

Midway City Council
7 December 2021
Regular Meeting

Daybell Garage
Mixed-Use Development /
Conditional Use Permit



CITY COUNCIL MEETING STAFF REPORT

| | |
|----------------------------|--|
| DATE OF MEETING: | December 7, 2021 |
| NAME OF PROJECT: | Daybell Garage Mixed Use Project – Restaurant and Residential Unit |
| NAME OF APPLICANT: | Wayne Gordon, agent for Bill Nibley |
| AGENDA ITEM: | Conditional Use Permit |
| LOCATION OF ITEM: | 289 South Center Street |
| ZONING DESIGNATION: | C-2 |

Wayne Gordon, agent for Bill Nibley, is requesting approval of a conditional use permit that would allow a mixed-use development on the Daybell Garage property. The proposed mixed use would consist of a restaurant and a residential unit. The property is located at 298 South Center Street and is in the C-2 zone.

BACKGROUND:

This request for a Conditional Use Permit (CUP) by Wayne Gordon, agent for Bill Nibley, is for a mixed-use project that will include a commercial restaurant on the east end of the main floor of the existing structure and a residential unit on a proposed upper floor and the west end of the main floor. The C-2 zone allows for mixed-use projects which, in turn, allows one residential unit for properties less than one-acre in size. The structure has always been commercial, but if the proposed conditional use is approved, the applicant would add a second story for the residence. The parcel on which the project is proposed is lot 2 of the Theo Carlile Daybell Family Trust Small Lot Subdivision. The parcel is zoned C-2 and is 0.22 acres in size.

For the proposed commercial use, the code requires one stall for every 200sf of gross indoor dining area that is accessible to the public. Based on our calculations they will

need to provide four parking stalls. For the proposed three-bedroom residence, the applicant will need to provide three parking stalls. In total the applicant will be required to provide a minimum of seven parking stalls.

Currently, vehicles can access the property along the entirety of the east frontage and at two points along the south frontage. These accesses are typically less safe and less predictable for vehicles and pedestrians who are using the adjacent sidewalks and roads. The proposed vehicular entrance will be on 300 South and the proposed vehicular exit will be onto Center Street, which is a UDOT facility. The applicant will need to get approval from UDOT for the modification and proposed use of the Center Street access. The proposed access will create a 24' wide one-way drive aisle through the property, which should help improve the safety by both designating how to enter and exit the property and narrowing the existing access point on Center Street.

Per the county parcel map, it appears that the original building may have been constructed as early as the 1950s. For purposes of our review, we have considered the building a grandfathered structure.

This item has been noticed in the local newspaper for two weeks and on the State's website for the Planning Commission meeting. Mailed notice will be sent out to all property owners within 600' before the public hearing by the City Council.

ANALYSIS:

The italicized text represents Planning Staff's comments pertaining to compliance or lack of compliance with the findings the City Council must make in considering this request. Section 16.26.120 requires specifically the Planning Commission to find that:

1. The proposed use is conditionally permitted within the Land Use Title, and would not impair the integrity and character of the intended purpose of the subject zoning district and complies with all the applicable provisions of this Code; *planning staff believes that the proposal will not impair the integrity and character of the C-2 zone. The proposal appears to comply with the requirements specific to mixed-use projects and restaurants as listed in the Municipal Code, including the requirement that at least 20% of the structure is commercial (proposal is 36% commercial). If approved, the applicant will need to record a deed restriction to ensure that at least 20% of the structure remains commercial.*
2. The proposed use is consistent with the General Plan; *the proposed uses appear to comply with the vision for the commercial centers as described in the General Plan. The General Plan promotes both restaurants and mixed-use developments within the commercial zones of the city.*
3. The approval of the conditional use or special exception permit for the proposed use is in compliance with the requirements of state, federal and Midway City or

other local regulations; *Previous to the issuance of a building permit, the applicant will be required to obtain written approval from the Midway City Engineer. Among other things, they will need to address the sewer, culinary and irrigation connections. They will also need to address storm water detention and snow storage, etc. They have received a conditional recommendation of approval from the Vision Architectural Committee but must obtain a full recommendation before consideration by the City Council.*

The restaurant will need to apply for a business license from the city, along with any other licensing or permitting required by local, state or federal requirements. The business license will be issued once the conditional use is approved and conditions of the permit are met. The applicant will need to comply with all health department requirements and will need written approval from UDOT for the egress access shown on their plan.

4. There will be no potential, significant negative effects upon the environmental quality and natural resources that could not be properly mitigated and monitored; *The applicant will be working with the city engineer to ensure the storm water is appropriately captured. No other concerns have been identified.*
5. The design, location, size, and operating characteristics of the proposed use are compatible with the existing and future land uses with the general area in which the proposed use is to be located and will not create significant noise, traffic, or other conditions or situations that may be objectionable or detrimental to other permitted uses in the vicinity or adverse to the public interest, health, safety, convenience, or welfare to the City; *the proposed mixed-use project is located in an existing commercial building that has a second floor added for the residential unit. The building is adjacent to both residential and commercial uses. Care should be taken by the applicant to ensure that the uses do not create unreasonable impacts upon the neighboring uses. Following are some items to consider:*

Noise – *Midway City has a noise ordinance that the proposed uses will need to comply with. That ordinance requires noise at the property line to stay below 70 dBA between 6 AM and 10 PM. Between 10 PM and 6 AM, the noise at the property line should not exceed 55 dBA. The proposed restaurant entrances are oriented towards Center Street, while the residential entrance is located along rear/west side of the building. All dining will be located within the structure.*

Clearview - *The applicant will need to ensure that anything (signage, trees, landscaping) placed within the 45' clear view area along the intersection of 300 South and Center Street is appropriately sized and does not create a safety hazard.*

Solid Waste – *The applicant is proposing the use of trash canisters that would*

be located along the north side of the building behind a fence. Care should be taken to ensure that the trash containers are kept within the fenced area. The property adjacent to where they would be located is zoned commercial and is mostly vacant. The owner will be required to pull the containers to the designated public street for trash pickup.

Landscaping – *The applicant is proposing to landscape all areas that are not covered by the building or exterior hardscape. Landscaping can have a significant impact in not only creating a separation between uses, but it can create both a visual and physical buffer between the parking and the public right-of-way. Minor grade changes from berms or small retaining walls can help create a nice buffer and streetscape in instances where parking and paved surfaces are directly adjacent to public rights-of-way. Care should be taken to ensure that the landscaping enhances the property and streetscape.*

The applicants plans also depict areas where snow can be stored so that it is not displaced into the city right-of way.

Setbacks – *All structure setbacks will remain the same except for the setback to the west property line. The applicant is proposing a balcony for the residential unit. The C-2 Zone requires a 10' residential setback when part of a mixed-use development, which it appears to meet.*

Parking/Vehicular Circulation/Drive-thru Window – *Because the applicant is designing around an existing building on a relatively small parcel, a major obstacle encountered has been accommodating the various uses along with the vehicular parking and circulation requirements. The applicant would like to use a drive-thru window, but there currently is not adequate space to accommodate it along with the required parking and vehicular pass-through lane. The applicant is working with a neighboring property owner to see if they are able to lease property to help satisfy their required off-street parking. With city council approval, a business can relocate some required parking on a neighboring property. Because those arrangements are not in place, the applicant is proposing a phased approach to realizing the drive-thru window. The current proposal would use the drive aisle as a pass-through for vehicles and parallel parking. If the applicant can negotiate a lease allowing them to relocate some of their required parking to a neighboring property, and that arrangement is approved by the city council, they would then install the drive-thru window and move the pass-through lane to the south where the two parallel parking spots are. Staff is supportive of them installing a normal window in the spot where a future drive-thru window would be located, but we would recommend that no drive-thru window is installed until an off-site parking agreement is in place and the two parallel parking stalls are relocated.*

Currently, the site plan shows two stalls in the garage and five off-street parking stalls, which satisfies their obligation to provide seven off-street parking stalls.

The applicant may need to install some signage reminding drivers who enter and exit the site so that they exercise additional caution with regard to pedestrians accessing Center Street.

6. The subject site is physically suitable for the type and density/intensity of the proposed use; *The parcel is part of an approved subdivision plat and is in the C-2 zone. While the site is tight in relation to the proposed uses, it appears that the applicant can fit the required improvements.*
7. There are adequate provisions for public access, including internal and surrounding traffic flow, water, sanitation, and public utilities, and services to ensure that the proposed use would not be detrimental to public health and safety; *the applicant is working with city staff, the city engineer, UDOT and utility providers to ensure that adequate measures are taken to ensure that public health and safety guidelines are met.*

WATER BOARD RECOMMENDATION:

- 1.5 acre feet when lot was platted as lot 2 of the Theo Carlile Daybell Family Trust Small Lot Subdivision
 - Covers the water requirement for the restaurant and outside irrigation
- 0.8 acre feet required for the new residential unit
- Recommended water dedication: 0.8 acre feet

POSSIBLE FINDINGS:

- The proposed use is a conditional use in the C-2 zone.
- The proposal is consistent with the vision of the General Plan for Main Street.
- A drive-thru window will not be installed and used unless the required off-street parking is moved onto an adjacent parcel, which is subject to the approval of the city council.

PLANNING COMMISSION RECOMMENDATION:

Motion: Commissioner Ream: I make a motion that we recommend approval of a conditional use permit that would allow a mixed-use development on the Daybell Garage property. The proposed mixed use would consist of a restaurant and a residential unit. The property is located at 298 South Center Street and is in the C-2 zone. We accept staff findings and the conditions that are in the staff report.

Seconded: Commissioner Whitney

Chairman Nicholas: Any discussion on the motion? There was more discussion, the motion did not change.

Chairman Nicholas: All in favor.

Ayes: Commissioners: Whitney, Ream, Wardle and Cliften

Nays: Garland, Simons

Motion: Passed

ALTERNATIVE ACTIONS:

1. Approval (conditional). This action can be taken if the City Council feels that conditions placed on the approval can resolve any outstanding issues.
 - a. Accept staff report
 - b. List accepted findings
 - c. Place condition(s)

2. Continuance. This action can be taken if the City Council feels that there are unresolved issues.
 - a. Accept staff report
 - b. List accepted findings
 - c. Reasons for continuance
 - i. Unresolved issues that must be addressed
 - d. Date when the item will be heard again

3. Denial. This action can be taken if the City Council feels that the request does not meet the intent of the ordinance.
 - a. Accept staff report
 - b. List accepted findings
 - c. Reasons for denial

RECOMMENDED CONDITIONS:

1. Must have approval from UDOT for existing access before proceeding to the City Council.
2. Must obtain an updated will-serve letter from Midway Irrigation Company before building permit approval.
3. No building permit may be issued unless final written approval has been provided by the City Engineer.
4. Must obtain a final recommendation of approval from the Vision Architectural Committee before consideration by the City Council.

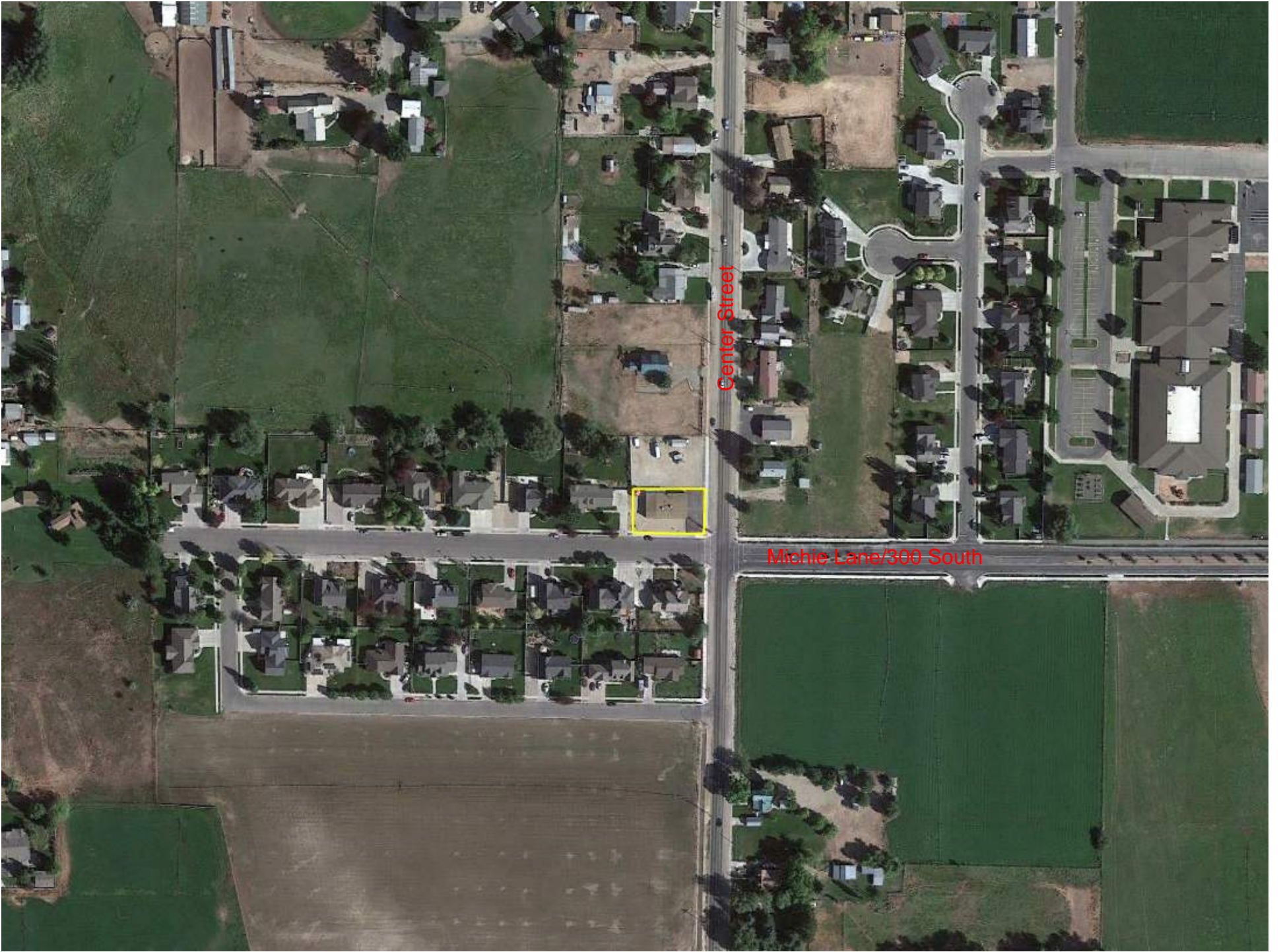


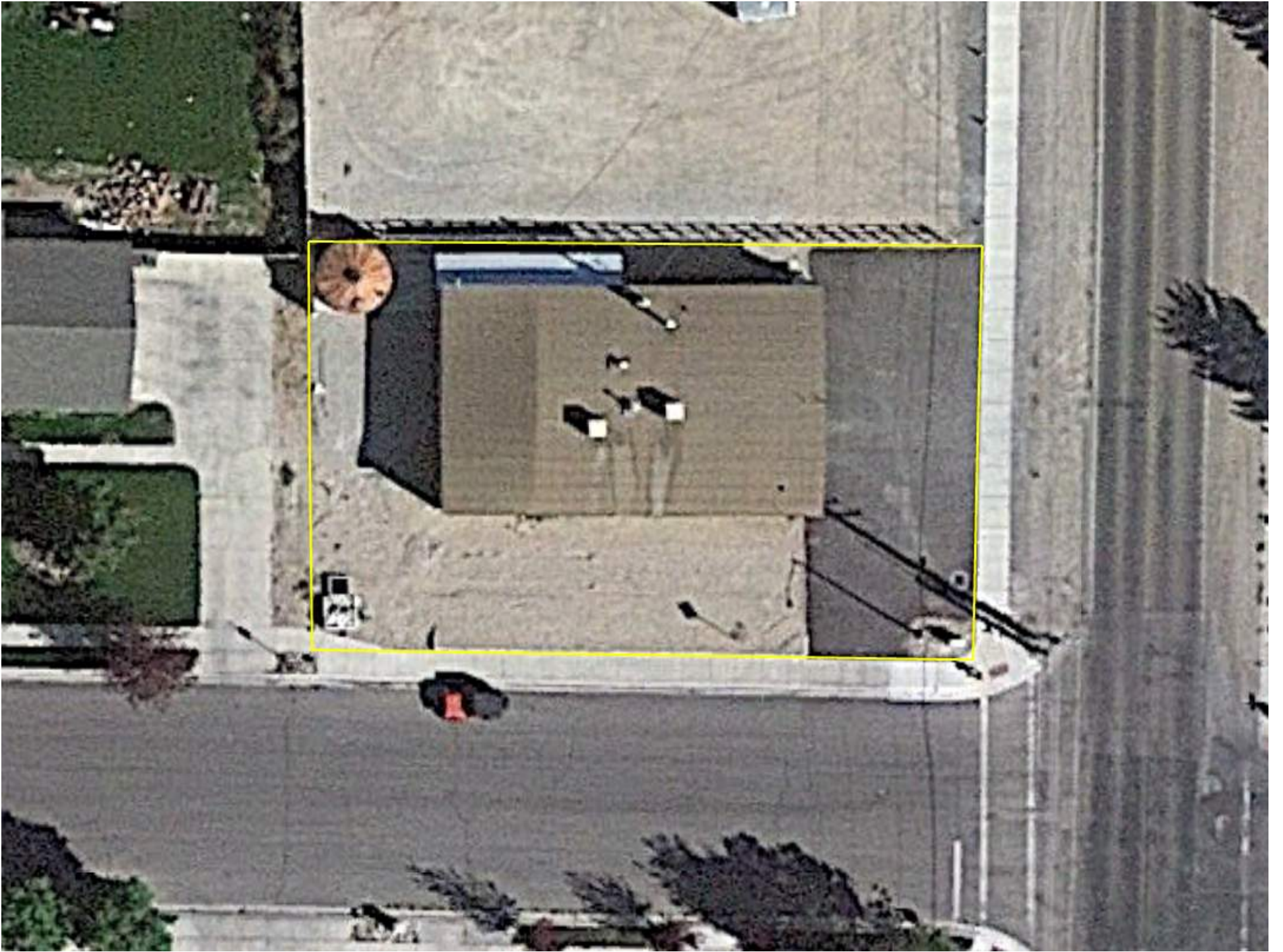
Main Street

Center Street

Michie Lane/300 South







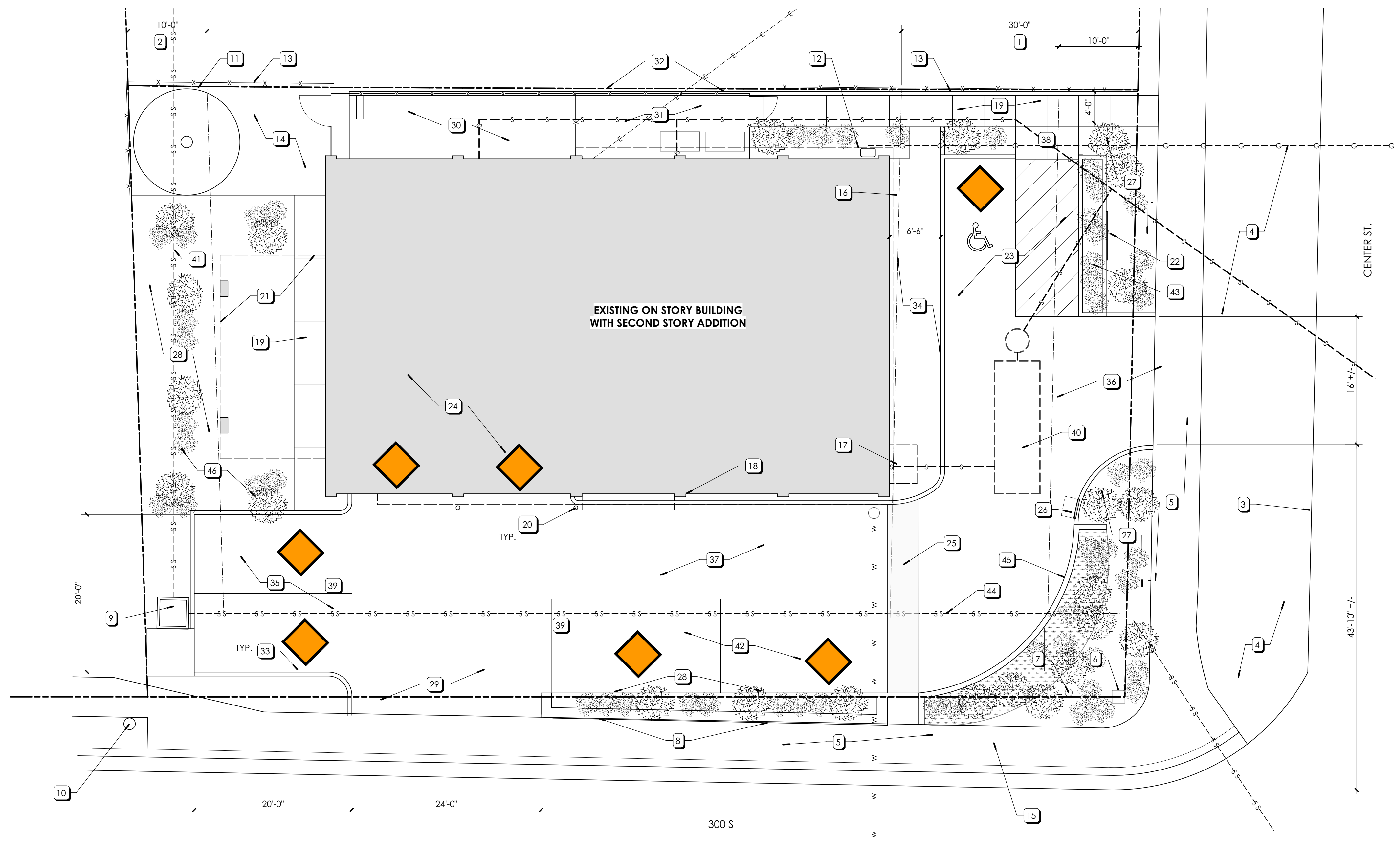








◆ Proposed Parking (Seven Total)



SITE PLAN KEYED NOTES

1. FRONT SETBACK- 8' MIN./30' MAX.
2. 10' COMMERCIAL SETBACK FROM (E) RESIDENTIAL USE
3. (E) EDGE OF ASPHALT PAVEMENT
4. (E) GRAVEL PARK STRIP
5. (E) SIDEWALK
6. (E) COMMUNICATION BOX
7. (E) LIGHT POLE
8. (E) RETAINING WALL
9. (E) ABOVE GRADE CATCH BASIN PER GRADING PLAN
10. (E) FIRE HYDRANT
11. (E) SILO TO REMAIN
12. (E) GAS METER
13. (E) POST & RAIL FENCE TO REMAIN
14. (E) CONC. PAVING
15. DECOMMISSION (E) DRIVEWAY ACCESS
16. (E) BUILDING ENTRY
17. NEW BUILDING ENTRY WITH CANOPY
18. PROPOSED DRIVE-THROUGH WINDOW WITH CANOPY (FUTURE PHASE- NIC)
19. CONC. WALK
20. BOLLARD
21. BALCONY ABOVE
22. MONUMENT SIGN (32 SF MAX. SIZE). DESIGN AND FINAL LOCATION TBD; SIGN TO BE LOCATED ON LOT AND NOT IN PUBLIC WAY
23. 9' X 20' ACCESSIBLE PARKING SPACE W/ SIGNAGE AND 8'-0" WIDE AISLE
24. NOM. 9' X 20' RESIDENCE PARKING; (2) STALLS IN GARAGE
25. PAINTED PEDESTRIAN AISLE
26. CURB INLET & CATCH BASIN PER APWA DETAIL #35 TO REPLACE (E) CATCHBASIN; TIE INTO (E) UNDERGROUND CULVERT
27. LANDSCAPING, TO REPLACE (E) ASPHALT PARKING
28. LANDSCAPING
29. 24' DRIVEWAY ACCESS FOR 2 WAY DRIVE-THROUGH/PARKING
30. FENCED PATIO AREA @ APARTMENT
31. WASTE/RECYCLING CONTAINER AREA WITH CONC. PAVING
32. SOLID FENCING W/ GATE @ WASTE/RECYCLING CONTAINER AREA
33. APWA TYPE D CURB & GUTTER
34. CONCRETE WALK TO BUILDING ENTRY/EXITS (WIDTH TO ACCOMMODATE CLEARANCES AT OUTSWINGING DOORS)
35. NOM. 10' X 20' PARKING; (2) STALLS
36. DRIVEWAY ACCESS TO CENTER STREET (EGRESS ONLY)
37. 12' WIDE AISLE
38. CONCRETE WALK FOR ACCESSIBLE PATH OF TRAVEL TO BUILDING ENTRY
39. PAINTED STRIPING
40. GREASE INTERCEPTOR & SAMPLING MANHOLE (APPROXIMATE LOCATION; FINAL LOCATION TBD)
41. (E) UNDERGOUND IRRIGATION CULVERT/STORM SEWER
42. NOM. 9' X 20' PARKING; (2) PARALLEL STALLS
43. NOM. 30" RAISED PLANTER
44. (E) UNDERGROUND IRRIGATION CULVERT/STORM SEWER
45. NOM. 30" CONCRETE RETAINING WALL WITH BERMED LANDSCAPING ON STREET SIDE
46. PLOWED SNOW DEPOSIT AREA

ZONING ANALYSIS

ADDRESS: 298 S. CENTER ST., MIDWAY, UT
 LEGAL DESCRIPTION: LOT 2, THEO CARLIE DAYBELL FAMILY TRUST SMALL LOT SUBDIVISION
 ZONE: C-2
 MIN. LOT AREA: NONE
 ACTUAL LOT AREA: 9737 SF (.22 ACRES)
 MIN. FRONTAGE: 70' (MIXED USE)
 ACTUAL FRONTAGE: 77.07'
 MAX. COVERAGE: 20% SF COMMERCIAL, W/ MIXED USE RESIDENTIAL

FRONT YARDS: 10' MIN., 30' MAX.
 REAR YARD: 10' (COMMERCIAL SETBACK FROM EXISTING RESIDENTIAL USE)
 SIDE YARD: NONE
 MAX. HEIGHT: 35'
 PROPOSED HEIGHT: 27'

PARKING: ALL PARKING SHALL BE LOCATED AT THE SIDE OR REAR OF THE MAIN BUILDING ON EACH COMMERCIAL ZONING LOT. (ACCESSIBLE PARKING TO BE LOCATED IN FRONT OF BUILDING FOR PROXIMITY TO ENTRANCE)*

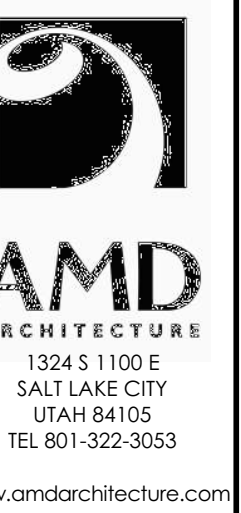
CLEAR VIEW: NOTWITHSTANDING ANY OTHER PROVISION CONTAINED HEREIN, STRUCTURES AND SETBACKS MUST COMPLY WITH CLEAR VIEW TRIANGLE OF INTERSECTING STREETS

LANDSCAPING: ALL LAND NOT COVERED BY OFF-STREET PARKING OR BUILDINGS SHALL BE PLANTED INTO LAWN, TREES OR SHRUBS, AND OTHERWISE LANDSCAPED AND MAINTAINED WITH LAWNS, TREES AND SHRUBS, EXCEPT FOR PERMITTED DRIVEWAYS AND SIDEWALKS.

*VARIANCES: THE CITY COUNCIL, UPON AN APPLICANT'S REQUEST, MAY APPROVE A SETBACK OR PARKING LAYOUT, DIFFERENT THAN LISTED IN THIS SECTION BASED ON SPECIFIC CIRCUMSTANCES OF THE SITE AND BUILDING ORIENTATION OR SPECIFIC USE

PARKING ANALYSIS

| PARKING REQUIRED | | |
|--|--------------------------------|---|
| RESIDENTIAL: | 1 3 BEDROOM UNIT | 3 |
| RESTAURANT: | 1/200 SF DINING SPACE X 700 SF | 4 |
| TOTAL: | | 7 |
| PARKING PROVIDED | | |
| ON SITE: | | 5 |
| COVERED PARKING IN BUILDING: | | 2 |
| TOTAL ON SITE PARKING: | | 7 |
| (INCLUDES (1) ACCESSIBLE VAN SPACE WITH LOADING AISLE) | | |



DESIGN REVIEW SET - NOT FOR CONSTRUCTION

DAYBELL
298 S. CENTER ST.
MIDWAY, UT

© ALL RIGHTS RESERVED
THE DRAWING, THE DESIGN INDICATED, THE FORMAT AND THE ARRANGING ARE THE PROPERTY OF AMD ARCHITECTURE. ANY USE OR REUSE OF ORIGINAL OR ALTERED DESIGN MATERIALS BY THE CLIENT, AGENTS OF THE CLIENT OR OTHER PARTIES WITHOUT THE REVIEW AND WRITTEN APPROVAL OF THE DESIGN PROFESSIONAL SHALL BE AT THE SOLE RISK OF THE OTHERS.
THE GENERAL CONTRACTOR AND/OR ALL SUB CONTRACTORS WORKING FROM THESE PLANS AND SPECIFICATIONS ARE NOT TO SCALE EACH INFORMATION MUST TO CONTACT THE ARCHITECT OR HER REPRESENTATIVE BY CONSULTING. ANY OMISSIONS OR SUCH INFORMATION DO NOT APPEAR CORRECT, ADD UP PROPERTY OR SCALE CORRECTLY TO THE INDICATED SITE.

DATE

11/02/21

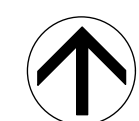
REVISIONS

SITE PLAN

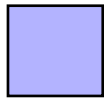
SP1.0

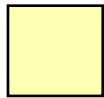


Know what's below.
Call 811 before you dig.



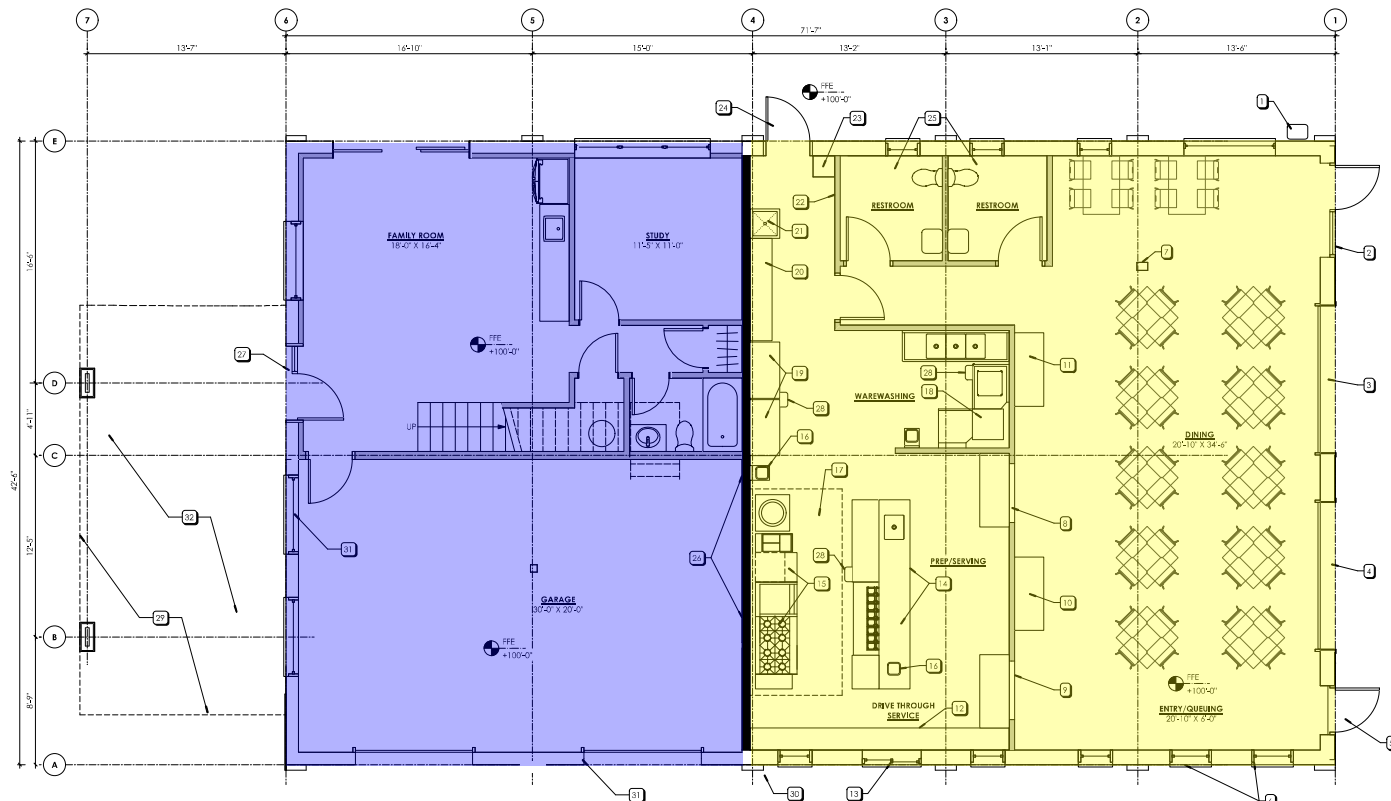
1 SITE PLAN
Scale: 1/8" = 1'-0"



 - Residential Area ~1,302 SF

 - Restaurant Area ~1,686 SF




FLOOR PLAN KEYED NOTES

1. (E) GAS METER
2. DOOR & SLOUGHTS TO REPLACE (E) DOOR & WINDOW (PART ACCESS & BUILDING EGRESS)
3. OVERHEAD DOOR TO REPLACE (E)
4. OVERHEAD DOOR W/ WALL INFILL TO REPLACE (E); MATCH ADJ. DOOR SIZE
5. (N) DOOR & RESTAURANT ENTRY
6. WINDOW W/ BRICK WALL INFILL TO REPLACE (E)
7. (E) REKOFITTED COLUMN: VERIFY REMOVAL W/ STRUCTURAL
8. ORDER WINDOW
9. PICK UP WINDOW
10. DRINK STATION
11. TRASH RECEPTACLES
12. DRIVE THROUGH SERVICE / P.O.S.
13. DRIVE THROUGH SERVICE WINDOW IN ENLARGED R.O.
14. PREP/SERVING AREA
15. COOK LINE W/ COOKTOP, RANGE, FRYER & TANDOORI OVEN
16. HAND SINK
17. TYPE I COMMERCIAL HOOD
18. DBHWASHER W/ TYPE HOOD ABOVE (AS REQUIRED BY HAZW/DOSE)
19. FOOD STORAGE/REFRIGERATOR(S)
20. STORAGE/SHELVING
21. MOP SINK
22. RELOCATED ELECTRICAL PANEL
23. (E) CHIMNEY
24. (N) DOOR & R.O. FOR KITCHEN ACCESS
25. ACCESSIBLE RESTROOM TO REPLACE (E)
26. 2 HOUR FIRE SEPARATION BETWEEN RESTAURANT AND RESIDENTIAL
27. APARTMENT ENTRY
28. FLOOR SINK
29. BALCONY ABOVE
30. ORDER MENU SIGN
31. 18" WIDE X 9" HIGH OPENING
32. PARKING PER SITE PLAN



 **1 MAIN LEVEL FLOOR PLAN**
Scale: 1/4" = 1'-0" 

LEGEND

| | |
|---|---------------------------|
|  | EXISTING CONSTRUCTION |
|  | NEW CONSTRUCTION |
|  | 2 HOUR RATED CONSTRUCTION |



DESIGN REVIEW SET - NOT FOR CONSTRUCTION

DAYBELL
298 S. CENTER ST.
MIDWAY, UT

DATE
10/20/21

REVISIONS

DATE
10/20/21

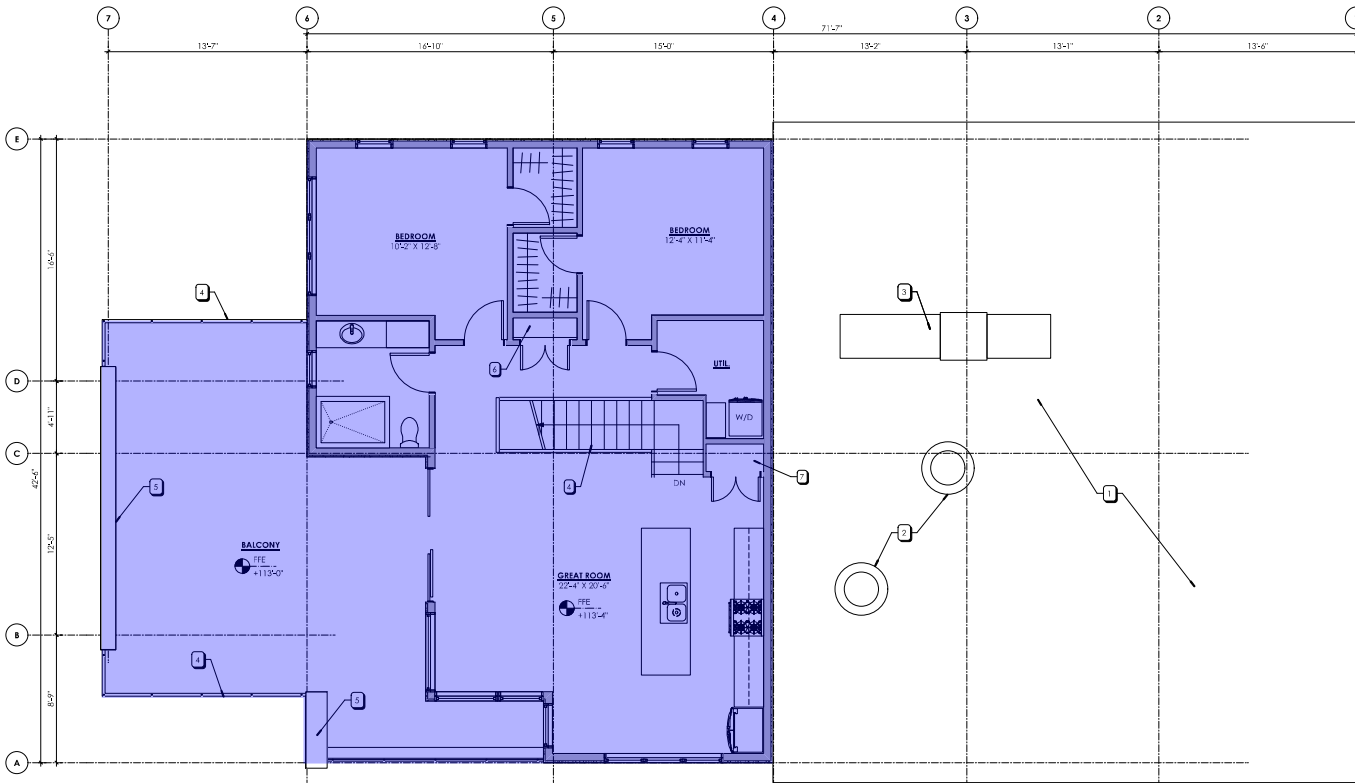
REVISIONS

DATE
10/20/21

MAIN LEVEL FLOOR PLAN

A1.0

 - Residential Area ~1,672 SF



2 UPPER LEVEL FLOOR PLAN
Scale: 1/4" = 1'-0"

FLOOR PLAN KEYED NOTES

1. ROOF BELOW
2. KITCHEN HOOD EXHAUST FAN
3. KITCHEN HOOD MAKEUP AIR UNIT
4. CABLE RAILING
5. PONY WALL WITH STONE CLADDING
6. LINEN CLOSET
7. PANTRY

LEGEND

-  EXISTING CONSTRUCTION
-  NEW CONSTRUCTION
-  2 HOUR RATED CONSTRUCTION



DESIGN REVIEW SET - NOT FOR CONSTRUCTION

DAYBELL
298 S. CENTER ST.
MIDWAY, UT

© ALL RIGHTS RESERVED
 THE OWNER HAS REVIEWED AND APPROVED THIS SET OF ARCHITECTURAL DRAWINGS FOR THE PROJECT DESCRIBED HEREIN. THE OWNER'S REVIEW IS LIMITED TO THE INFORMATION PROVIDED TO THE ARCHITECT AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED TO THE ARCHITECT. THE ARCHITECT ASSUMES ALL LIABILITY FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.

DATE

10/20/21

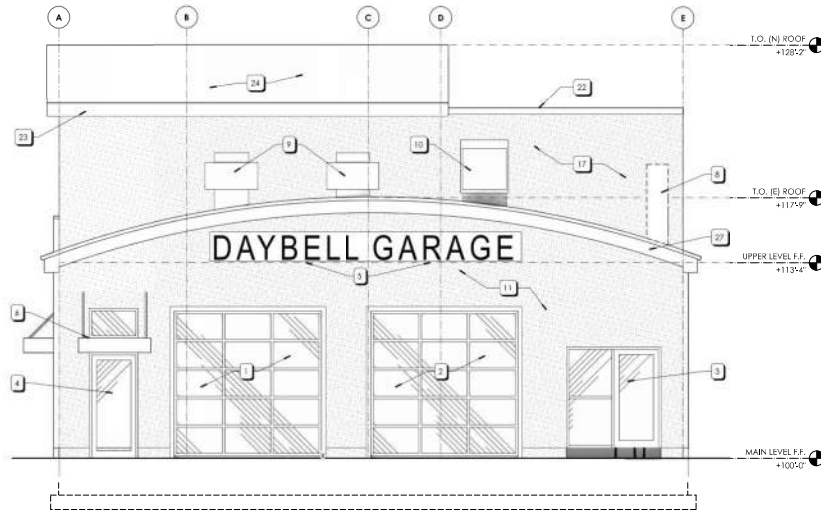
REVISIONS

UPPER LEVEL FLOOR PLAN

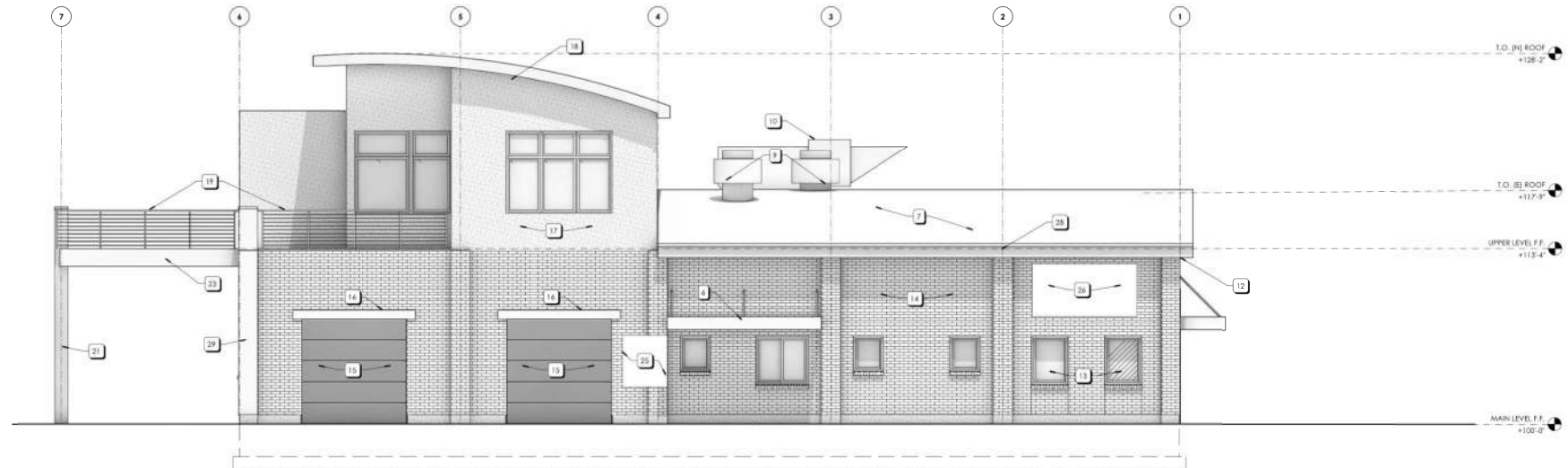
A1.1



3 PROPOSED COMMERCIAL TENANT LOGO
Scale: NO TO SCALE



2 EAST ELEVATION
Scale: 1/4" = 1'-0"



1 SOUTH ELEVATION
Scale: 1/4" = 1'-0"

EXTERIOR ELEVATION KEYED NOTES

1. GLASS/METAL SECTIONAL OVERHEAD DOOR TO REPLACE (E); ENLARGE ROUGH OPENING TO MATCH ADJACENT DOOR
2. GLASS/METAL SECTIONAL OVERHEAD DOOR TO REPLACE (E)
3. ALUMINUM STOREFRONT DOOR & SDEIGHT TO REPLACE (E) DOOR & WINDOW, WITH ENLARGED DOOR FOR ADA COMPLIANCE
4. ALUMINUM STOREFRONT DOOR IN NEW ROUGH OPENING
5. (E) HISTORIC BUILDING SIGN TO REMAIN. REPAIR AS REQUIRED AND REPAIR (E) WITH BUILDING FEATURE NOT CONSIDERED PART OF BUILDING SIGNAGE)
6. METAL CANOPY
7. MEMBRANE ROOFING TO REPLACE (E) SHEET ASPHALT ROOFING
8. REMOVE (E) STRUCTURALLY UNSOUND MASONRY CHIMNEY
9. KITCHEN HOOD EXHAUST FAN
10. KITCHEN HOOD MAKEUP AIR UNIT
11. (E) STUCCO
12. (E) METAL FASCIA & SOFFIT TO REMAIN
13. WINDOW & BRICK WALL INTEL TO REPLACE (E) WINDOW & CMU WALL INTEL
14. (E) BRICK
15. SECTIONAL DOOR IN ENLARGED WINDOW OPENING
16. STEEL LINTEL
17. STUCCO
18. METAL RAKE & SOFFIT
19. CABLE RAILING
20. N/A
21. COLUMN WITH CONCRETE SKIN FACING (BASIS OF DESIGN- OKO SKIN BY REIDER)
22. METAL COPING
23. METAL FASCIA & SOFFIT
24. MEMBRANE ROOFING
25. PROPOSED FUTURE DRIVE-THROUGH MENU BOARD, HIC (16 SF MAX.)
26. BUILDING MOUNTED WALL SIGN (32 SF MAX.)
27. REPLACE (E) METAL RAKE & SOFFIT TO MATCH BUILDING ADDITION
28. REPLACE (E) METAL FASCIA & SOFFIT TO MATCH BUILDING ADDITION
29. CONCRETE SKIN FACING VENER (BASIS OF DESIGN- OKO SKIN BY REIDER)

GENERAL COLOR NOTES

- | | |
|----------------------|---|
| 1. EXTERIOR BRICK | TO REMAIN AS IS |
| 2. EXTERIOR STUCCO | REPAIR TO LIGHT GRAY |
| 3. NEW STUCCO | LIGHT GRAY |
| 4. DOORS AND WINDOWS | WHITE |
| 5. TRIM | BLACK |
| 6. MEMBRANE ROOFING | WHITE/FAN (LIGHT COLOR FOR SOLAR REFLECTANCE) |
| 7. STONE PANELS | "CHROME"/MATT OKO SKIN BY REIDER |



AMD
ARCHITECTURE
1324 N 1100 E
SALT LAKE CITY
UTAH 84103
TEL: 801-322-9155
WWW.AMDARCHITECTURE.COM

DESIGN REVIEW SET - NOT FOR CONSTRUCTION

DAYBELL
298 S. CENTER ST.
MIDWAY, UT

© ALL RIGHTS RESERVED

THIS DOCUMENT IS THE PROPERTY OF AMD ARCHITECTURE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF AMD ARCHITECTURE.

BY USING THIS DOCUMENT, YOU AGREE TO HOLD AMD ARCHITECTURE HARMLESS FROM AND AGREE TO INDEMNIFY AND HOLD AMD ARCHITECTURE HARMLESS FROM ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM YOUR USE OF THIS DOCUMENT.

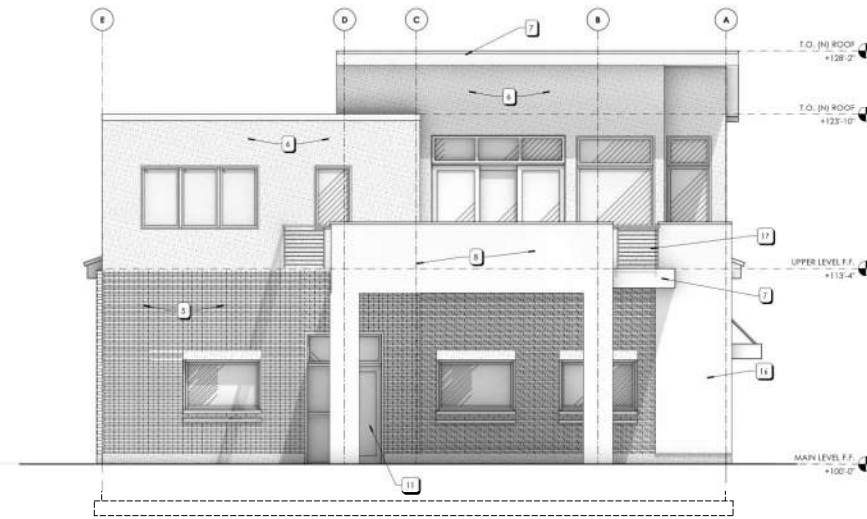
DATE

10/20/21

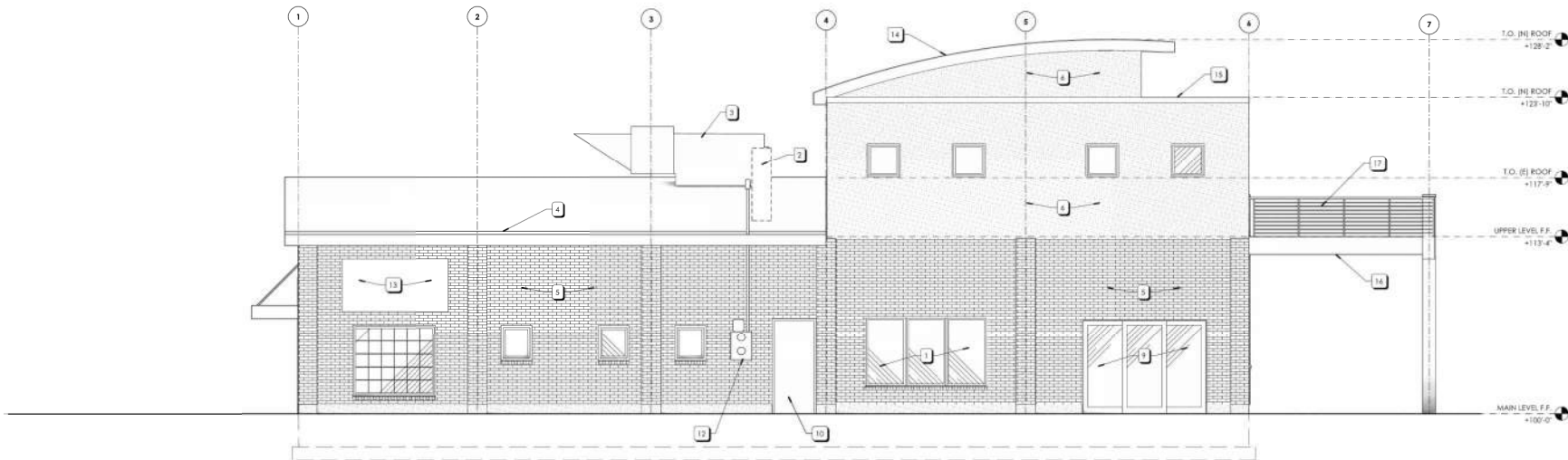
REVISIONS

EXTERIOR ELEVATIONS

A2.1



2 WEST ELEVATION
Scale: 1/4" = 1'-0"



1 NORTH ELEVATION
Scale: 1/4" = 1'-0"

EXTERIOR ELEVATION KEYED NOTES

1. WINDOW & INFL. @ (E) WALL OPENING
2. REMOVE (E) STRUCTURALLY UNSOUND MASONRY CHIMNEY
3. KITCHEN HOOD MAKEUP AIR UNIT
4. (H) METAL FASCIA & SOFFIT TO REMAIN
5. (E) BRICK
6. STUCCO
7. METAL FASCIA & SOFFIT
8. BALCONY WITH CONCRETE SKIN PANELS (BASIS OF DESIGN- OKO SKIN BY REIDER)
9. DOOR @ ENLARGED WALL OPENING
10. HOLLOW METAL DOOR & FRAME IN (H) OPENING
11. DOOR & SIDELIGHT IN ENLARGED WINDOW OPENING
12. ELECTRICAL METER AND OVERHEAD SERVICE
13. BUILDING MOUNTED WALL SIGN (32 SF MAX.)
14. METAL RAKE & SOFFIT
15. METAL CORNING
16. CONCRETE SKIN PANEL VENEER (BASIS OF DESIGN- OKO SKIN BY REIDER)
17. CABLE RAILING



AMD
ARCHITECTURE
1324 S 1100 E
SALT LAKE CITY
UTAH 84105
TEL: 801-322-3033
WWW.AMDARCHITECTURE.COM

DESIGN REVIEW SET - NOT FOR CONSTRUCTION

DAYBELL
298 S. CENTER ST.
MIDWAY, UT

DATE
10/20/21

REVISIONS

DATE
10/20/21

REVISIONS

EXTERIOR
ELEVATIONS

A2.2



AMD
ARCHITECTURE
1234 S. 100 E.
SALT LAKE CITY
UTAH 84105
TEL: 801-333-3055
WWW.AMDARCHITECTURE.COM

DESIGN REVIEW SET - NOT FOR CONSTRUCTION

DAYBELL
298 S. CENTER ST.
MIDWAY, UT

© ALL RIGHTS RESERVED.
THIS DOCUMENT IS THE PROPERTY OF AMD ARCHITECTURE AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF AMD ARCHITECTURE. THE USER OF THIS DOCUMENT AGREES TO HOLD AMD ARCHITECTURE HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE USE OF THIS DOCUMENT.

DATE
10/20/21

REVISIONS

TITLE SHEET

G0.0

Exhibits

Exhibit 1 – Horrocks Review Letter

Exhibit 2 – Public Comments

Exhibit 1

September 14, 2021

Midway City
Attn: Michael Henke
75 North 100 West
Midway, Utah 84049

Subject: Daybell Garage Conditional Use Permit Review

Dear Michael:

Horrocks Engineers recently reviewed the plans for the above mixed use development. The following issues should be addressed before a building permit is issued.

General: The proposed mixed use development is located at approximately 298 South Center Street. The proposed use will include a restaurant on the main floor with a residential unit on the second level. Final construction site plans should be approved prior to final approval.

Water

- Applicant should verify that the existing lateral has adequate flow for both the restaurant and residential unit.

Roads

- The applicant will need to get an approved access permit from UDOT for the proposed driveway access onto Center Street prior to any approval from City Council.

Storm Drain

- The site will need provide a storm drain analysis for 25 year – 24 hour storm event and hold that water onsite. Then it can discharge into the existing irrigation line that runs through the property and south on Center Street.

Please feel free to call our office with any questions.

Sincerely,
HORROCKS ENGINEERS



Wesley Johnson, P.E.
Midway City Engineer

cc: Wayne Gordon AMD Architecture

September 14, 2021

Midway City
Attn: Michael Henke
75 North 100 West
Midway, Utah 84049

Subject: Daybell Garage Conditional Use Permit Review

Dear Michael:

Horrocks Engineers recently reviewed the plans for the above mixed use development. The following issues should be addressed before a building permit is issued.

General: The proposed mixed use development is located at approximately 298 South Center Street. The proposed use will include a restaurant on the main floor with a residential unit on the second level. Final construction site plans should be approved prior to final approval.

Water

- Applicant should verify that the existing lateral has adequate flow for both the restaurant and residential unit.

Roads

- The applicant will need to get an approved access permit from UDOT for the proposed driveway access onto Center Street prior to any approval from City Council.

Storm Drain

- The site will need provide a storm drain analysis for 25 year – 24 hour storm event and hold that water onsite. Then it can discharge into the existing irrigation line that runs through the property and south on Center Street.

Please feel free to call our office with any questions.

Sincerely,
HORROCKS ENGINEERS



Wesley Johnson, P.E.
Midway City Engineer

cc: Wayne Gordon AMD Architecture

Exhibit 2

Luke Robinson

From: Melannie Egan
Sent: Tuesday, November 30, 2021 12:33 PM
To: Luke Robinson
Subject: FW: Daybell garage to a restaurant

Melannie K Egan
Planning Assistant
H: Mon-Thurs 7:30-5:30
P: 435-654-3223 ext 106
E: megan@midwaycityut.org
75 N 100 W – P.O. Box 277
Midway, UT 84049
www.midwaycityut.org

-----Original Message-----

From: Les Michie <lesmichie@icloud.com>
Sent: Tuesday, November 30, 2021 11:19 AM
To: Melannie Egan <megan@midwaycityut.org>
Subject: Daybell garage to a restaurant

My concerns are the location close to an intersection and crosswalk and the related parking, entering and leaving on Center St I have some experience here as I own the home across the street My sister lives there and I visit enough to know Center St is a busy road, with folks pushing the speed limit to get into and out of town I suggest requiring adequate parking on the west side of CenterSt and a drive thru such that cars are not leaving or entering the highway in an unsafe manner I personally doubt that the property is large enough to provide the safe entry and exit as well as on site parking Sincerely Leslie Michie

Sent from my iPhone

Luke Robinson

From: Melannie Egan
Sent: Tuesday, November 30, 2021 11:02 AM
To: Luke Robinson
Subject: FW: Daybell Garage



Melannie K Egan

Planning Assistant

H: Mon-Thurs 7:30-5:30
P: 435-654-3223 ext 106
E: megan@midwaycityut.org

75 N 100 W – P.O. Box 277
Midway, UT 84049

www.midwaycityut.org

From: Mary Scoville <maryscoville@gmail.com>
Sent: Tuesday, November 30, 2021 10:21 AM
To: Melannie Egan <megan@midwaycityut.org>
Subject: Daybell Garage

Hi Megan,
I have a few questions about the proposal for the Daybell Garage.

1. What is the plan for parking. I live right across the street and currently Swiss employees fill up the parking in front of my home and field.
2. Is there to be a drive thru? What about the school children?
3. I do not want to interfere with the owners needing to utilize their property but it seems that it would have been better for the property to be used as a bakery as originally planned so the parking and traffic would not be so problematic.
4. How high is the planned structure for the residential unit going to be on top?

I am the spokesperson for my brother who owns the property directly across from the garage. My brother Leslie Michie owns the property and I currently live in the home. I will pass any information on to my brother.

Thank you for taking the time to read about our concerns.

Mary Scoville
299 South Center
Midway, Utah 84049