000 (Scale varies with zoom level)
Data Source: Mountain County

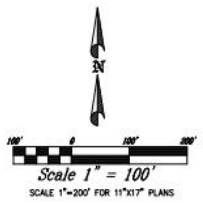




MOUNTAIN SPA

**REMUND
DAIRY
AREA**

**CENTRAL
MOUND**



LEGEND

- WETLANDS (3.75 ACRES)
- SLOPES > 25% (0.33 ACRES OUTSIDE OF HOT POT/CRATER)
- MAJOR GEOLOGICAL FEATURES (MIDWAY CITY GEOLOGICAL FEATURES MAP)
- MINOR GEOLOGICAL FEATURES (MIDWAY CITY GEOLOGICAL FEATURES MAP)
- 2008 PLANNING COMMISSION GEOLOGICAL FEATURES BOUNDARY DETERMINATION
- 2008 CITY COUNCIL GEOLOGICAL FEATURES BOUNDARY DETERMINATION

THIS DOCUMENT IS RELEASED FOR REVIEW ONLY. IT IS NOT INTENDED FOR CONSTRUCTION UNLESS BORED AND SEALED.
 PAUL D. BIRD P.E.
 SERIAL NO. 205985
 DATE 18 MAY 2022

CHUCK HEATH
 MOUNTAIN SPA

SENSITIVE LANDS BOUNDARY

D&S ENGINEERING
 380 E Main St, Suite 204
 Midway, UT 84049
 ph 435.657.9749

DESIGN BY: FDB	DATE: 16 MAY 2022	SHEET
DRAWN BY: FDB	REV:	1



0.42 MILE PUBLIC
8' WIDE

HOTEL

SPA

FARM
KITCHEN

HOT
POTS

RECREATION

DUPLEXES

FAMILY
LODGES

DUPLEXES

RECREATION

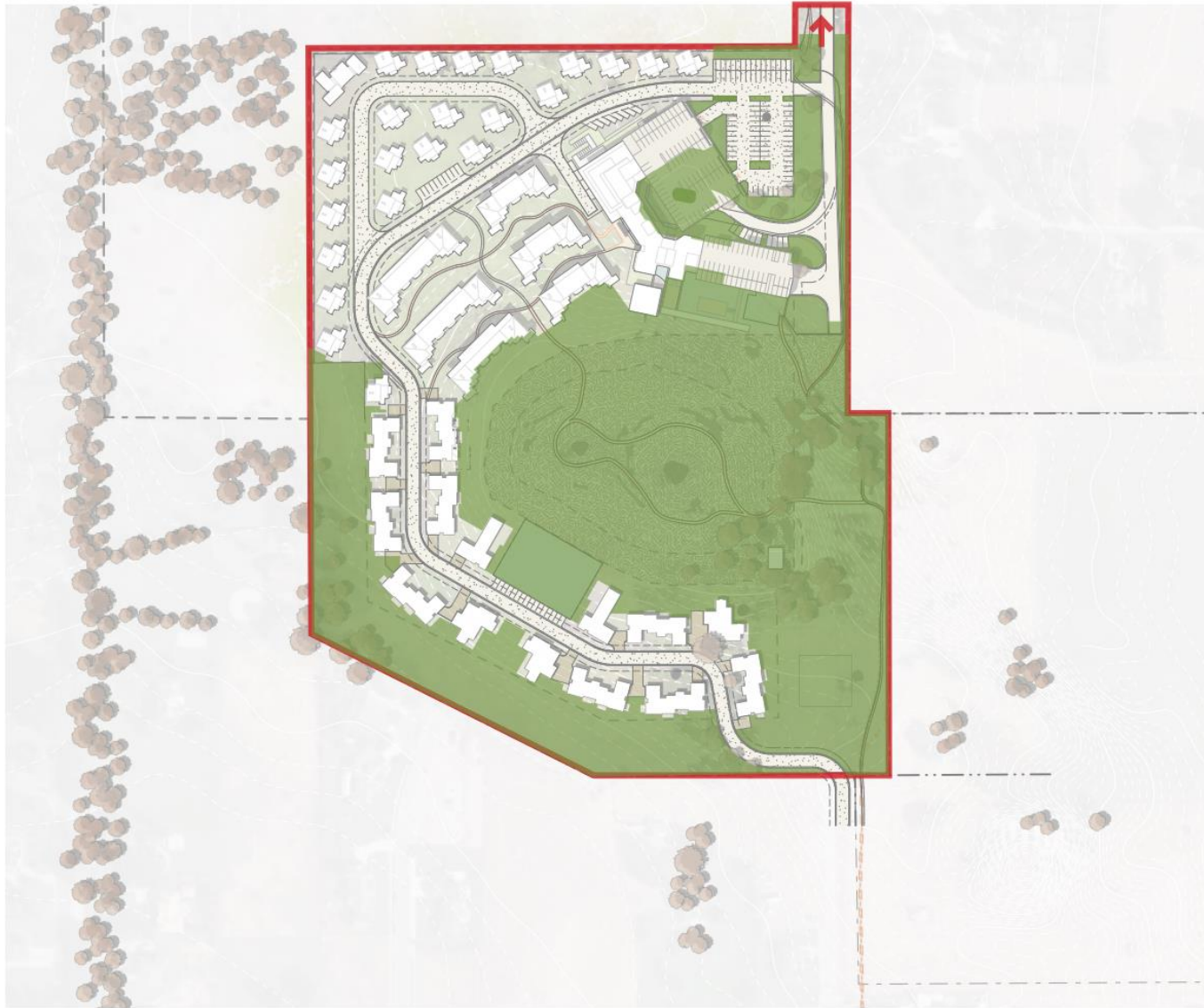
100' SETBACK

MASTER PLAN REQUIREMENTS

- Property
- Water Rights
- Roads
- Sensitive Lands Protection
- Open Space
- Phasing

CONCEPT DESIGN / PROPOSED LAND USE PLAN |

OPEN SPACE METRICS: SITE



TOTAL AREA OF RESORT | AC

Building Footprint:	3.78	13.1%
Roads, Parking & Driveways:	3.36	11.6%
Green Space:	21.73	75.3%
Landscaped Areas:	5.67	19.7%
Open Areas:	16.06	55.6%

TOTAL Project Area: **28.87**

OPEN SPACE | AC

Proposed Open Space: **16.06** 55.6%



SCALE | 1:200

MASTER PLAN REQUIREMENTS

- Property
- Water Rights
- Roads
- Sensitive Lands Protection
- Open Space
- Phasing

PHASE 1

CONCEPT DESIGN / PROPOSED LAND USE PLAN | PHASE 1



PHASE 2

CONCEPT DESIGN / PROPOSED LAND USE PLAN | PHASE 2



PHASE 3

CONCEPT DESIGN / PROPOSED LAND USE PLAN | PHASE 3



PHASE 4

CONCEPT DESIGN / PROPOSED LAND USE PLAN | PHASE 4



ITEMS OF DISCUSSION

Density – The proposed development includes the following types and quantities of density:

- 80 Hotel Rooms – 41,270 SF
- 23 Cottages – 40,020 SF
- One Presidential Suite - 3,210 SF
- Resort Building/Spa - 48,510 SF
- 24 Duplex Units - 81,756 SF
- Two Family Lodges - 12,672 SF
- Farm Kitchen - 2,500 SF

- Total: 229,938 SF
- Total Bedrooms: 237 EA

ITEMS OF DISCUSSION

- Building Area –The proposed plan includes a gross building floor area of 229,938 square feet (250,000 square feet is the maximum allow by the Memorandum of Understanding). The resort zone requires 20% of the gross floor area to be designated as commercial. Of that 20%, 25% must be uses like retail, restaurants, clubs/taverns, or art galleries/showrooms.
- Access – The development has three access points, two of which will be built to City standards, one from Burgi Lane, one from 600 North via 200 East. The third is an emergency access from Sunflower Lane.

ITEMS OF DISCUSSION

- Traffic Study – The developer has submitted a traffic study which Horrocks Engineers has reviewed.
- Public Participation Meeting – The developers held a public participation meeting on May 4, 2022 as required by the ordinance for master plan applications. This requirement is to give the developers an opportunity to present the development to the surrounding residents of the proposed development.

ITEMS OF DISCUSSION

- Public Trails
 - Burgi Hill Park to 600 North paved trail
 - River Road to Ameyalli core area
- Setbacks – The proposed development is designed with the setbacks from the Resort Zone code. The code requires 100' setbacks from all boundary lines surrounding the original Mountain Spa property.
- Height of structures – Structures cannot exceed 35' in height measured from natural grade.
- Geotechnical Reports
 - Earthtec Geotechnical
 - Ground penetrating radar of the site

ITEMS OF DISCUSSION

Architecture Theme - Typically, the architectural theming for new structures in the Resort Zone must comply with the Swiss-European guidelines outlined in Section 16.13.37 of the land use code. In Chapter 16.15 (Resort Zone), the building design guideline section (16.15.4 (G) (3)) states that the building design shall reflect:

“The community’s architectural character choices emphasizing Swiss/European Alpine themes **(or other themes as approved by the City Council after a recommendation from the Visual Architectural Committee (VAC) and Planning Commission).**”

The applicant is proposing a theme that some may interpret as a departure from the typical Swiss/European Alpine themes. Because of the previously mentioned code, it is staff’s interpretation that the city council has discretion on whether a departure is allowed.

ITEMS OF DISCUSSION

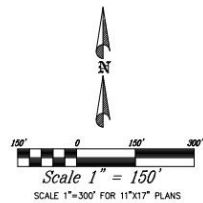
- Building Area Dimensional Limitations – The code requires that building coverage not exceed 12,000 square feet per acre or greater than 27.5% of an acre. The applicant has submitted a plan that states that the average building coverage 229,938 square feet (5.27 acres) per acre which is 18.3% per acre.
- Parking plan proposal
 - 680 required stalls
 - 335 stalls provided (44 valet parking stalls)
 - 302 stalls required per resort combined parking analysis

ITEMS OF DISCUSSION

- Memorandum of Understanding requirements – Summit Land Conservancy and Chuck Heath entered into a Memorandum of Understanding (MOU) regarding development of the Mountain Spa Property. The MOU dictates previously mentioned items such as building footprint area and height. It also requires the following:
 - Restore and maintain the historic “Mountain Spa” pole sign.
 - Construct the previously mentioned trails.
 - Restore natural hot spring water to at least one of the craters in the protected pot rock area.
 - Demolish and clean up the old buildings and derelict swimming pools in and around the protected pot rock area, leaving the two-story historic stone building intact.
 - Provide for the preservation of wildlife habitat, particularly the wetland areas on the northwest of the property.

DISCUSSION ITEMS

- Public Access – Midway Open Space Bond Letter of Commitment 7-6-21, Midway Open Space Letter of Commitment 9-7-2021, & Mountain Spa Letter of Intent 9-8-2021
- "The historic spa area will be encumbered by a conservation easement held by Summit Land Conservancy to ensure that its designation as a sensitive geologic feature is not changed by future legislative action and that it will be available for public use that may include public amenities, including a public trail and easement across the larger tract."



LAND USE TABLE

CURRENT ZONE	R-1-22 & RZ
TOTAL AREA	78.02 ACRES
AREA IN RESORT ZONE	41.20 ACRES
AREA IN R-1-22 ZONE	36.82 ACRES
RESORT DEVELOPMENT PARCEL	19.51 ACRES
HOT POT CONSERVATION EASEMENT	8.11 ACRES

LEGEND

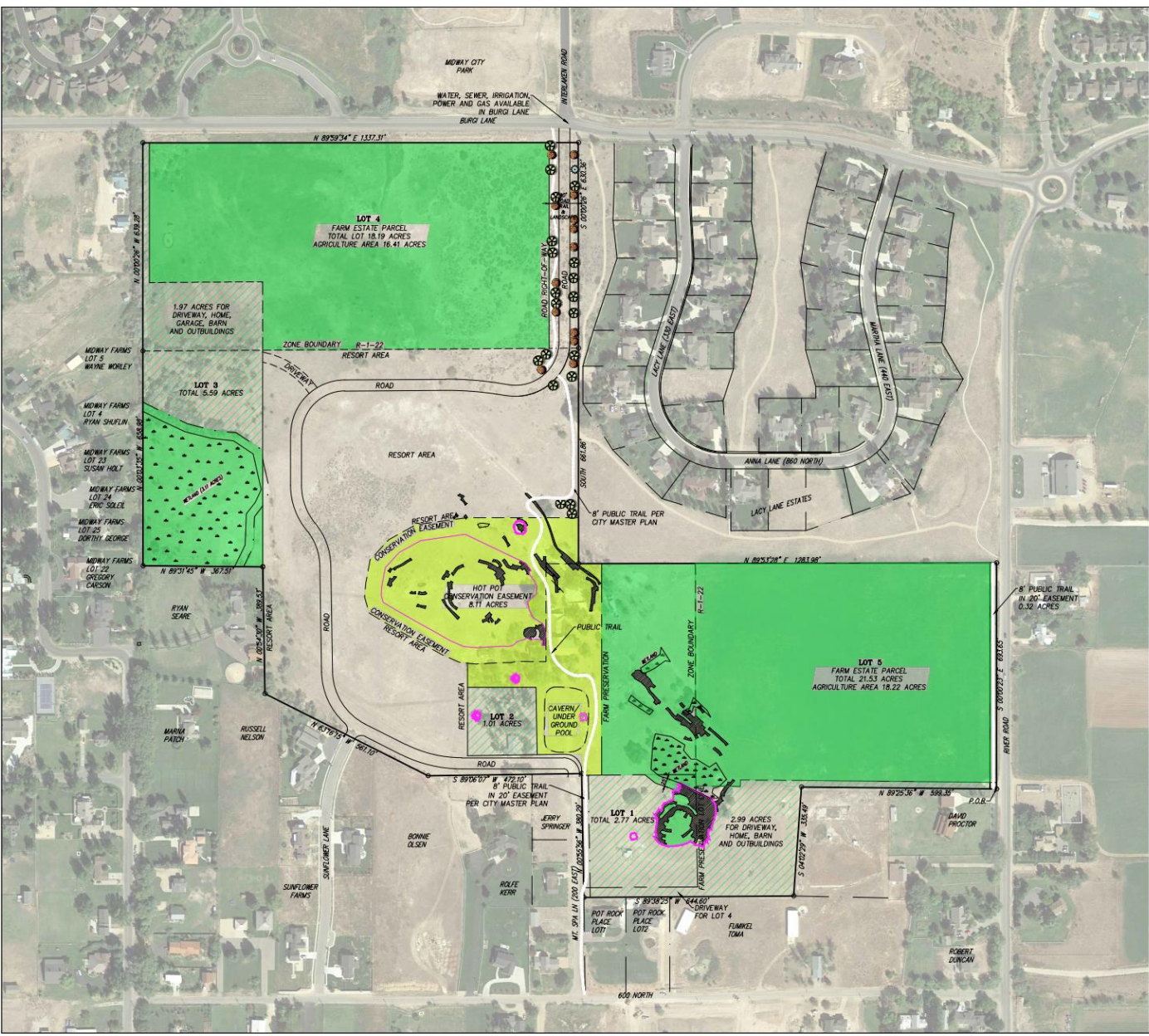
- WETLANDS (3.75 ACRES)
- SLOPES > 25% (0.33 ACRES OUTSIDE OF HOT POT/CRATER)
- HOT POT/CRATER SENSITIVE LANDS (3.52 ACRES)
- RESORT ZONE BOUNDARY
- PRESERVATION / NON-RESORT AREAS (HATCHED AREAS DENOTE AREAS WHERE BUILDING IS ALLOWED).
- HOT POT CONSERVATION EASEMENT (8.11 ACRES)
NOTE: AN ADDITIONAL 4.59 ACRES IS INCLUDED IN THE CONSERVATION EASEMENT.

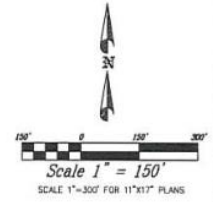
THIS DOCUMENT IS PREPARED FOR REVIEW ONLY. IT IS NOT INTENDED FOR CONSTRUCTION UNLESS SIGNED AND SEALED.
 PAUL D. BERG P.E.
 SERIAL NO. 285595
 DATE: 14 AUG 2020

CHUCK HEATH
 MOUNTAIN SPA
 OPEN SPACE EXHIBIT



DESIGN BY: PDB DATE: 14 AUG 2020 SHEET: 1
 DRAWN BY: PDB REV: 1





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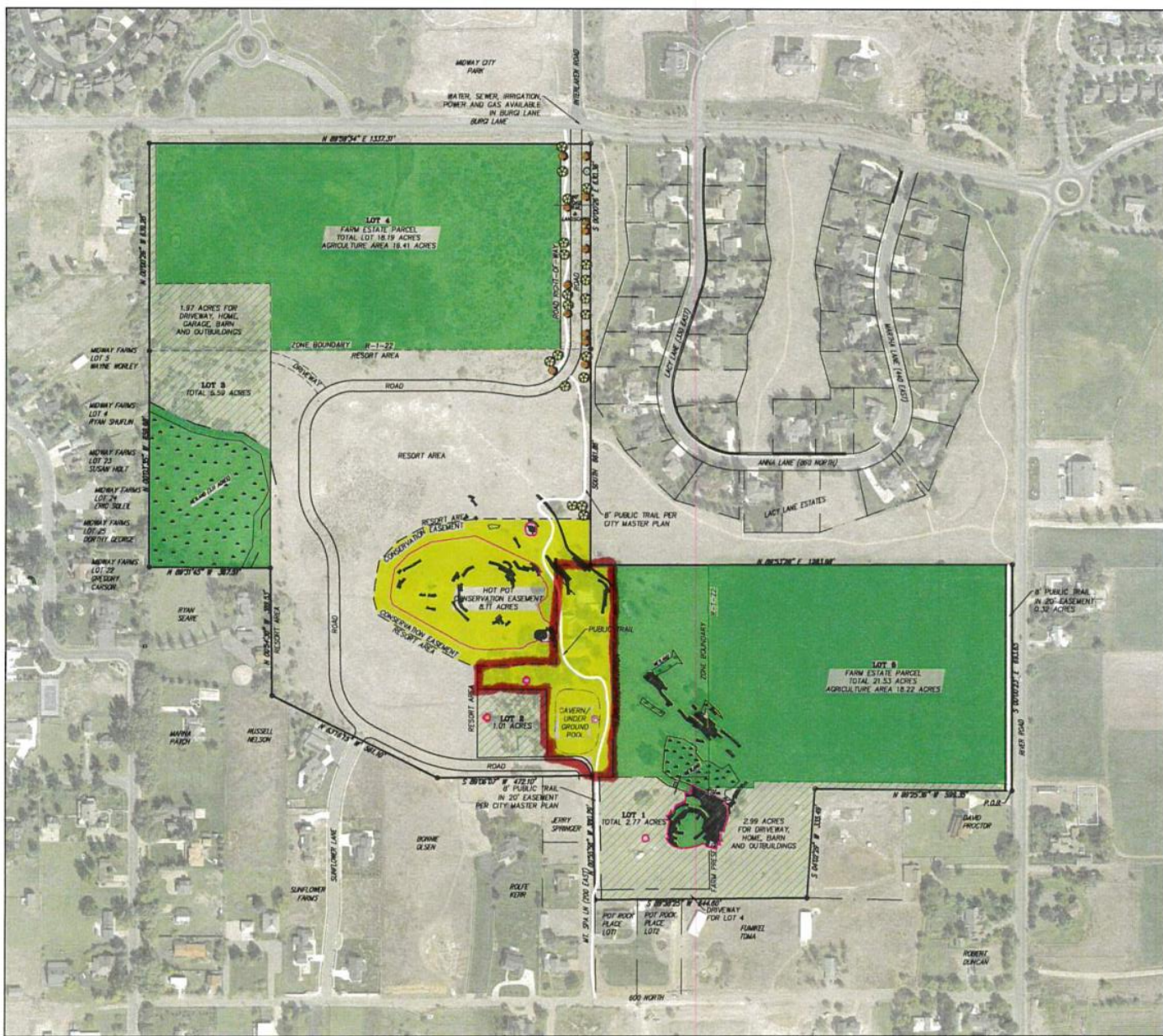
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PAUL B. BERG P.E.
SERIAL NO. 200885
DATE: 14 AUG 2020

CHUCK HEATH
MOUNTAIN SPA
OPEN SPACE EXHIBIT

BERG ENGINEERING
380 E MAIN ST. SUITE 204
MOUNTAIN VIEW, UT 84049
PH 435.657.9749

DESIGN BY: PDB DATE: 14 AUG 2020 SHEET: 1
DRAWN BY: PDB REV: 1



MOTION ITEMS

- Architectural Theming
- Combined Parking Proposal
- Delineation of Sensitive Land

POSSIBLE FINDINGS

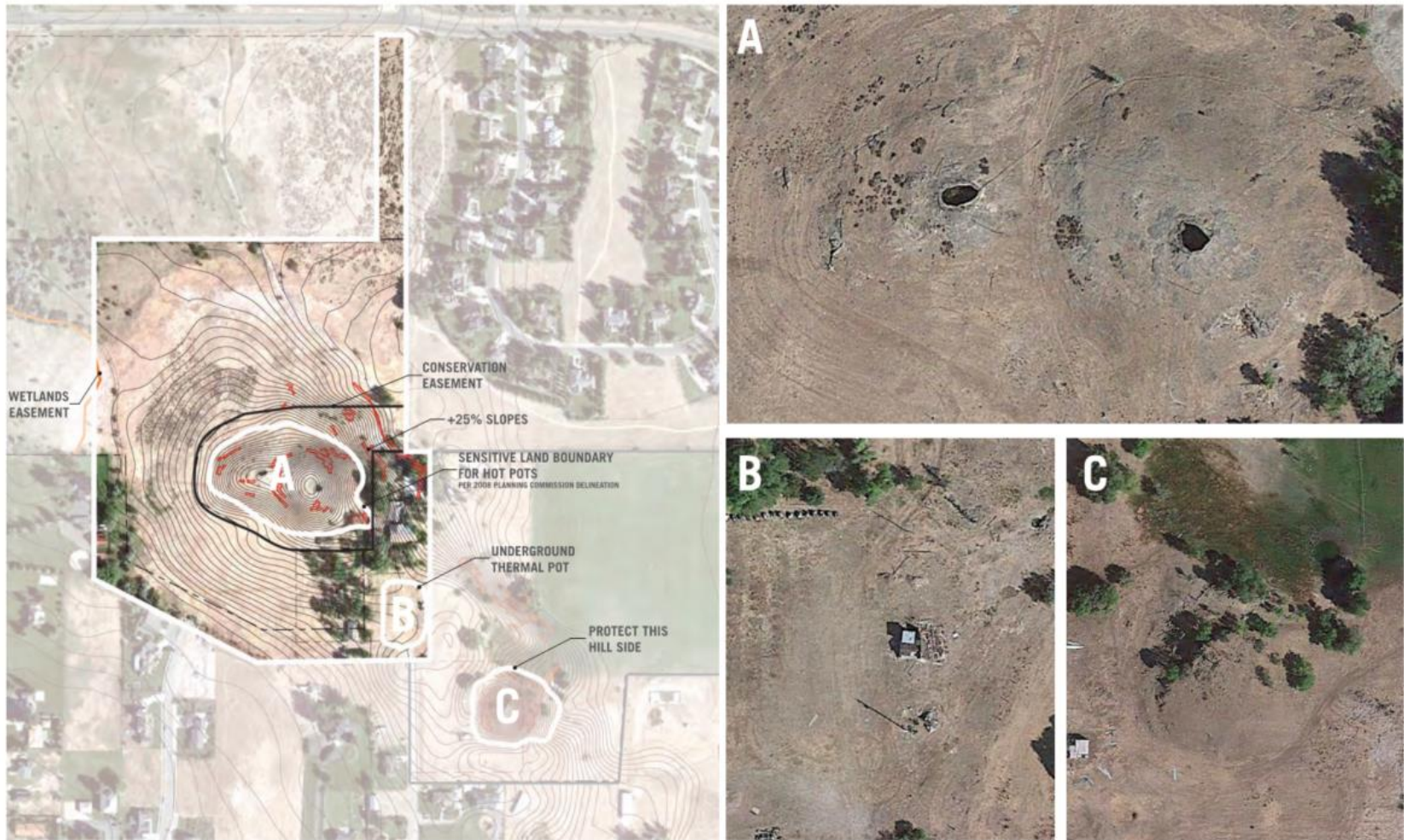
- The proposal will benefit the City financially by creating a greater tax base.
- The proposal will help the City better comply with State requirements regarding the ability to collect resort tax.
- The public trail system in the development will benefit the entire community by creating public trails across the property.
- Amenities will be created that will be accessible year-round which will invite more tourists to visit the resort in all seasons.
- The required parking must be verified.
- The exact amount of required water rights required per phase has yet to be determined.

PROPOSED CONDITIONS

1. A preliminary light mitigation plan must be submitted to the City, and agreeable to the City, that will mitigate the potential impact to the surrounding residents.
2. More detail must be submitted to determine the required parking has been met.
3. Water rights must be updated and calculated per phase.

SITE ANALYSIS I

SENSITIVE LANDS



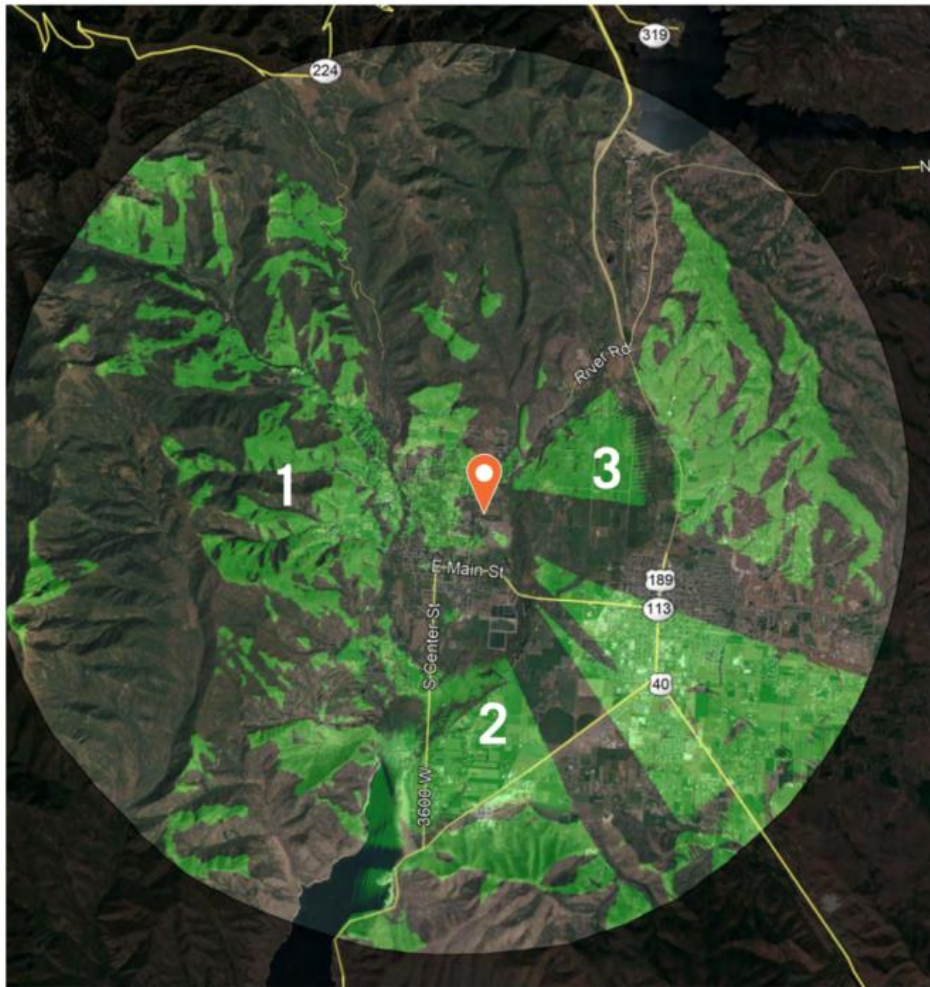
SITE ANALYSIS |

THERMAL POTS



SITE ANALYSIS I

VIEW SHED



SITE ANALYSIS I

SITE PHOTO



SITE ANALYSIS I

SITE PHOTO





VISION

VISION I

GUIDING PRINCIPLES



OF THE LAND

Simple in form, tones, texture and materials of the land.

Architecture should not distract from the views of the mountains



INTIMATE SCALE

Spaces that promote connection and community - space that works for 10 as well as 50

Encourages gathering and lingering



CELEBRATION OF SITE

Indoor/outdoor connections and flow.

Outdoor rooms



HONEST + AUTHENTIC

Regional materials and textures

Warm, inviting, and cozy



PROGRESSIVE DESIGN

Forward-looking, unexpected

Simple, clean, and open

Mountain modern contemporary

Timeless

Utilizing advanced technologies

PRECEDENT I

SWISS INSPIRATION



LOWER LEVEL IS
'HEAVIER' OF STONE.
UPPER LEVELS ARE
'LIGHTER' OF WOOD.
DISTINCT COLOR
DIFFERENCE BETWEEN
LEVELS



USE OF STACKED STONE
FOR LANDSCAPE AND
BUILDING WALLS



BUILD FOLLOWING
TOPOGRAPHY.
INTEGRATE INTO THE
LANDSCAPE



UPPER STORY
OVERHANGS FIRST
LEVEL



NATURAL MATERIALS
WITH NEUTRAL TONES /
PALETTE





CORE + SPA

CONCEPT PERSPECTIVE |
CORE BUILDING APPROACH



CONCEPT PERSPECTIVE | HOTEL LOBBY ENTRY



CONCEPT PERSPECTIVE |
SPA LOBBY ENTRY

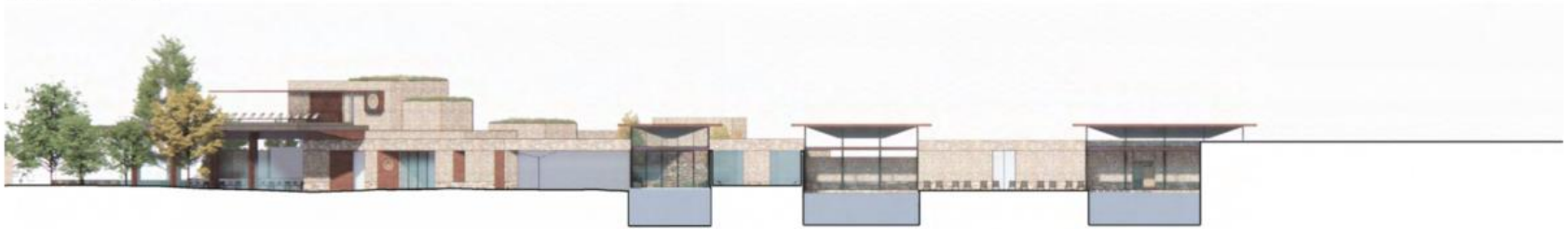


CONCEPT PERSPECTIVE I

HOT POT VIEW OVER SPA



CORE BUILDING AND SPA | ELEVATIONS



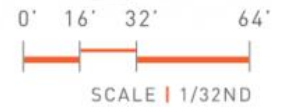
SOUTHWEST SPA ELEVATION



NORTHEAST SPA ELEVATION



SOUTHEAST SPA ELEVATION



CORE BUILDING AND SPA |

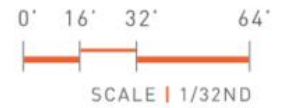
ELEVATIONS



NORTHEAST ENTRY ELEVATION



SOUTHWEST RESTAURANT ELEVATION





HOTEL ROOMS |

SITE PLAN



PROGRAM | TYPE LEGEND

80 Hotel Rooms:	41,920 GSF
24 Cottages:	42,240 GSF
1 Presidential Suite:	3,210 GSF
TOTAL:	87,370 GSF



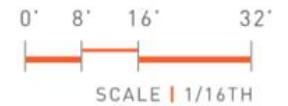
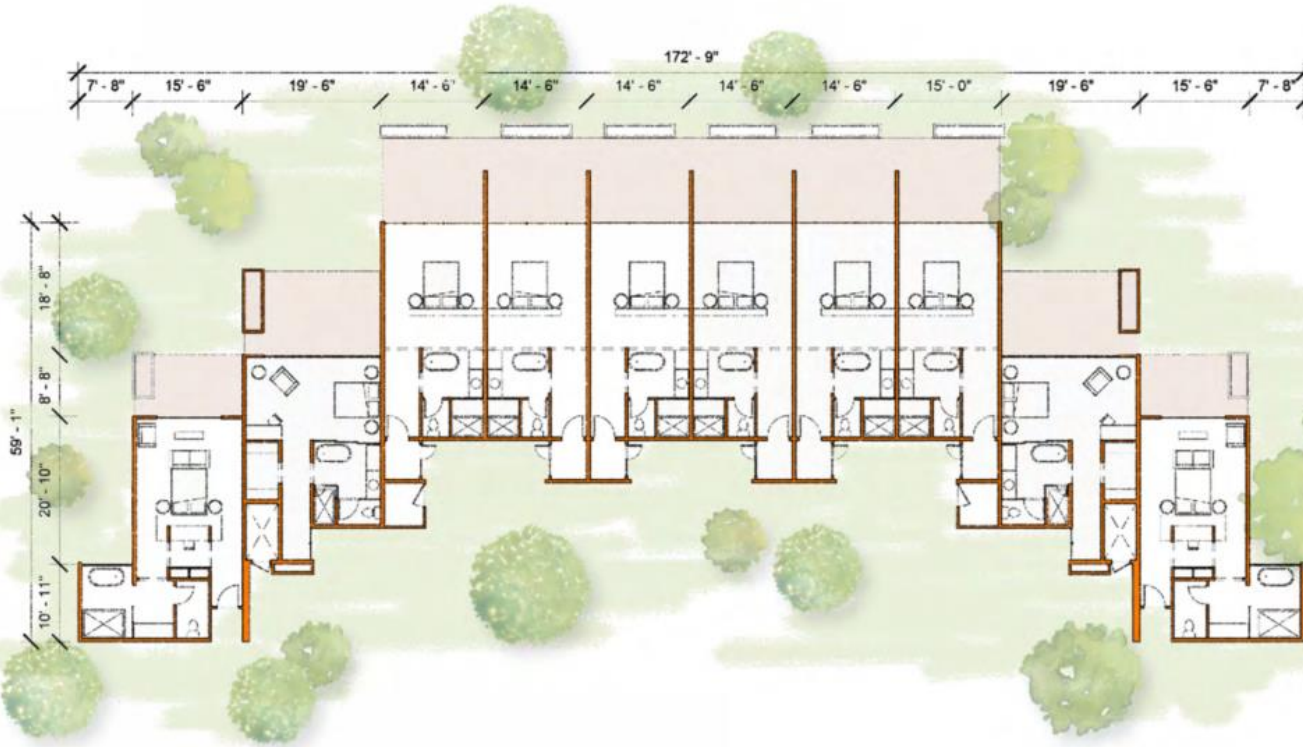
HOTEL ROOMS I

10 PACK - LEVEL 01 - FLOOR PLAN

PROGRAM | TYPE LEGEND

Standard Room:	(6)	500 GSF
Junior Suite:	(2)	540 GSF
Large Suite:	(2)	580 GSF

TOTAL: 5,240GSF
 2 Story TOTAL: 10,480 GSF



CONCEPT PERSPECTIVE I

HOTEL ROOMS



CONCEPT PERSPECTIVE |
HOTEL ROOM ENTRY



HOTEL ROOMS |

ELEVATIONS



STONE 1



WOOD 1



GREEN ROOF



CORTEN



WEST ELEVATION



EAST ELEVATION



CONCEPT PERSPECTIVE | HOTEL ROOM COURTYARD

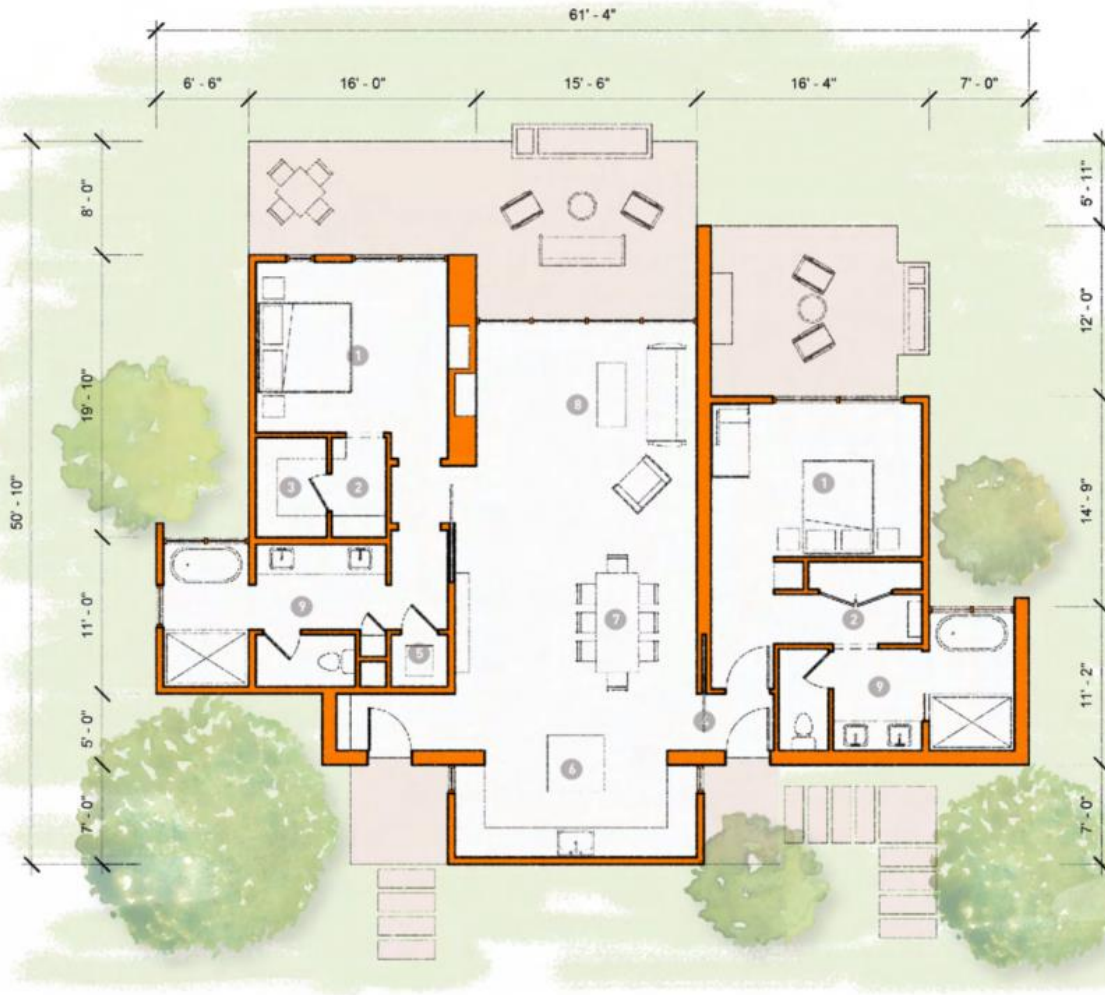


CONCEPT PERSPECTIVE |
HOT POT VIEW OVER HOTEL ROOMS



COTTAGES I

LEVEL 01 - FLOOR PLAN

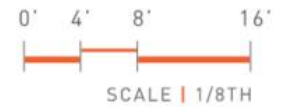


PROGRAM | ROOM LEGEND

- | | |
|-----------------|-------------|
| 1. Bedroom | 6. Kitchen |
| 2. Closet | 7. Dining |
| 3. Owner Closet | 8. Living |
| 4. Lock - Off | 9. Bathroom |
| 5. Laundry | |

PROGRAM | TYPE LEGEND

Junior Suite:	525 GSF
Large Suite:	1,235 GSF
TOTAL:	1,760 GSF



CONCEPT PERSPECTIVE |

1050 N STREET VIEW



COTTAGES | ELEVATIONS



STONE 2



WOOD 2



GREEN ROOF



CORTEN + STONE 3



NORTH ELEVATION



EAST ELEVATION



COTTAGES | ELEVATIONS



STONE 4



WOOD 2



WOOD CEILING



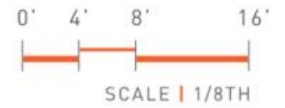
CORTEN + STONE 3



SOUTH ELEVATION



WEST ELEVATION





DUPLEXES + LODGES

DUPLEXES AND LODGES |

SITE PLAN



PROGRAM | TYPE LEGEND

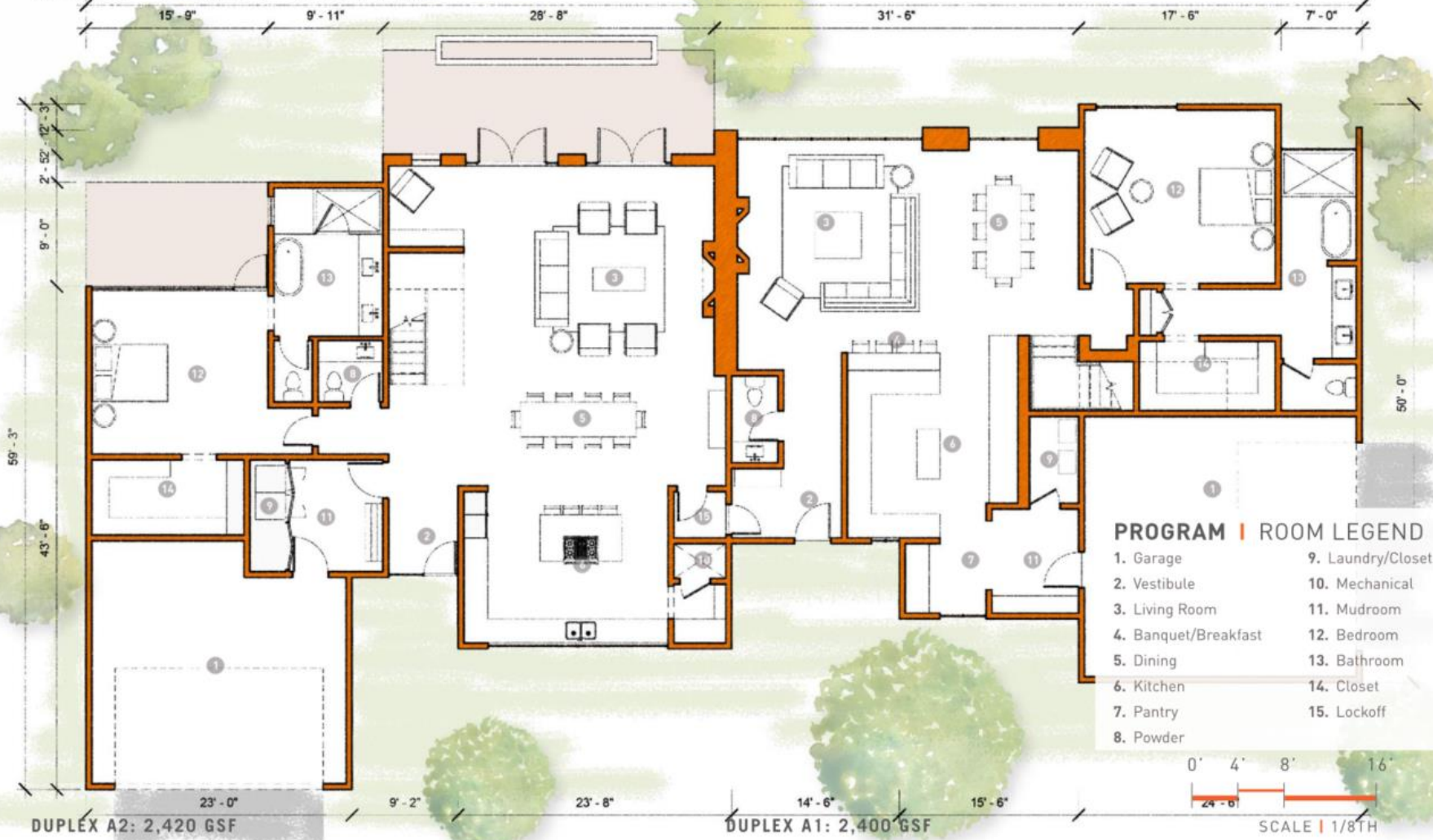
Duplexes:	86,800 GSF
Family Lodges:	12,160 GSF
TOTAL:	98,960 GSF

CONCEPT PERSPECTIVE |
DUPLEX APPROACH



DUPLEX A |

LEVEL 01 - LOCK OFF - FLOOR PLAN

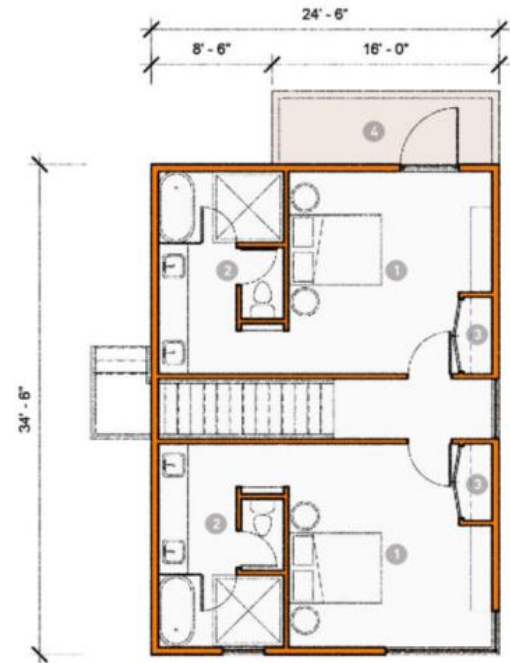


DUPLEX A |

LEVEL 02 - LOCK OFF - FLOOR PLAN



DUPLEX A2: 1,300 GSF



DUPLEX A1: 900 GSF

PROGRAM | ROOM LEGEND

- 1. Bedroom
- 2. Bathroom
- 3. Closet
- 4. Terrace



SCALE | 1/8TH

DUPLEX A | ELEVATIONS



STONE 2



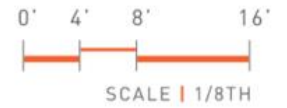
STONE 3 + CORTEN



WOOD 3



WEST ELEVATION



DUPLEX A | ELEVATIONS



WOOD 4



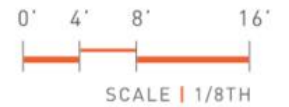
STONE 3 + CORTEN



WINDOW 1



EAST ELEVATION



CONCEPT PERSPECTIVE |
DUPLEX A



CONCEPT PERSPECTIVE |

DUPLEX A



DUPLEX B |
FLOOR PLAN LEVEL 01

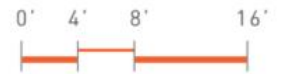


DUPLEX B2: 2,300 GSF

DUPLEX B1: 2,400 GSF

PROGRAM | ROOM LEGEND

- | | |
|----------------|-------------------|
| 1. Garage | 8. Powder |
| 2. Vestibule | 9. Laundry/Closet |
| 3. Living Room | 10. Mechanical |
| 4. Lockoff | 11. Mudroom |
| 5. Dining | 12. Storage |
| 6. Kitchen | 13. Closet |
| 7. Pantry | |



DUPLEX B I
FLOOR PLAN LEVEL 02



DUPLEX B |
ELEVATIONS



SOUTHEAST ELEVATION



DUPLEX B |
ELEVATIONS



SOUTHWEST ELEVATION



CONCEPT PERSPECTIVE |
DUPLEX B

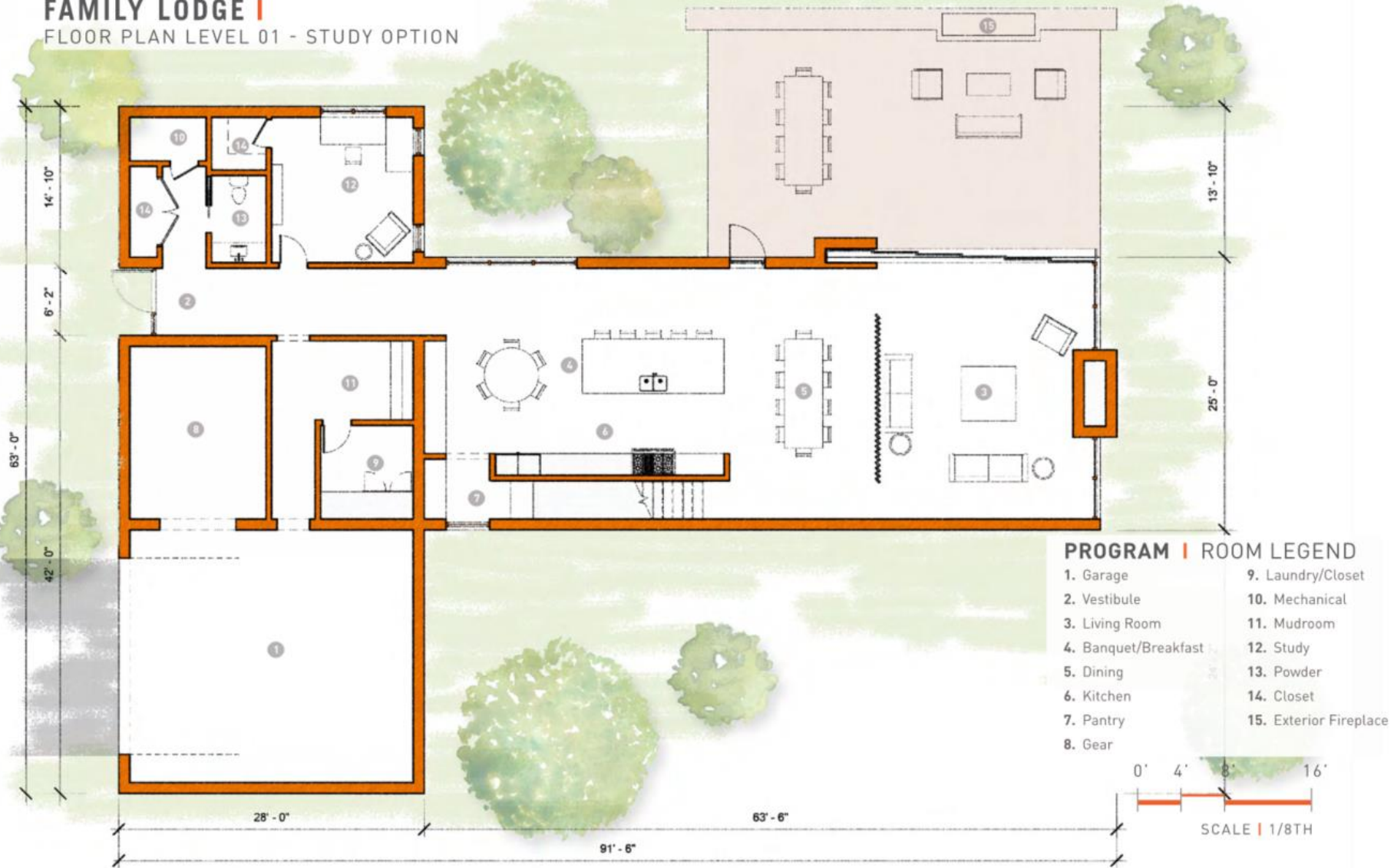


CONCEPT PERSPECTIVE |
DUPLEX B



FAMILY LODGE I

FLOOR PLAN LEVEL 01 - STUDY OPTION

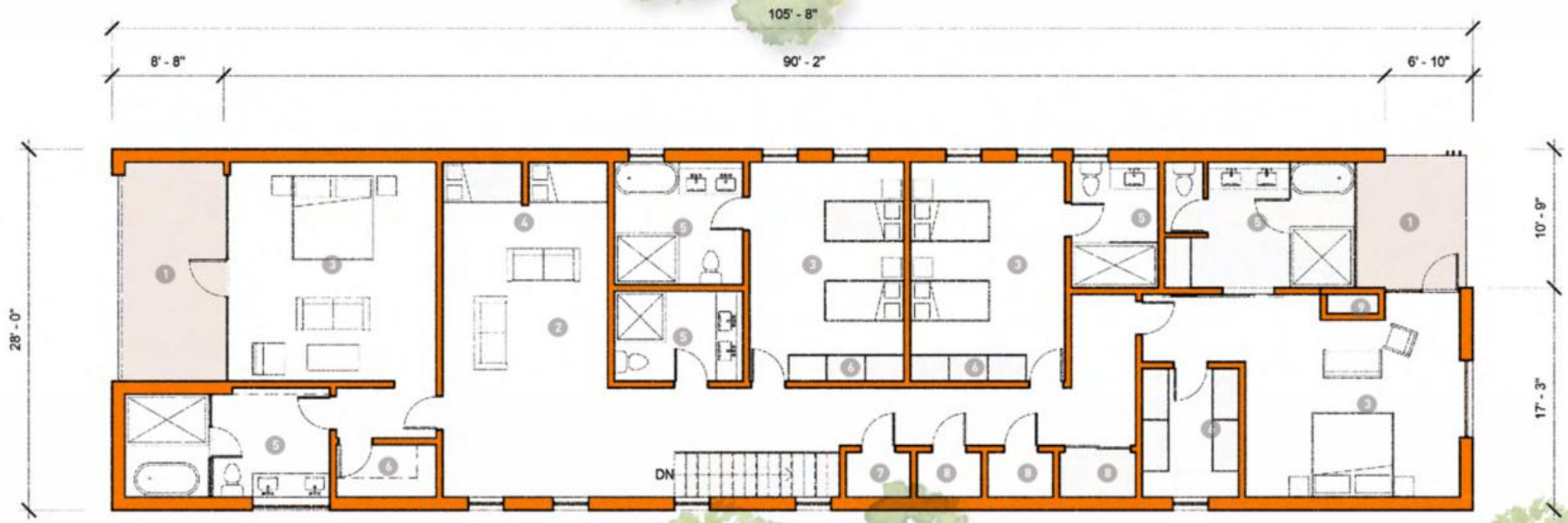


FAMILY LODGE I

FLOOR PLAN LEVEL 02

PROGRAM | ROOM LEGEND

- | | |
|-------------|-------------------|
| 1. Terrace | 6. Closet |
| 2. Fun Room | 7. Mechanical |
| 3. Bedroom | 8. Laundry/Closet |
| 4. Bunks | 9. Fireplace |
| 5. Bathroom | |



FAMILY LODGE |

ELEVATIONS



SOUTHWEST ELEVATION

FAMILY LODGE |

ELEVATIONS



SOUTHEAST ELEVATION

