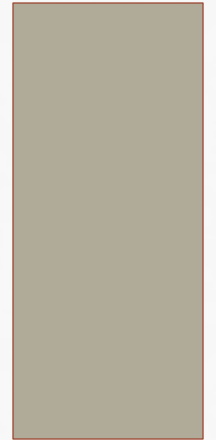


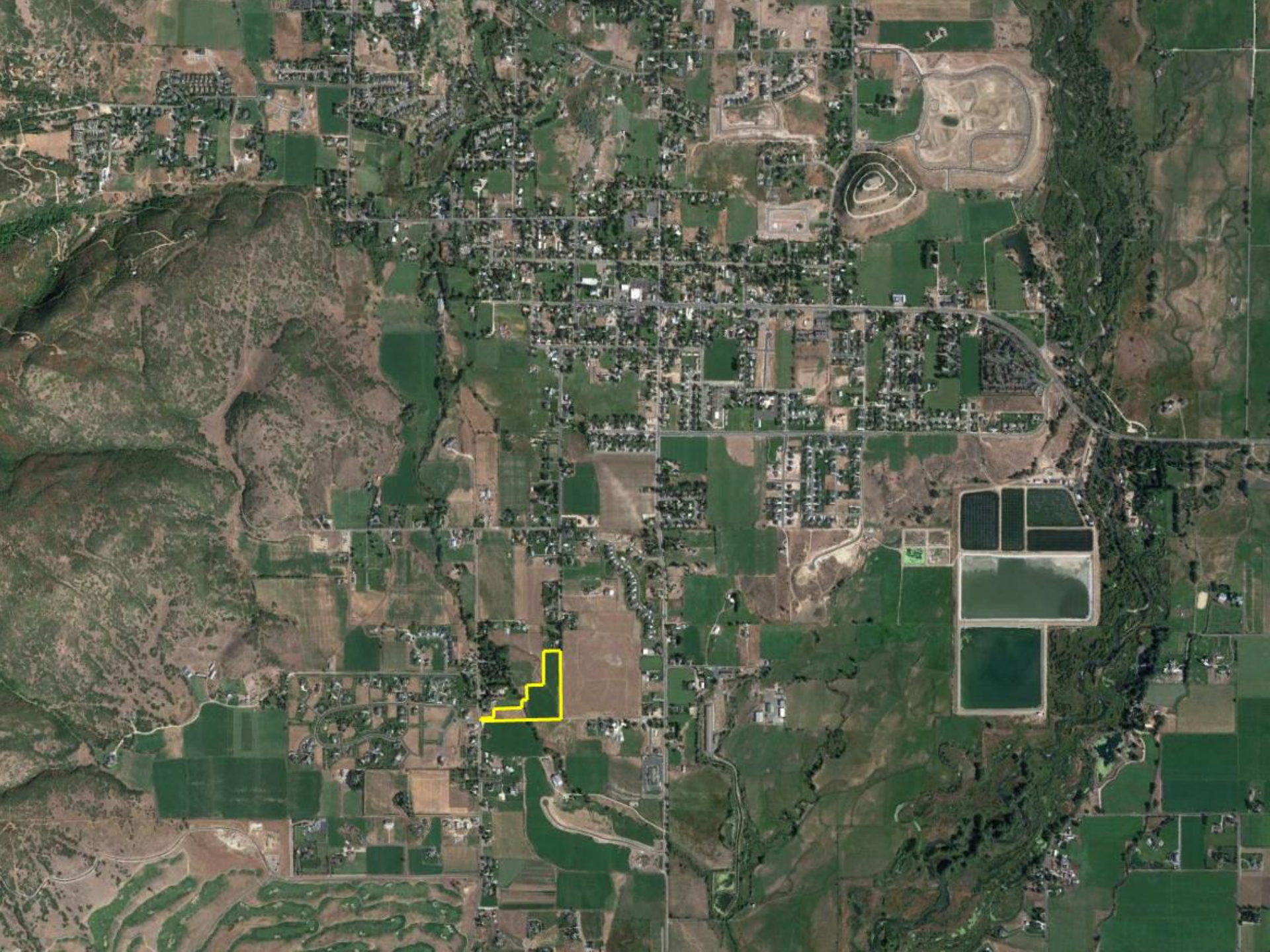
# MILL CANYON FARMS SUBDIVISION

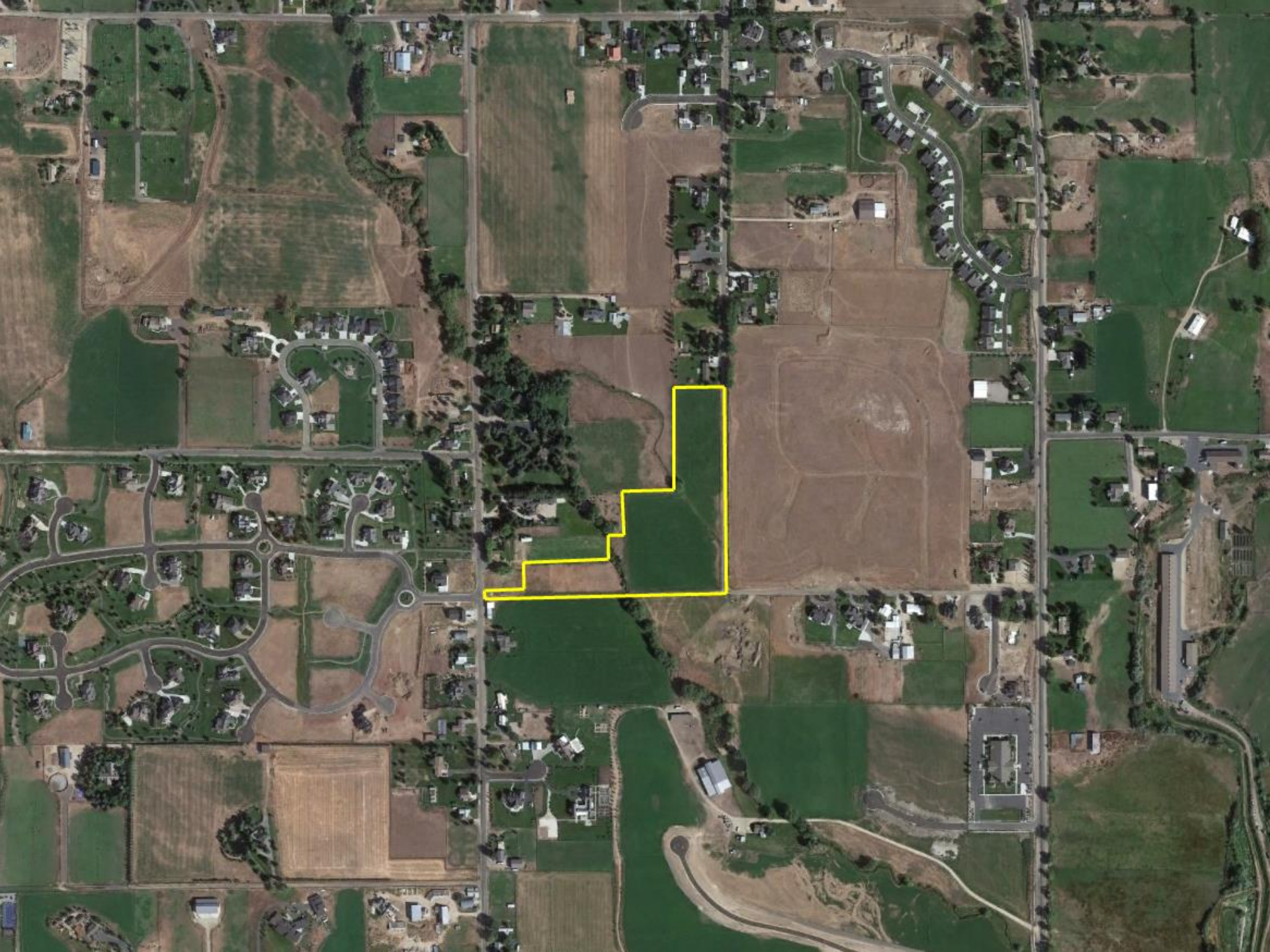
FINAL

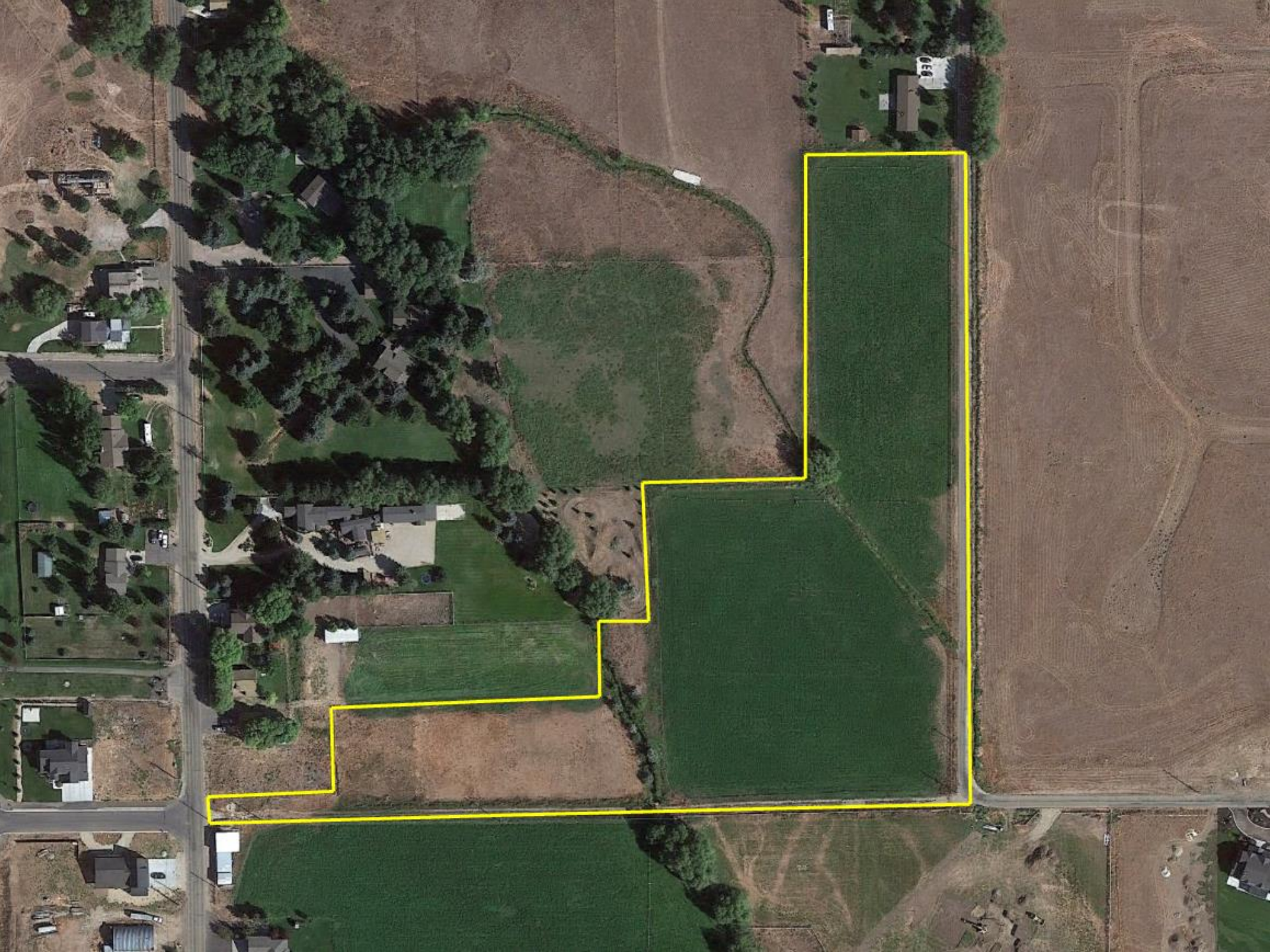


# LAND USE SUMMARY

- R-1-22 Zone
- Four Lot Standard Subdivision
- 10.16 Acres
- Frontage along Street Lane (250 West) and dedication of ROW for the extension of 970 South
- The lots will connect to the Midway Sanitation District sewer, Midway City's culinary water line, and Midway Irrigation Company's secondary water line
- There appear to be sensitive lands on the property which include the FEMA floodplain for Snake Creek







# SE CORNER, LOOKING WEST



# SE CORNER, LOOKING NW





SCALE: 1"=80'  
Scale 1" = 160' for 11x17

**SENSITIVE LANDS:**

THERE IS A 100 YEAR FEMA FLOODPLAIN ON THE PROPERTY

WETLANDS ON THE PROPERTY HAVE NOT BEEN DELINEATED. NO WETLANDS ARE SHOWN ON THE NATIONAL WETLANDS INVENTORY MAP PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.

**BLUE STAKE NOTE:**

• LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.

**POWER POLES:**

• THE EXISTING POWER POLES ALONG 250 WEST NEED TO BE RELOCATED PRIOR TO WIDENING THE ROADWAY

**LEGEND:**

- EXISTING IRRIGATION RISER
- 100 YEAR FEMA FLOODPLAIN
- EXISTING POWER POLE
- 100 YEAR FLOODWAY

THIS DOCUMENT IS RELEASED FOR REVIEW ONLY. IT IS NOT INTENDED FOR CONSTRUCTION UNLESS SIGNED AND SEALED.  
PAUL S. JONES P.E.  
SERIAL NO. 225280  
DATE: 4 OCT 2021

LAW  
MILL CANYON FARMS  
EXISTING CONDITIONS



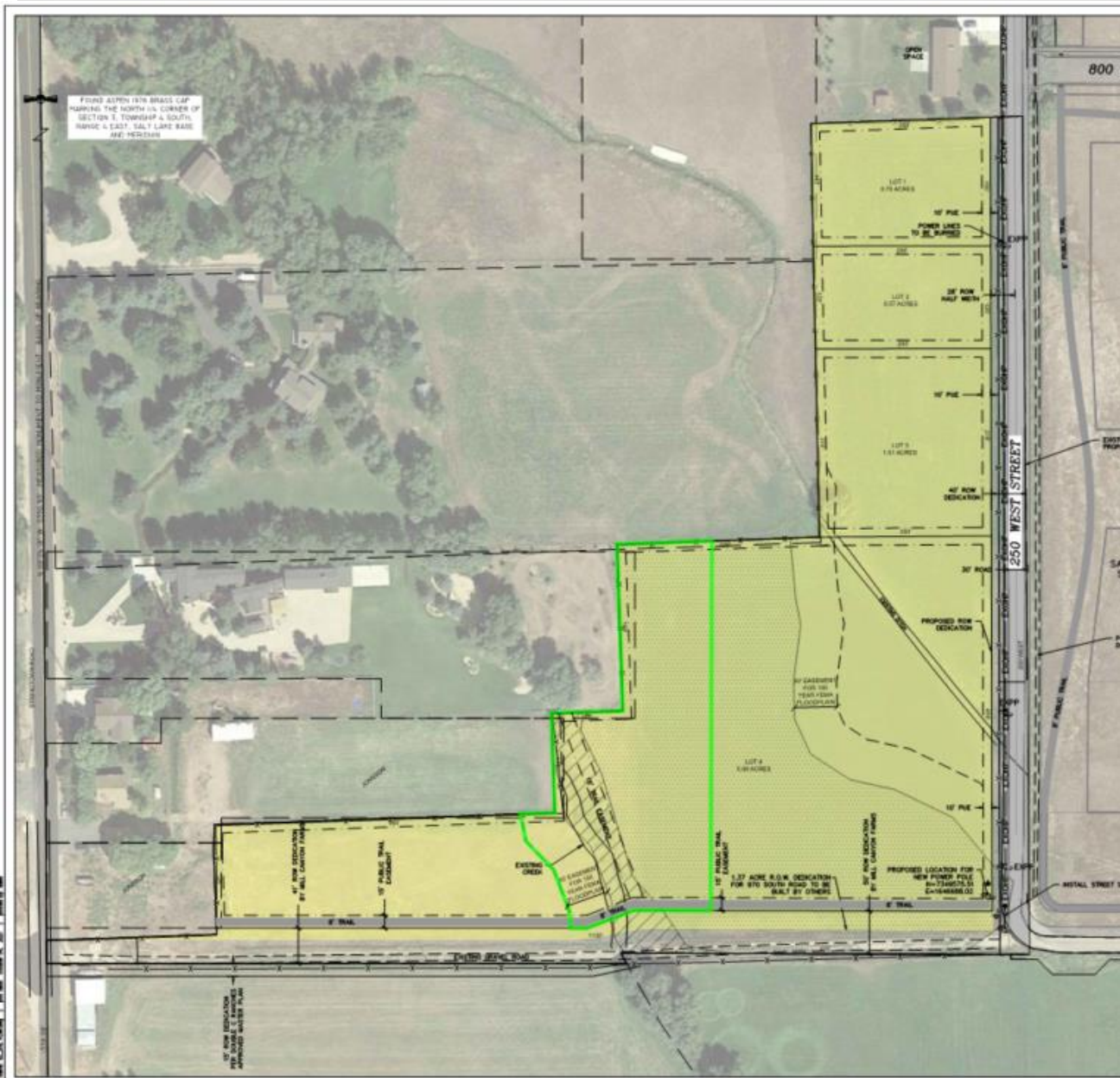
380 E Main St, Suite 204  
Midway, UT 84049  
ph 435.657.9749

DESIGN BY: PJK DATE: 4 OCT 2021 10/21  
DRAWN BY: RHM REV: 1

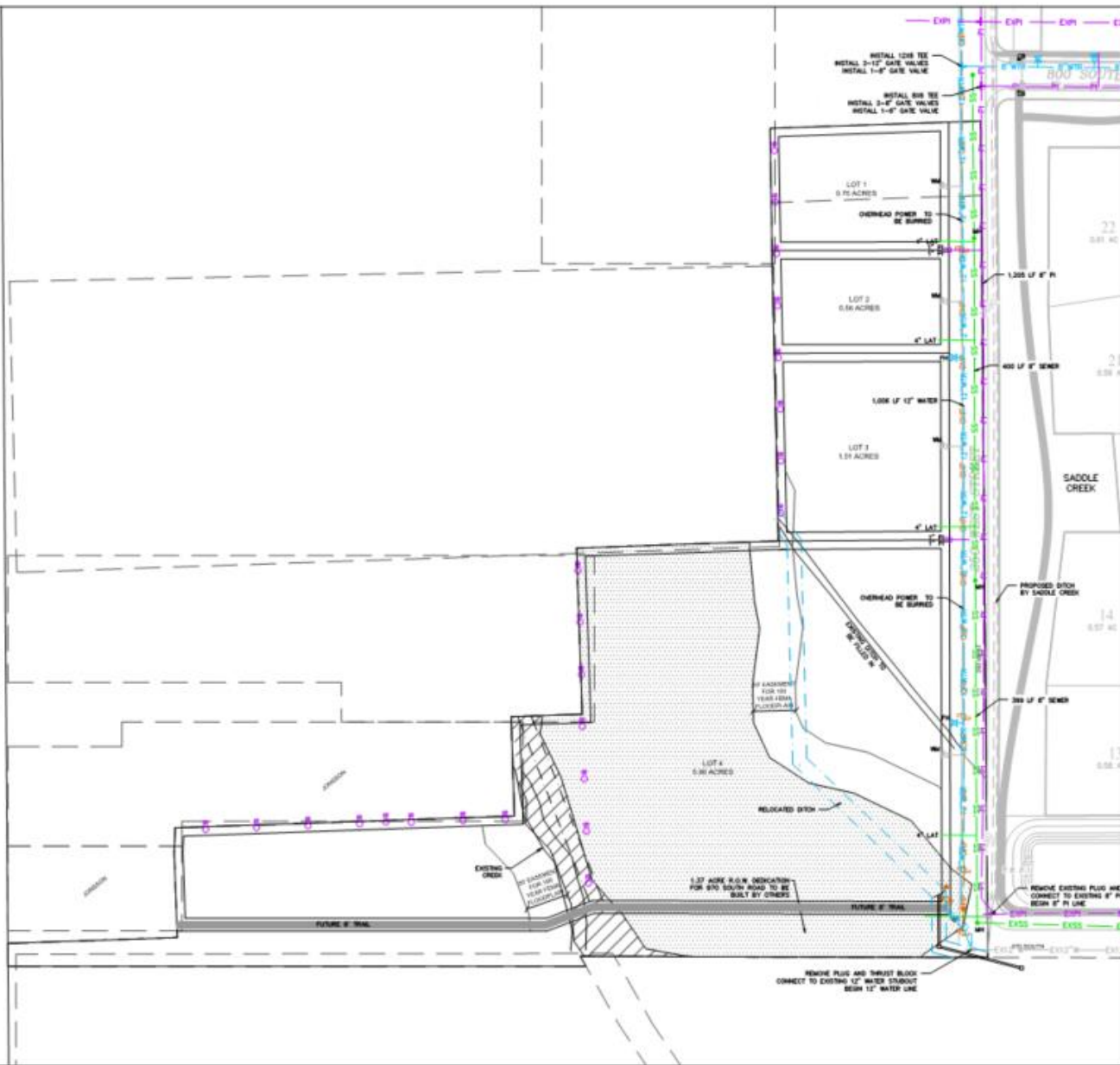


## Includes:

- 15' public trail and trail easement along future 970 S.
- 25' public trail easement along Snake Creek
- 1.52 ac. of privately owned open area in lot four
- 50' building setback from floodplain
- Ex. transmission pole to be relocated offsite
- Applicant dedicating additional ROW east of Snake Creek for future 970 S.
- Existing ditch to be realigned
- Existing distribution along 250 W. to be buried



ORIGINATOR'S FILE NO.



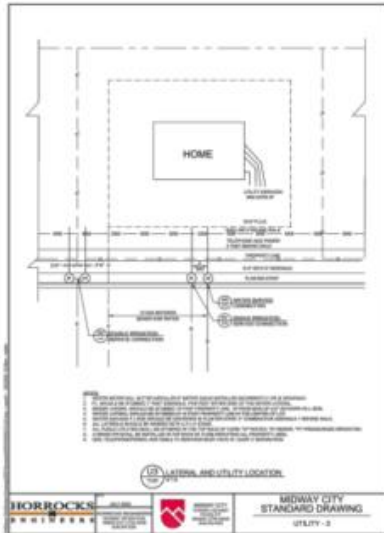
- LEGEND**
- PROPOSED SEWER
  - EXISTING SEWER
  - PROPOSED WATER
  - EXISTING WATER
  - EXISTING PRESSURIZED IRRIGATION
  - PROPOSED PRESSURIZED IRRIGATION
  - PROPOSED STORM DRAIN
  - WM WATER METER
  - FM FIRE HYDRANT
  - CB STORM DRAIN CATCH BASIN
  - # EXISTING IRRIGATION RISERS

**BLUE STAKE NOTE:**  
LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.

**SEWER NOTES:**  
ALL SEWER LATERALS ARE 4"  
ALL SEWER IMPROVEMENTS SHALL MEET MIDWAY SANITATION DISTRICT STANDARDS & SPECIFICATIONS

**PRESCRIBED IRRIGATION NOTES:**  
ALL PRESSURIZED IRRIGATION IMPROVEMENTS SHALL MEET MIDWAY IRRIGATION COMPANY STANDARDS AND SPECIFICATIONS.

**WATER NOTES:**  
ALL WATER IMPROVEMENTS SHALL MEET MIDWAY CITY STANDARDS AND SPECIFICATIONS.



THIS DOCUMENT IS RELEASED FOR REVIEW ONLY. IT IS NOT INTENDED FOR CONSTRUCTION UNLESS SIGNED AND SEALED.

PAUL S. BERG P.E.  
SIGNAL NO. 232595  
DATE: 4 OCT 2021

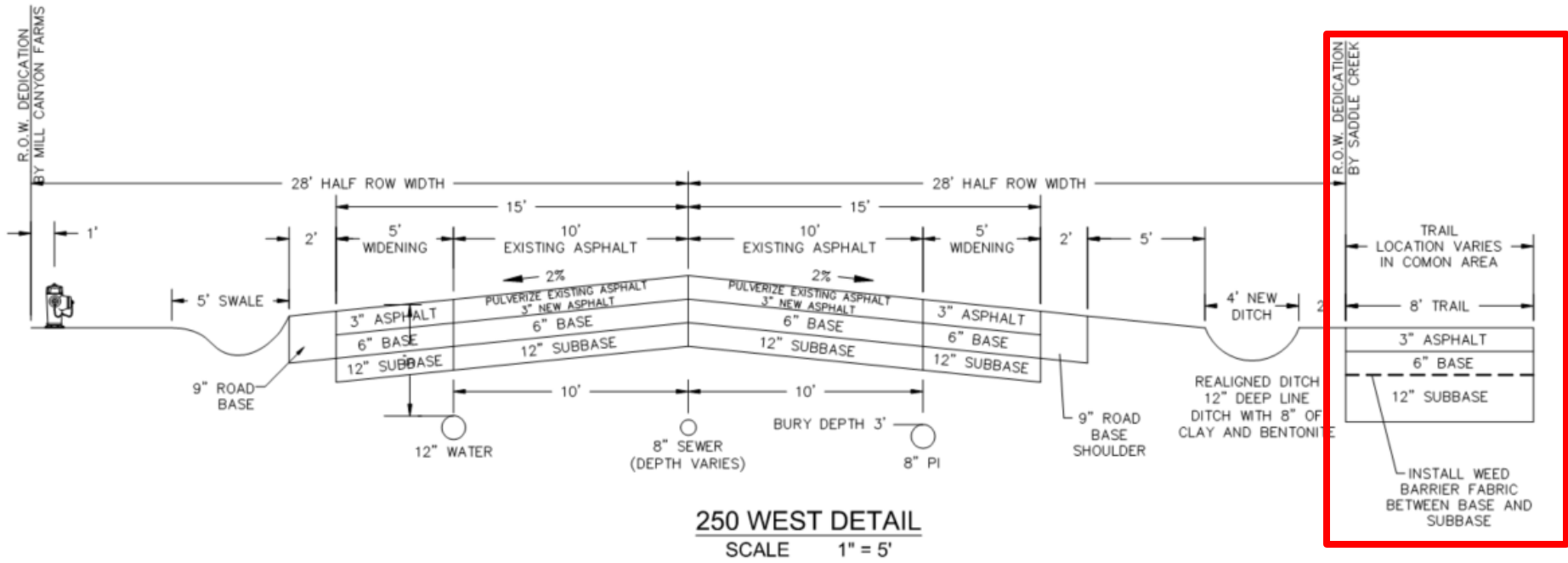


LAW  
MILL CANYON FARMS  
UTILITY PLAN

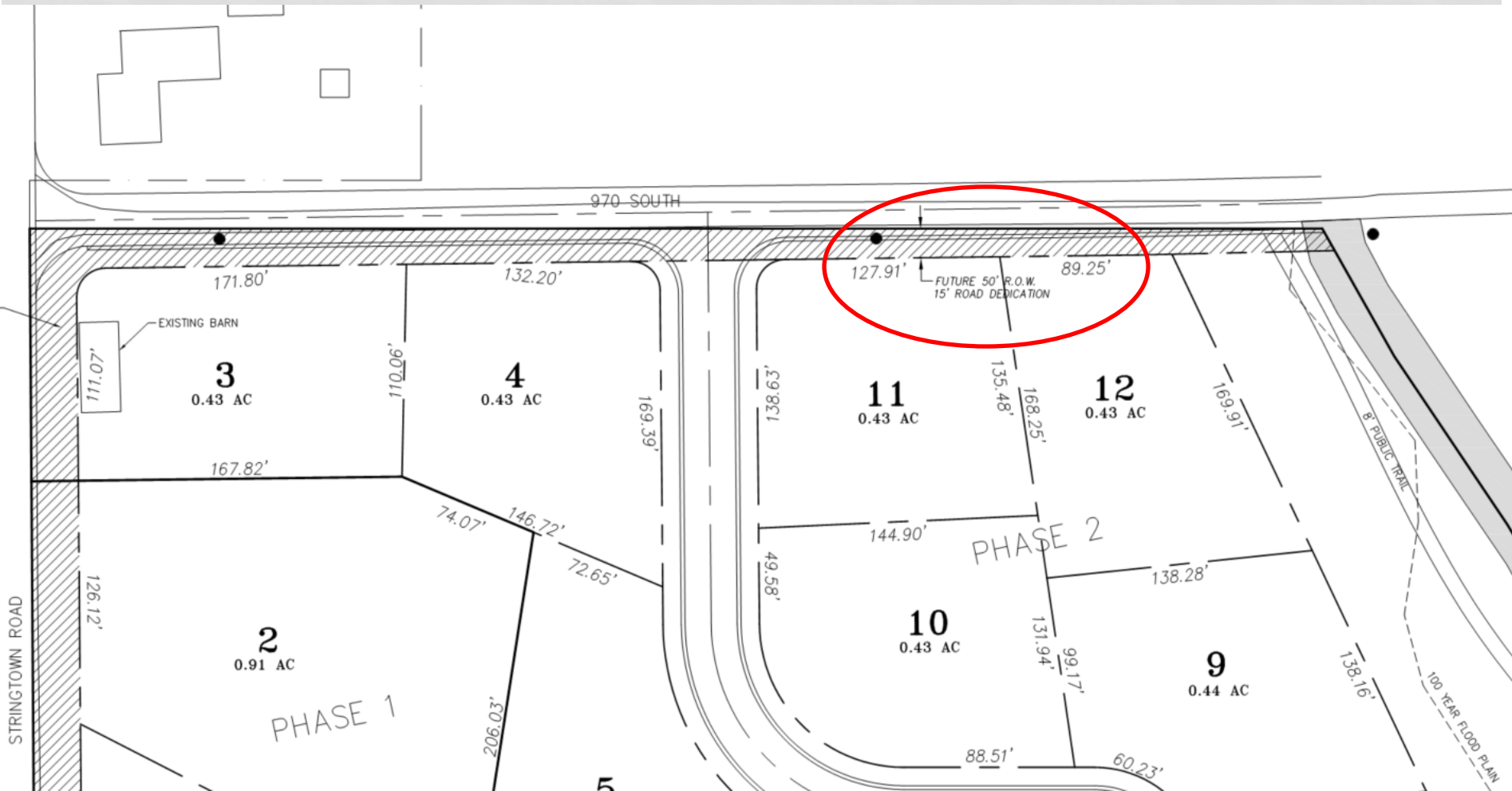


DESIGN BY: PJB DATE: 10 OCT 2021  
DRAWN BY: BAH REV: 5

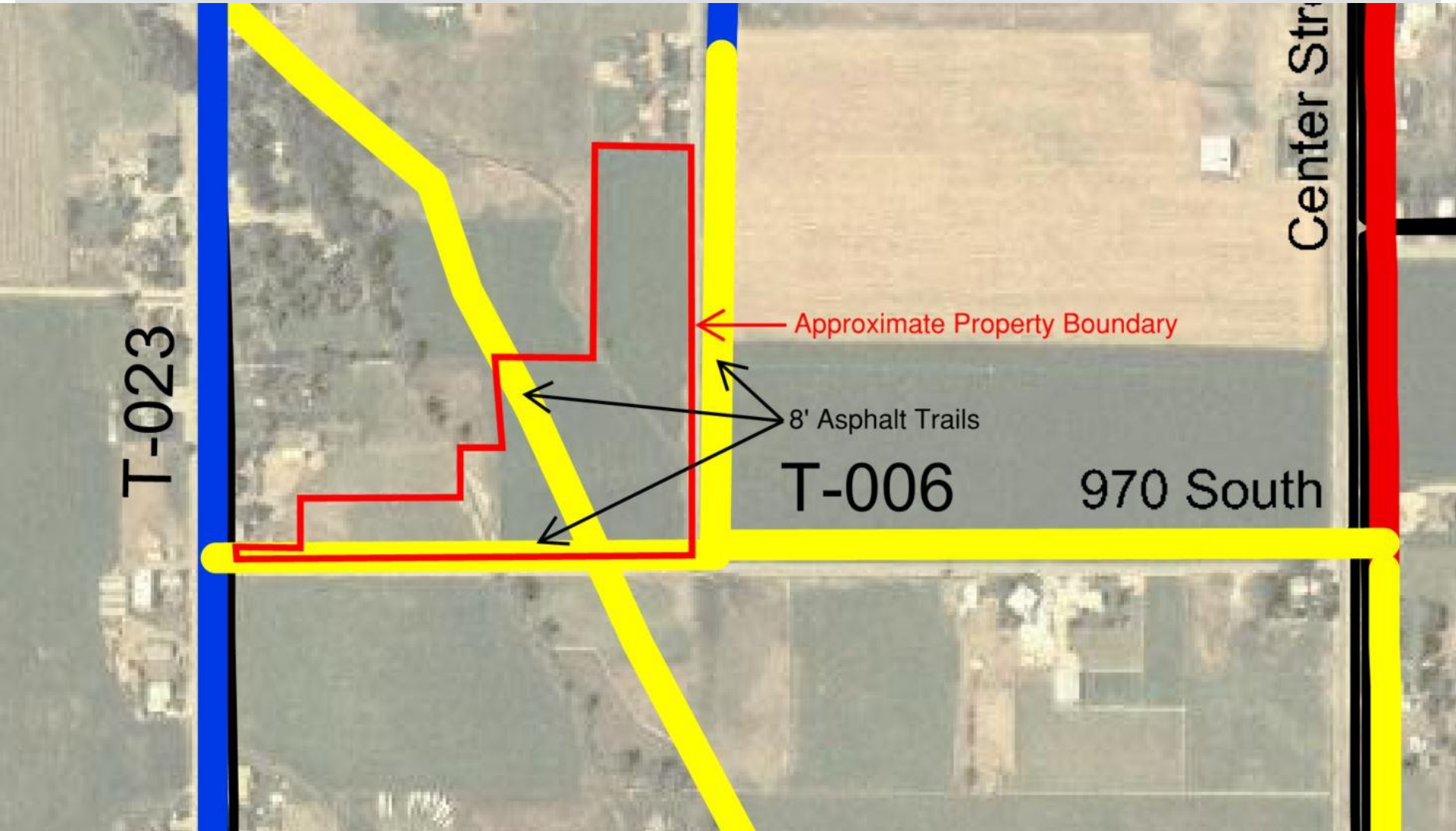
# 250 WEST TRAIL DETAIL



# DOUBLE C RANCH MASTERPLAN



# MIDWAY TRAIL MASTER PLAN



T-023

Center Str

Approximate Property Boundary

8' Asphalt Trails

T-006

970 South

# MILL CANYON FARMS

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 3, TOWNSHIP 4 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN

FOUND 1976 BRASS CAP MARKING THE NORTH 1/4 CORNER OF SECTION 3, TOWNSHIP 4 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN



VICINITY MAP

### ADDRESS TABLE

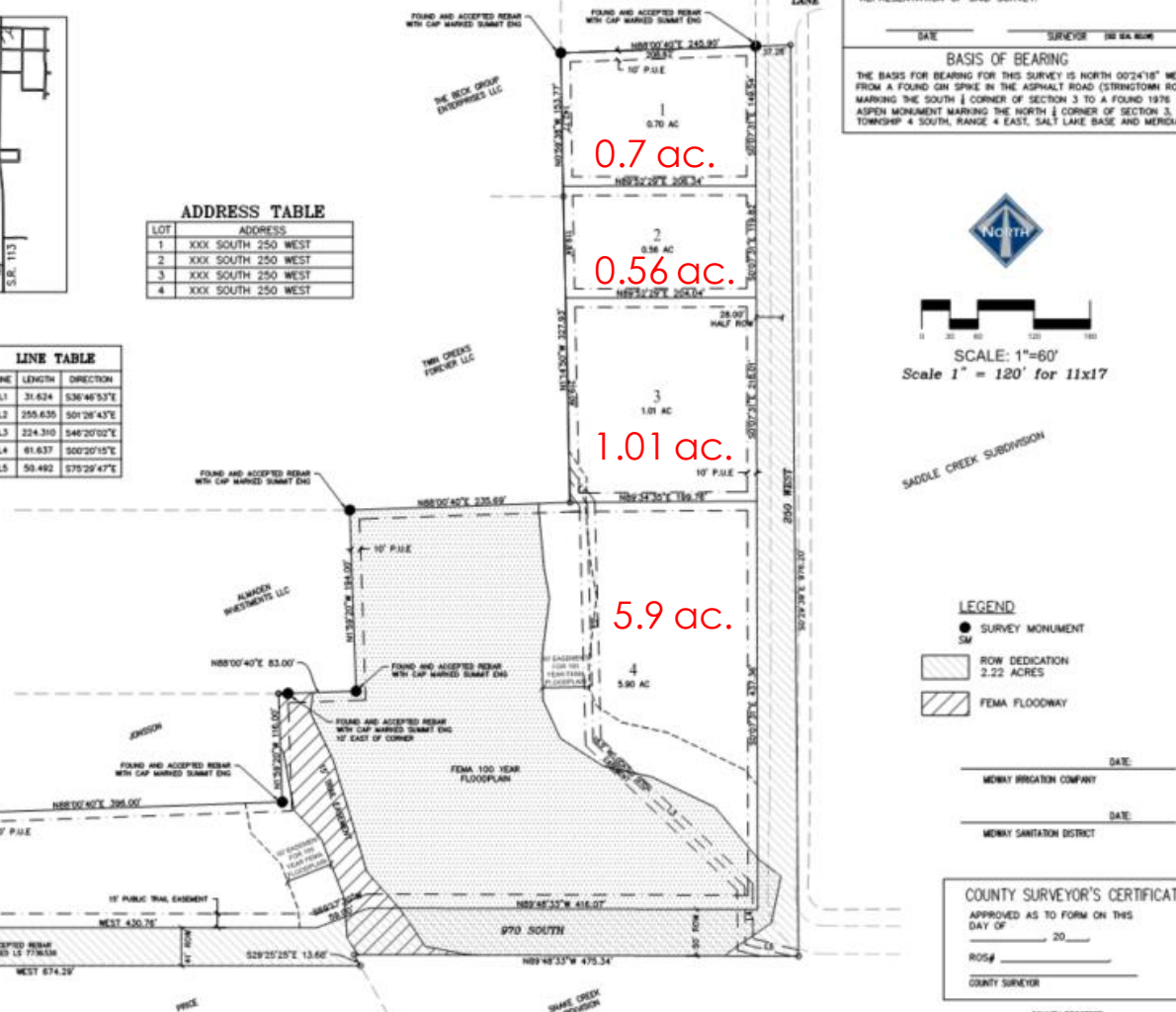
LOT	ADDRESS
1	XXX SOUTH 250 WEST
2	XXX SOUTH 250 WEST
3	XXX SOUTH 250 WEST
4	XXX SOUTH 250 WEST

### LINE TABLE

LINE	LENGTH	DIRECTION
L1	31.624	S30°46'53"E
L2	255.635	S01°28'43"E
L3	224.310	S48°20'02"E
L4	81.637	S00°20'15"E
L5	50.482	S75°29'47"E

MILL CANYON FARMS PLAT - 4, OCTOBER 2021

FOUND GN SPIKE IN ASPHALT MARKING THE SOUTH 1/4 CORNER OF SECTION 3, TOWNSHIP 4 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN



### SURVEYOR'S CERTIFICATE

I, TROY L. TAYLOR, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR AND THAT I HOLD LICENSE NO. 6854112, AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I HEREBY CERTIFY THAT DURING THE MONTH OF JUNE 2021, I HAVE MADE A SURVEY OF THE HERON DESCRIBED PARCEL AND THAT THIS PLAT IS A TRUE AND CORRECT REPRESENTATION OF SAID SURVEY.

### BASIS OF BEARING

THE BASIS FOR BEARING FOR THIS SURVEY IS NORTH 00°24'18" WEST FROM A FOUND GN SPIKE IN THE ASPHALT ROAD (STRINGTOWN ROAD) MARKING THE SOUTH 1/4 CORNER OF SECTION 3 TO A FOUND 1976 ASPEN MONUMENT MARKING THE NORTH 1/4 CORNER OF SECTION 3, TOWNSHIP 4 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN.



SCALE: 1"=60'  
Scale 1" = 120' for 11x17

### LEGEND

- SURVEY MONUMENT
- ROW DEDICATION 2.22 ACRES
- FEMA FLOODWAY

DATE: \_\_\_\_\_  
MIDWAY IRRIGATION COMPANY

DATE: \_\_\_\_\_  
MIDWAY SANITATION DISTRICT

### COUNTY SURVEYOR'S CERTIFICATE

APPROVED AS TO FORM ON THIS DAY OF \_\_\_\_\_ 20\_\_\_\_  
ROSE \_\_\_\_\_  
COUNTY SURVEYOR

COUNTY RECORDER

### BOUNDARY DESCRIPTION

BEGINNING AT A POINT IN STRINGTOWN ROAD, SAID POINT BEING NORTH 00°24'18" WEST ALONG THE SECTION LINE 1338.08 FEET FROM THE SOUTH QUARTER CORNER OF SECTION 3, TOWNSHIP 4 SOUTH, RANGE 4 EAST, SALT LAKE BASE AND MERIDIAN;

AND RUNNING THENCE NORTH 00°24'22" WEST 26.89 FEET; THENCE NORTH 88°00'40" EAST 197.79 FEET; THENCE NORTH 01°59'20" WEST 90.00 FEET; THENCE NORTH 01°57'23" EAST 28.07 FEET; THENCE NORTH 88°00'40" EAST 396.00 FEET; THENCE NORTH 01°59'20" WEST 116.00 FEET; THENCE NORTH 88°00'40" EAST 83.00 FEET; THENCE NORTH 01°59'20" WEST 194.00 FEET;

THENCE MORE OR LESS ALONG A FENCE LINE NORTH 88°00'40" EAST 235.89 FEET TO A FENCE CORNER; THENCE ALONG A FENCE THE FOLLOWING TWO COURSES: (1) NORTH 01°45'01" WEST 327.93 FEET; (2) THENCE NORTH 00°59'38" WEST 153.77 FEET; THENCE NORTH 88°00'40" EAST 245.90 FEET TO THE WESTERLY BOUNDARY LINE OF THE SADDLE CREEK RANCH SUBDIVISION; THENCE ALONG SAID BOUNDARY LINE SOUTH 00°29'39" EAST 976.20 FEET TO THE NORTHERLY BOUNDARY LINE OF THE SNAKE CREEK SUBDIVISION; THENCE ALONG SAID NORTHERLY BOUNDARY LINE NORTH 89°48'35" WEST 475.34 FEET TO THE NORTHWEST CORNER OF SAID SUBDIVISION; THENCE SOUTH 29°25'25" EAST ALONG THE WESTERLY BOUNDARY LINE OF SAID SUBDIVISION 13.68 FEET TO THE NORTHEAST CORNER OF THE REBECCA AND JAY PRICE PROPERTY (SEE RS#2318); THENCE WEST ALONG THE NORTHERLY BOUNDARY LINE OF SAID PROPERTY 674.28 FEET TO THE POINT OF BEGINNING.

CONTAINING 10.16 ACRES

### OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT, THE UNDERSIGNED OWNER(S) OF THE PROPERTY DESCRIBED HEREIN, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, PUBLIC STREETS, PUBLIC TRAILS AND EASEMENTS, AND HEREBY DEDICATE THOSE AREAS LABELED AS PUBLIC STREETS AND EASEMENTS FOR THE CONSTRUCTION AND MAINTENANCE OF PUBLIC UTILITIES AND EMERGENCY VEHICLE ACCESS.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_  
BY: JORDAN LAW

### ACKNOWLEDGMENT

STATE OF UTAH  
COUNTY OF WASATCH ) S.S.  
ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME, \_\_\_\_\_, WHO DAY ACKNOWLEDGED TO ME THAT HE/SHE DID EXECUTE THE SAME IN THE CAPACITY INDICATED.  
MY COMMISSION EXPIRES \_\_\_\_\_ NOTARY PUBLIC

### ACCEPTANCE BY MIDWAY CITY

THE CITY COUNCIL OF MIDWAY CITY, WASATCH COUNTY, STATE OF UTAH, HEREBY APPROVES THIS SUBDIVISION AND ACCEPTS THE DEDICATION OF LOTS, EASEMENTS, STREETS AND PUBLIC RIGHTS-OF-WAY HEREON SHOWN.  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

APPROVED \_\_\_\_\_ DATE: \_\_\_\_\_  
MAYOR ATTEST \_\_\_\_\_  
CITY ENGINEER (SEE SIGNATURE) CITY ATTORNEY

### PLANNING COMMISSION APPROVAL

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_, BY THE  
MIDWAY CITY PLANNING COMMISSION  
PLANNING DIRECTOR CHAIRMAN, PLANNING COMMISSION

### MILL CANYON FARMS

MIDWAY CITY, WASATCH COUNTY, STATE OF UTAH  
SCALE: 1" = 60' FEET

SURVEYOR'S SIGNATURE	MIDWAY PUBLIC SIGNATURE	CITY ENGINEER SIGNATURE	CITY ATTORNEY SIGNATURE

SURVEYOR  
TROY L. TAYLOR, PLS  
ELEMENT LAND SURVEYING  
2296 SOUTH 270 EAST  
HEBER CITY UT  
PHONE (801) 657-8748  
DATE OF SURVEY: JUNE 2021

September 14, 2021

Midway City  
Attn: Michael Henke  
75 North 100 West  
Midway, Utah 84049

**Subject: Mill Canyon Farms – Preliminary Review**

Dear Michael:

Horrocks Engineers recently reviewed the Mill Canyon Farms plans for the Preliminary Review. The following comments should be addressed.

**General Comments**

- The development is on 10.16 Acres and will consist of 4 lots.

**Water**

- The proposed development will be served from the Gerber Mahogany pressure zone and will connect to the exiting water line within 250 West.

**Pressure Irrigation**

- The subdivision will be serviced by Midway Irrigation Company.

**Roads**

- The west side of 250 west will be rebuilt and widened to a half width of 15 to match the east side done as part of Saddle Creek Subdivision.
- The development will dedicate R.O.W for a future road to extend 970 South from 250 West to Stringtown Road.

**Trails:**

- No trails are shown to be constructed within the development, the development will need to dedicate 15' R.O.W for a future trail along future 970 South and will need to dedicate 20' R.O.W for a future trail along Snake Creek.

**Storm Drain**

- The proposed swale along the west side of 250 West will accommodate any storm drainage from the widening of 250 West and this development.

**Sensitive Lands**

- The proposed lot 4 in the subdivision is within a designated FEMA flood plain. A 50' setbacks shall be maintained around all FEMA flood Zones.

Please feel free to call our office with any questions.

Sincerely,  
HORROCKS ENGINEERS

  
Wesley Johnson, P.E.  
Midway City Engineer

cc: Paul Berg Berg Engineering

# WATER BOARD RECOMMENDATION

- 10.16-acre parcel (442,570 sq. ft.)
  - Area of lots
    - 8.27 acres (360,241 sq. ft.)
  - Impervious area for lots
    - 0.73 acres (4 x 8,000 = 32,000 sq. ft.)
  - Irrigated acreage
    - 7.54 acres x 3 = 22.62 acre feet
- 4 culinary connections
  - 3.2 acre feet
- 25.82 acre feet requirement



# POSSIBLE FINDINGS

- The proposal does meet the intent of the General Plan for the R-1-22 zone
- The proposal does comply with the land use requirements of the R-1-22 zone
- 1.52 acres of open space must be created as part of the development, which will be noted on the plat and restricted from future building or development.
- The applicant will dedicate the remaining portion of the right-of-way needed for 250 West (Street Lane)
- The applicant will be dedicating a 15' public trail easement along the future 970 South. They will construct an 8' asphalt trail that connects 250 West to Stringtown Road. They will also be dedicating a 25' public trail easement along the east side of the Snake Creek channel
- The applicant will be required to install secondary water meters for each lot
- The duration of final approval shall be for one year from the date of final approval of the development by the City Council. Should a final plat not be recorded by the County Recorder within the one-year period of time, the development's approval shall be voided, and both preliminary and final approvals must be re-obtained, unless, on a showing of extenuating circumstances, the City Council extends the time limit for plat recording, with or without conditions

# PROPOSED CONDITIONS

- None

# PLANNING COMMISSION RECOMMENDATION

- **Motion:** Commissioner Simons: I make a motion that we recommend approve the final application of the Mill Canyon Farms subdivision. The proposal contains four lots on 10.16 acres. The property is located 850 South 250 West and is in the R-1-22 zone. We accept staff findings with no conditions.
- **Seconded:** Commissioner Garland
- **Chairman Nicholas:** Any discussion on the motion?
- **Chairman Nicholas:** All in favor.
- **Ayes:** Commissioners Whitney, Ream, Wardle, Garland, Simons and Cliften
- **Nays:** None
- **Motion: Passed**