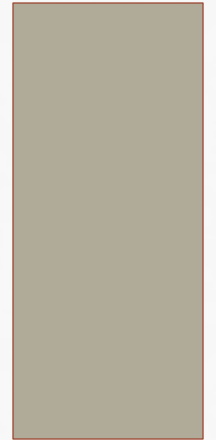


AMEYALLI RESORT
(FKA MT. SPA)

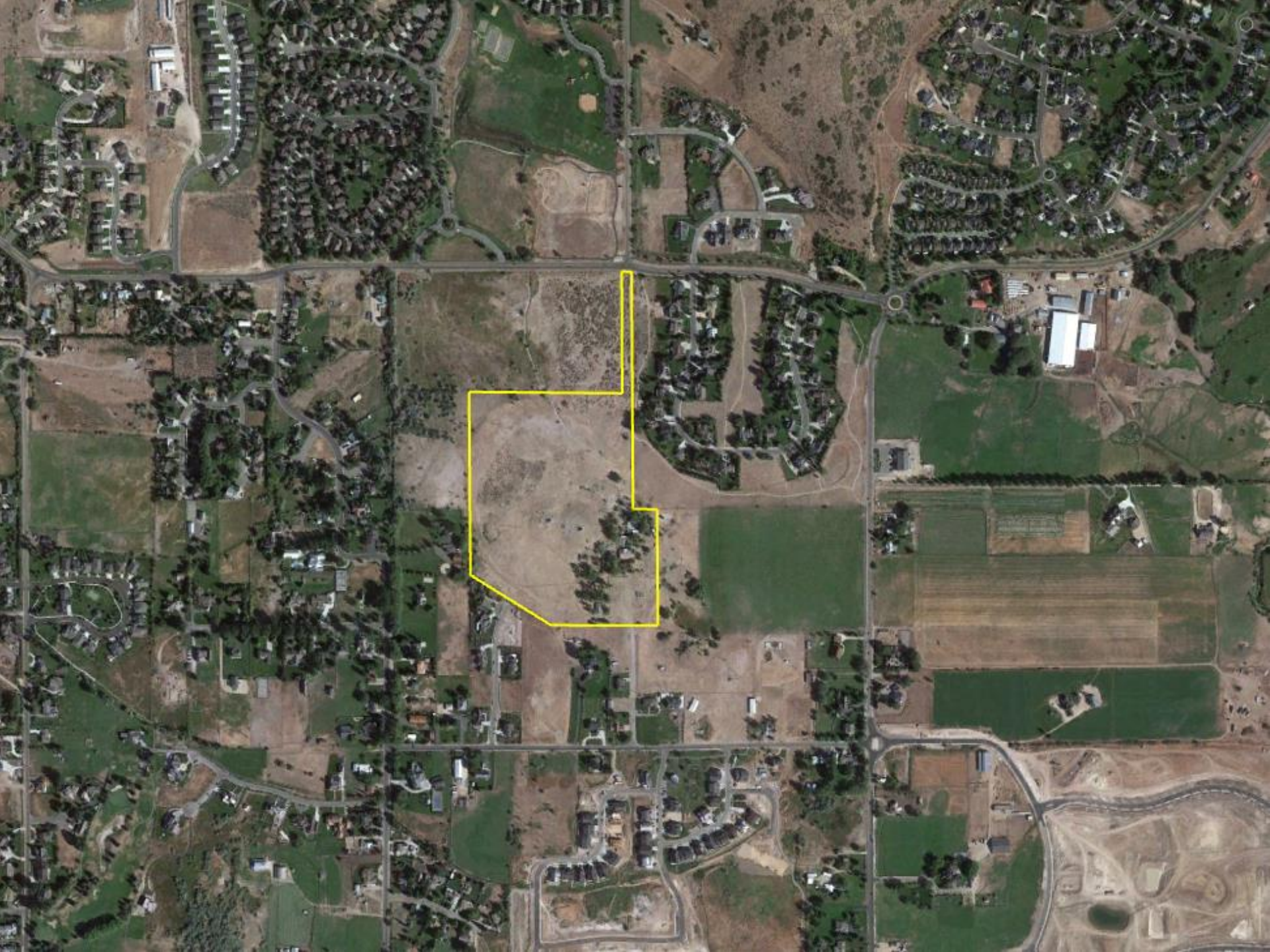
PRELIMINARY ARCHITECTURAL REVIEW

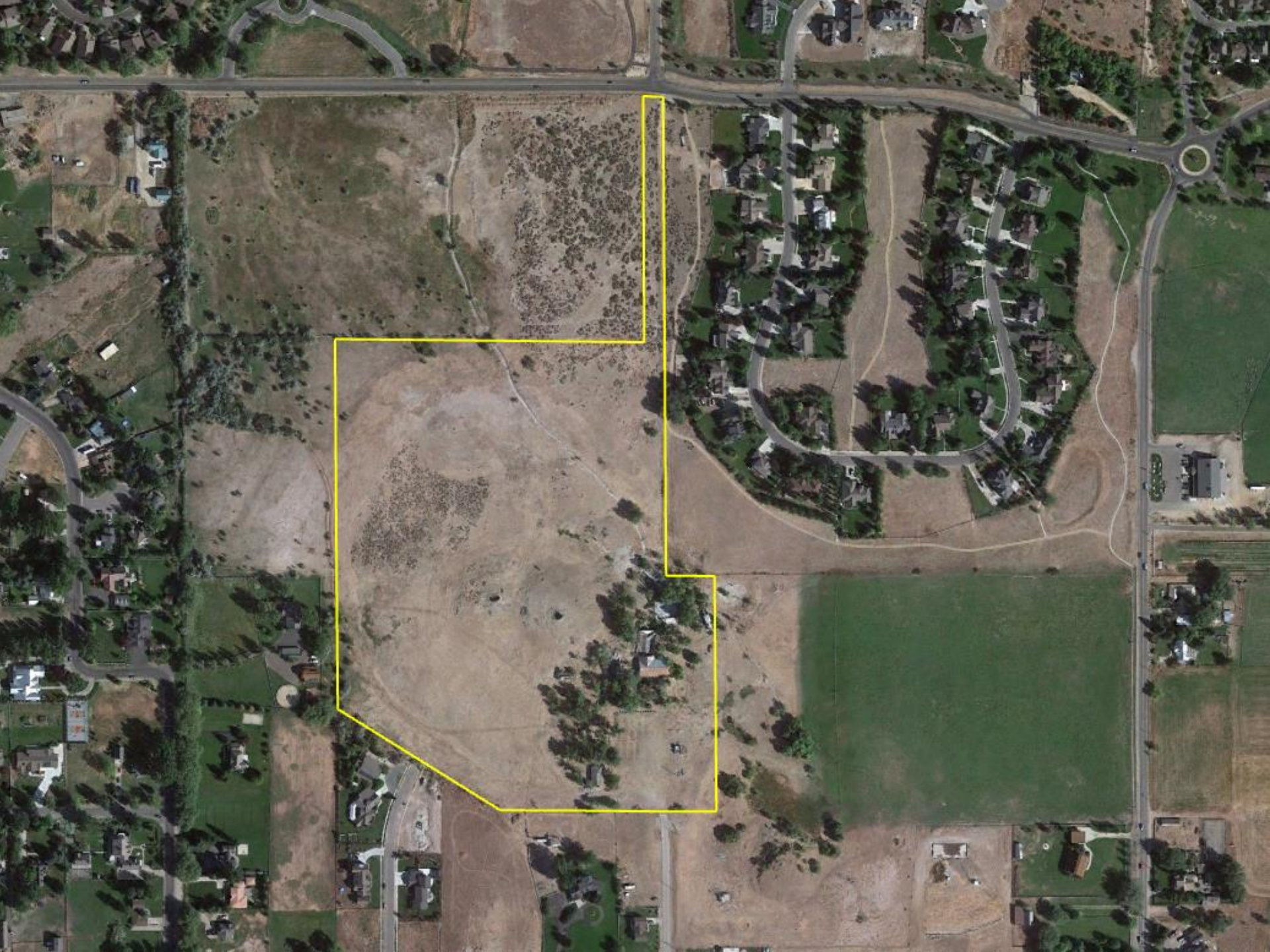


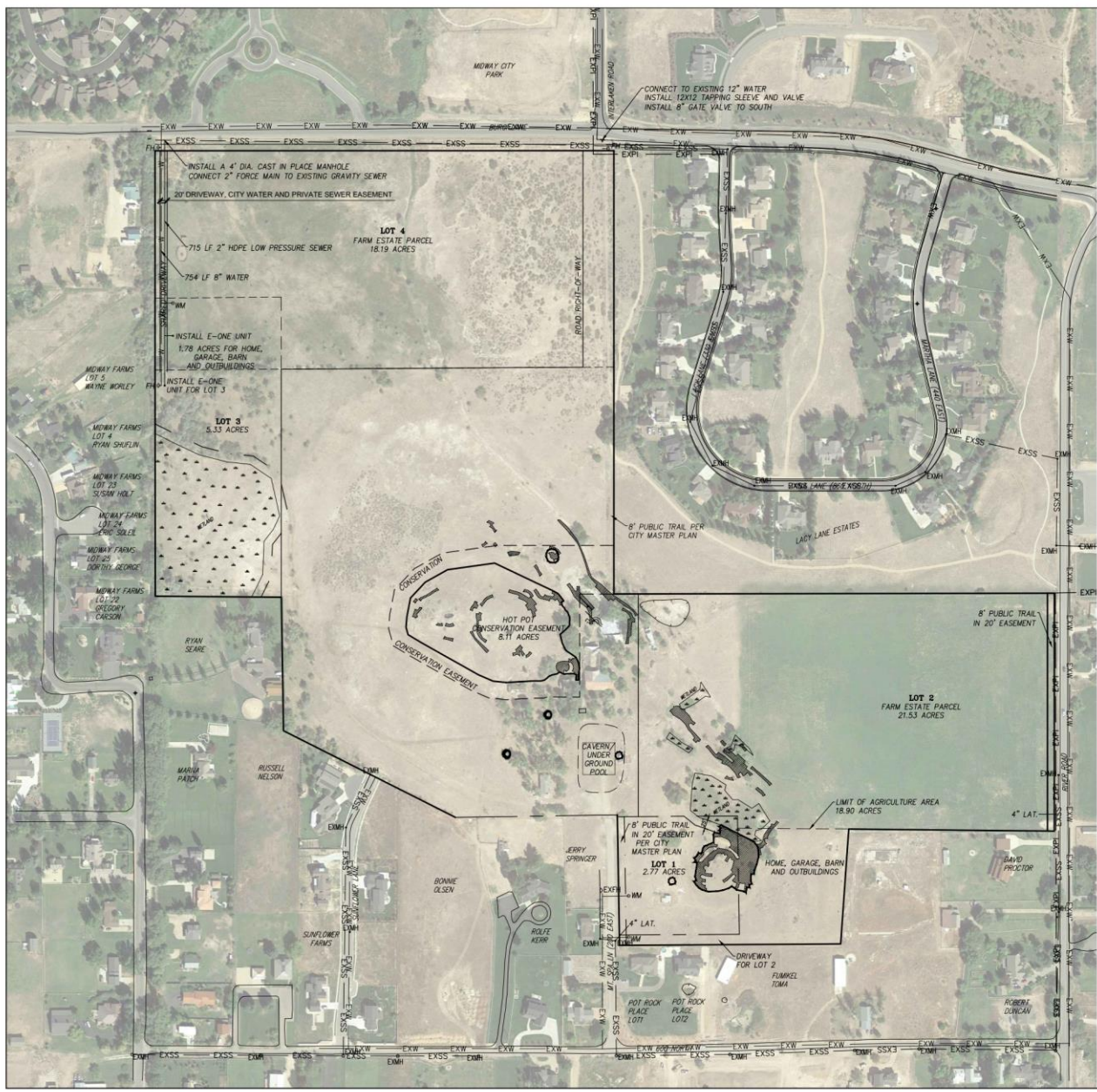
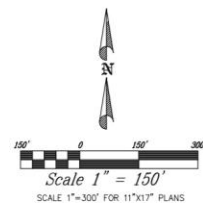
PROJECT OVERVIEW

- **Proposal:** The applicant is proposing to develop a resort on the former Mt. Spa property.
- **Zoning:** Resort Zone
- **Parcel:** Approx. 28 acres
- **Proposed Uses:**
 - Core Resort/Spa Bldg.
 - Hotel (76 ea.)
 - Cottages (24 ea.)
 - Duplexes (24 units)
 - Family Lodges (2 ea.)
 - Event Barn/Yurts









LEGEND

- WETLANDS (3.75 ACRES)
- SLOPES > 25% (0.33 ACRES OUTSIDE OF HOT POT/CRATER)
- HOT POT/CRATER SENSITIVE LANDS (3.52 ACRES)
- RESORT ZONE BOUNDARY
- EXISTING PRESSURIZED IRRIGATION
- EXISTING WATER
- EXISTING SEWER
- PROPOSED WATER
- PROPOSED LOW PRESSURE FORCE MAIN SEWER
- PROPOSED 1" WATER METER
- PROPOSED FIRE HYDRANT

SEWER NOTES:

- ALL SEWER IMPROVEMENTS SHALL MEET MIDWAY CITY STANDARDS & SPECIFICATIONS
- E-ONE UNITS SHALL BE MODEL 2010 PA 0856 P01.

WATER NOTES:

- ALL WATER IMPROVEMENTS SHALL MEET MIDWAY CITY STANDARDS & SPECIFICATIONS.

BLUE STAKE NOTE:

- LOCATION OF EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE AND MAY BE INCOMPLETE. CONTRACTOR IS RESPONSIBLE FOR BLUE STAKING OF UTILITIES.

PRESSURIZED IRRIGATION NOTES:

- ALL PRESSURIZED IRRIGATION IMPROVEMENTS SHALL MEET MIDWAY IRRIGATION COMPANY STANDARDS & SPECIFICATIONS.

DISCUSSION NOTE:

THIS PLAN WAS REVISED ON JUNE 3, 2021 TO REDUCE THE SUBDIVISION TO FOUR LOTS, TO REMOVE THE ACCESS EASEMENT ON THE RESORT PARCEL AND TO MODIFY THE DRIVEWAY EASEMENT TO LOTS 3 AND 4 TO PROTECT EXISTING TREES.

NOTE:

SEWER SYSTEM FOR LOTS 3 AND 4 CHANGE TO LOW PRESSURE E-ONE SYSTEMS DUE TO POOR CONDITIONS FOR A SEPTIC SYSTEM.

THIS DOCUMENT IS RELEASED FOR REVIEW ONLY. IT IS NOT INTENDED FOR CONSTRUCTION UNLESS SIGNED AND SEALED.
 PAUL D. BOE, P.E.
 SERIAL NO. 295995
 DATE: 3 JUNE 2021

**CHUCK HEATH
MOUNTAIN SPA**

UTILITY PLAN

ENGINEERING
 380 E. Main St. Suite 204
 Midway, UT 84049
 ph 435.657.9749

DESIGN BY: PDB DATE: 3 JUNE 2021 SHEET
 DRAWN BY: PDB REV: 3

GARAGE, BARN AND OUTBUILDINGS

INSTALL E-ONE UNIT FOR LOT 3

LOT 3
5.33 ACRES

WETLAND

CONSERVATION

HOT POT
CONSERVATION EASEMENT
8.11 ACRES

CONSERVATION EASEMENT

CAVERN
UNDER
GROUND
POOL

8' PUBLIC TRAIL
IN 20' EASEMENT
PER CITY
MASTER PLAN

LOT 1
2.77 ACRES

WETLAND

WETLAND

HOME, GARAGE, B AND OUTBUILDINGS

RYAN SEARE

MARNA PATCH

RUSSELL NELSON

JERRY SPRINGER

LACY LANE

EXISS LANE

LACY LANE

8' PUBLIC TRAIL PER CITY MASTER PLAN

EXMH
EXM
EXSS
EXM



PURPOSE FOR PRESENTATION

Typically, the architectural theming for new structures in the Resort Zone must comply with the Swiss-European guidelines outlined in Section 16.13.37 of the land use code. In Chapter 16.15 (Resort Zone), the building design guideline section (16.15.4 (G) (3)) states that the building design shall reflect:

“The community’s architectural character choices emphasizing Swiss/European Alpine themes **(or other themes as approved by the City Council after a recommendation from the Visual Architectural Committee (VAC) and Planning Commission).**”

The applicant is proposing a theme that some may interpret as a departure from the typical Swiss/European Alpine themes. Because of the previously mentioned code, it is staff’s interpretation that the city council has discretion on whether a departure is allowed.

AMEYALLI

MIDWAY CENTER FOR LIMITLESS LIFE

800 N 200 E MIDWAY, UTAH 84049



RESORT MASTER PLAN | MARCH 2022

OVERLAND



INTRO

SITE I
PROPERTY BOUNDARY

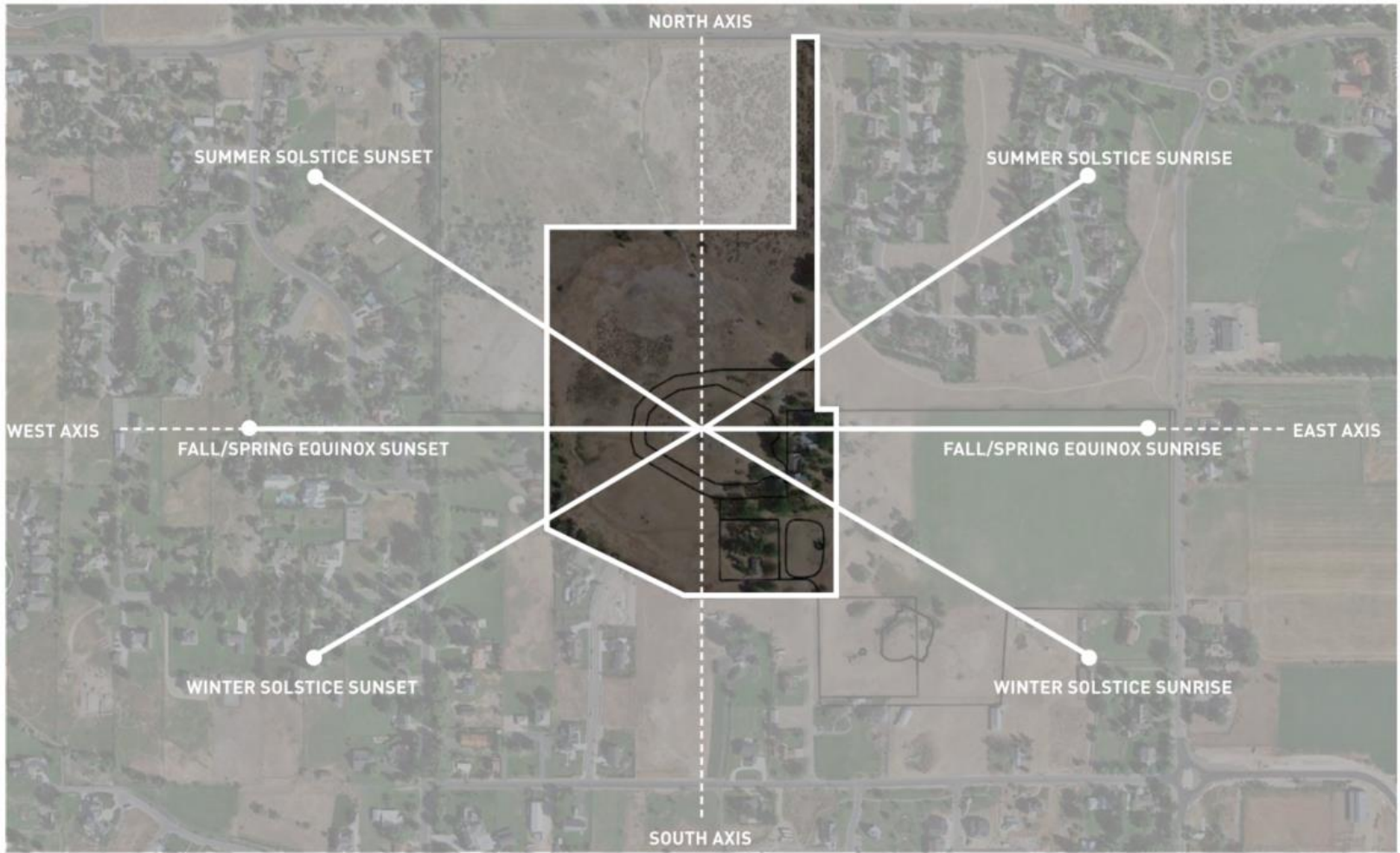


SITE I
PROPERTY MOUNTAIN CONTEXT



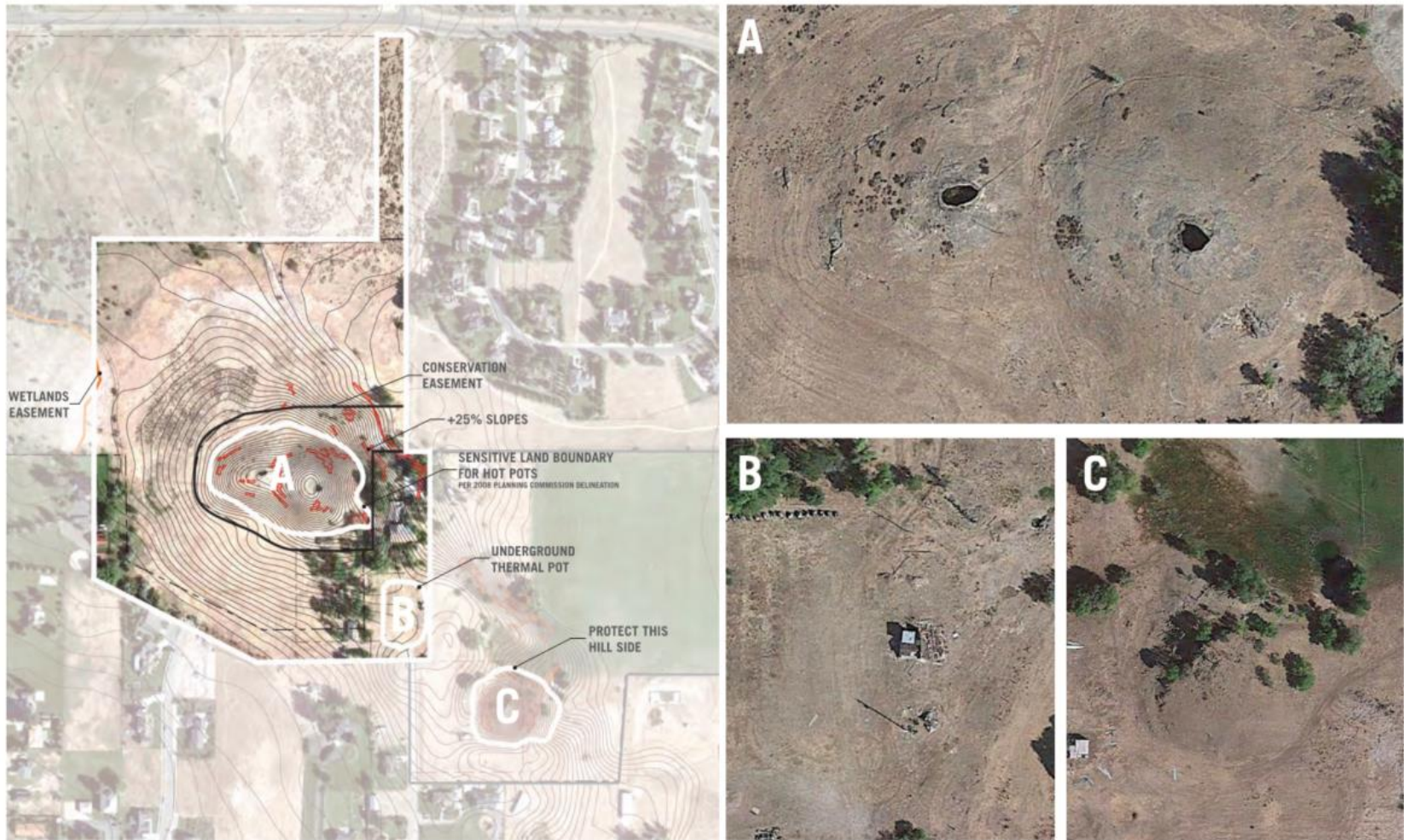
SITE ANALYSIS I

SOLSTICE AND EQUINOX



SITE ANALYSIS I

SENSITIVE LANDS



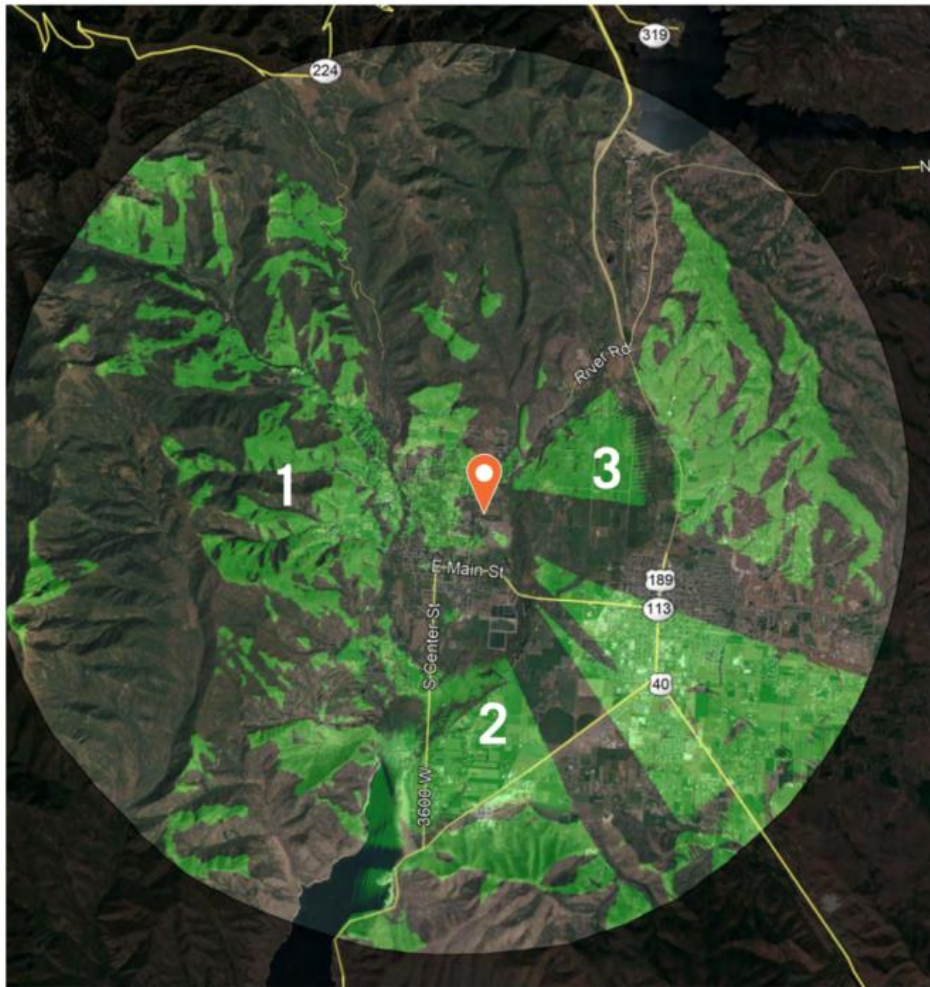
SITE ANALYSIS |

THERMAL POTS



SITE ANALYSIS I

VIEW SHED



SITE ANALYSIS I

SITE PHOTO



SITE ANALYSIS I

SITE PHOTO





VISION

VISION I

GUIDING PRINCIPLES



OF THE LAND

Simple in form, tones, texture and materials of the land.

Architecture should not distract from the views of the mountains



INTIMATE SCALE

Spaces that promote connection and community - space that works for 10 as well as 50

Encourages gathering and lingering



CELEBRATION OF SITE

Indoor/outdoor connections and flow.

Outdoor rooms



HONEST + AUTHENTIC

Regional materials and textures

Warm, inviting, and cozy



PROGRESSIVE DESIGN

Forward-looking, unexpected

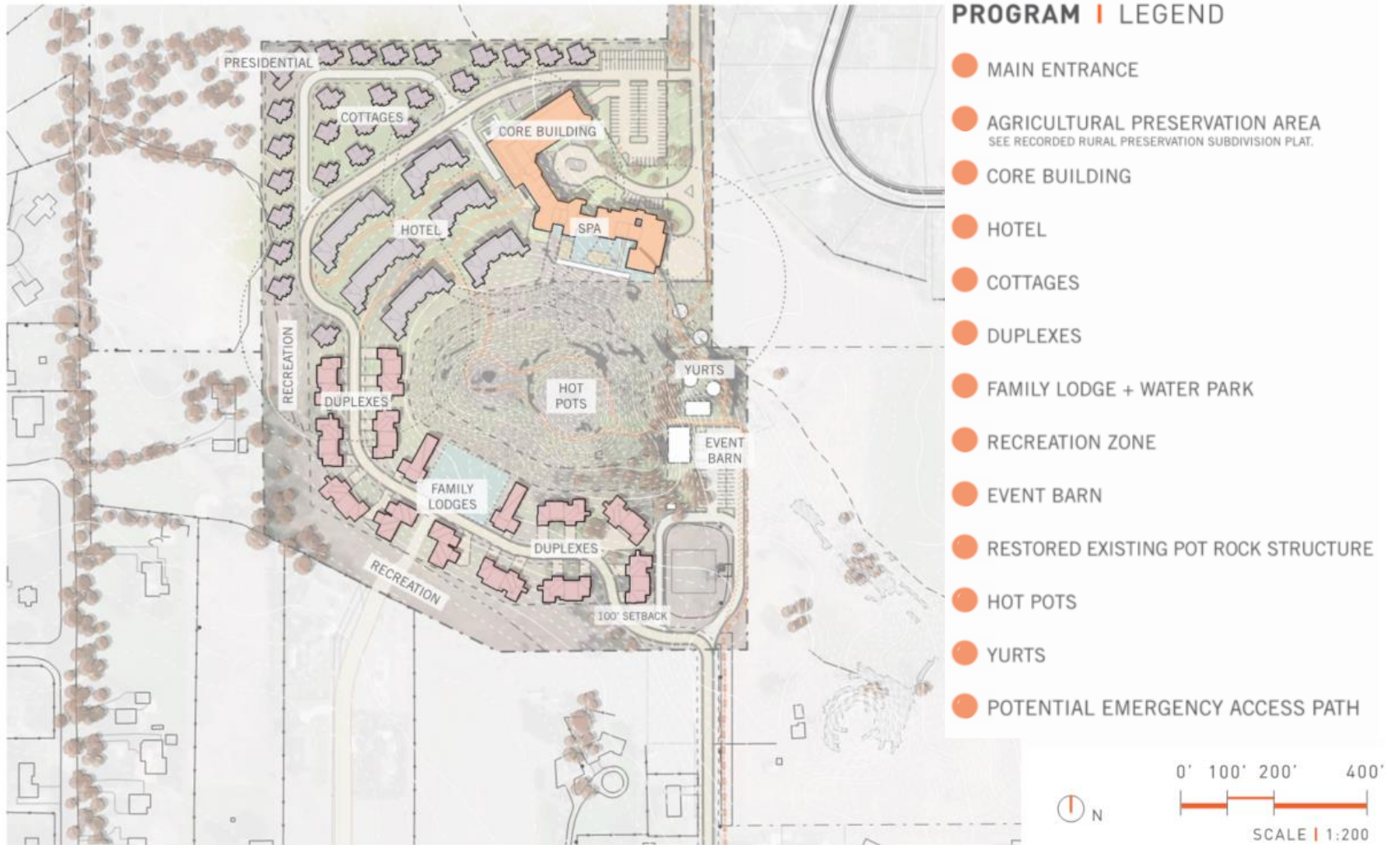
Simple, clean, and open

Mountain modern contemporary

Timeless

Utilizing advanced technologies

CONCEPT DESIGN | SITE PLAN



CONCEPT DESIGN / PROPOSED LAND USE PLAN |

SITE METRICS



TOTAL AREA OF RESORT | AC

Building Footprint:	5.72	19.1%
Roads, Parking & Driveways:	3.75	12.5%
Open Space:	20.53	68.4%
Landscaped Areas:	4.30	14.3%
Natural Areas:	15.99	53.3%
Pool Areas:	0.23	0.8%

TOTAL Project Area: **30**

PROGRAM | GROSS SF

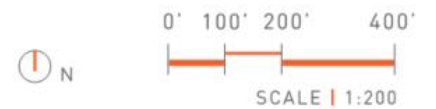
80 Hotel Rooms:	41,920
24 Cottages:	42,240
1 Presidential Suite:	3,210
Core Building:	55,705
24 Duplexes:	86,800
2 Family Lodges:	12,160
Yurts:	3,000
Event Barn:	4,000

TOTAL: **249,035**

TOTAL # of Bedrooms: **223**

PARKING |

# of Units:	131
# of Parking Spaces:	133
<small>(Including Garages)</small>	



CONCEPT DESIGN / PROPOSED LAND USE PLAN |

PHASE 1



CONCEPT DESIGN / PROPOSED LAND USE PLAN |

PHASE 2



CONCEPT DESIGN / PROPOSED LAND USE PLAN |

PHASE 3



CONCEPT DESIGN / PROPOSED LAND USE PLAN |

PHASE 4



PRECEDENT I
PRECEDENT IMAGERY



CHARMING DRIVE LANES

PRECEDENT I
SWISS INSPIRATION



DIVERSE SOPHISTICATED DYNAMIC PICTURESQUE SUSTAINABLE INGENUOUS

PRECEDENT I
SWISS INSPIRATION



PRECEDENT I
SWISS INSPIRATION



SWISS HISTORY of GREEN ROOFS

PRECEDENT I

SWISS INSPIRATION



LOWER LEVEL IS
'HEAVIER' OF STONE.
UPPER LEVELS ARE
'LIGHTER' OF WOOD.
DISTINCT COLOR
DIFFERENCE BETWEEN
LEVELS



USE OF STACKED STONE
FOR LANDSCAPE AND
BUILDING WALLS



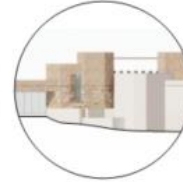
BUILD FOLLOWING
TOPOGRAPHY.
INTEGRATE INTO THE
LANDSCAPE



UPPER STORY
OVERHANGS FIRST
LEVEL



NATURAL MATERIALS
WITH NEUTRAL TONES /
PALETTE





CORE + SPA

CORE BUILDING AND SPA |

SITE PLAN



PROGRAM | LEGEND

- 1 EVENT ENTRY
- 2 RESTAURANT ENTRY
- 3 HOTEL LOBBY ENTRY
- 4 SPA ENTRY
- 5 MEDICAL SPA ENTRY

PROGRAM | TYPE LEGEND

Full service/Multi-dimensional spa:	10,220 GSF
Med Spa Addition:	7,300 GSF
Basement Spa:	5,140 GSF
Hotel-lobby/Admin/Support/Fitness:	5,310 GSF
Basement Hotel/Event/Restaurant:	12,165 GSF
Event/Prefunction/Support:	7,050 GSF
Kitchen/Food prep/Support:	6,520 GSF
Rooftop Bar:	2,000 GSF

TOTAL: 55,705 GSF



SCALE | 1:100

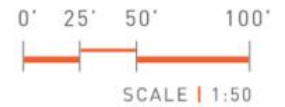
CORE BUILDING AND SPA |

OVERALL PLAN - LEVEL 00



PROGRAM | TYPE LEGEND

	Basement Spa:	5,140 GSF
	Basement Hotel/Event/Restaurant:	12,165 GSF
TOTAL:		17,305 GSF



CORE BUILDING AND SPA I

LEVEL 01 - FLOOR PLAN



PROGRAM | LEGEND

- 1 ARRIVAL COURT
- 2 EVENT
- 3 RESTAURANT
- 4 HOTEL LOBBY
- 5 SPA
- 6 MEDICAL SPA
- 7 KITCHEN
- 8 FITNESS
- 9 CORE



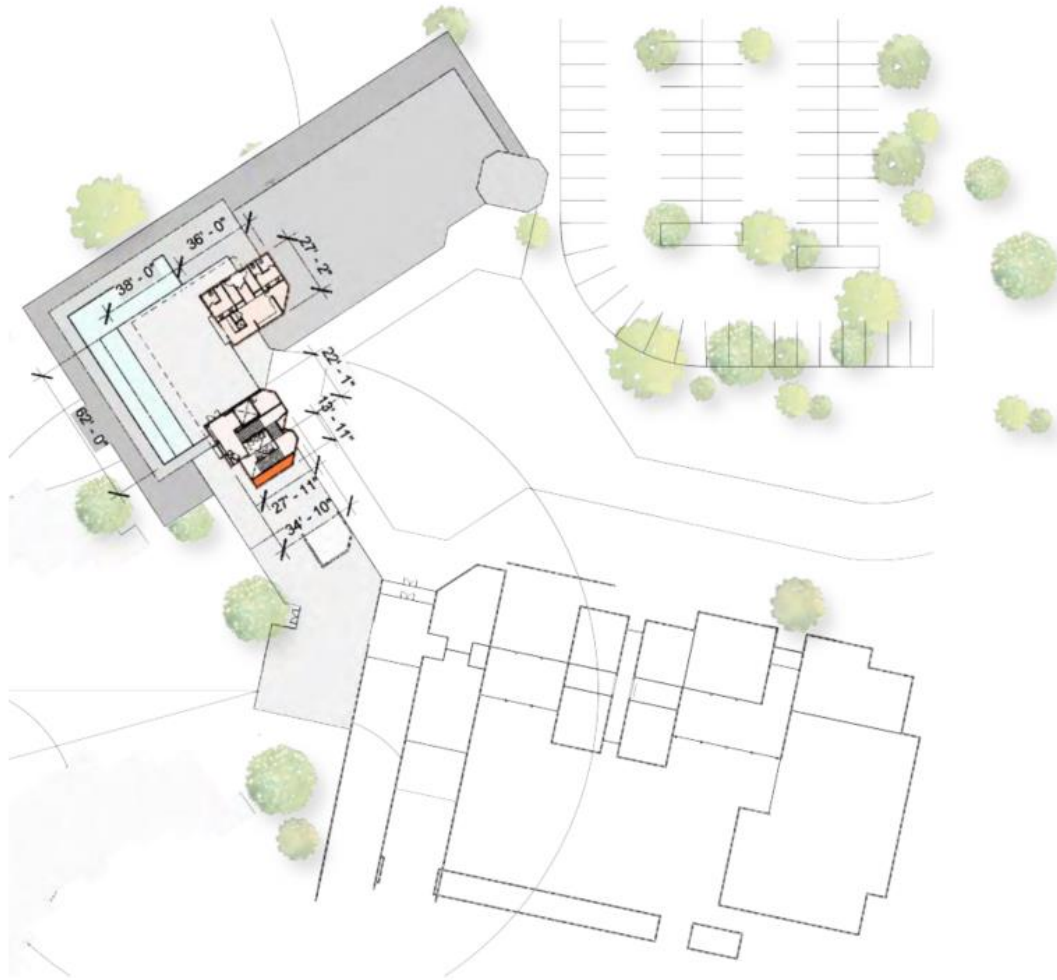
0' 25' 50' 100'



SCALE | 1:50

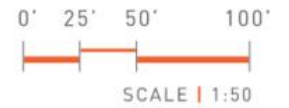
CORE BUILDING AND SPA |

OVERALL PLAN - LEVEL 02



PROGRAM | TYPE LEGEND

■ Rooftop Bar:	2,000 GSF
TOTAL:	2,000 GSF



CONCEPT PERSPECTIVE |
CORE BUILDING APPROACH



CONCEPT PERSPECTIVE | HOTEL LOBBY ENTRY



CONCEPT PERSPECTIVE |
SPA LOBBY ENTRY

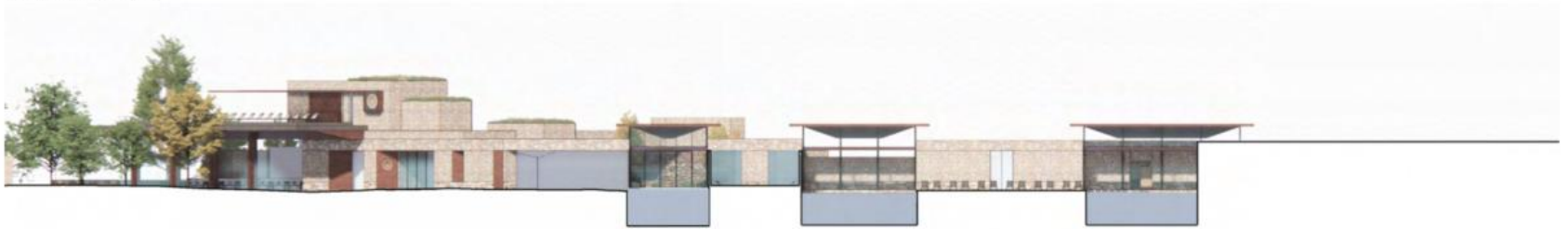


CONCEPT PERSPECTIVE I

HOT POT VIEW OVER SPA



CORE BUILDING AND SPA | ELEVATIONS



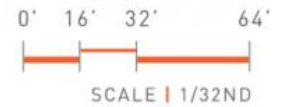
SOUTHWEST SPA ELEVATION



NORTHEAST SPA ELEVATION



SOUTHEAST SPA ELEVATION



CORE BUILDING AND SPA |

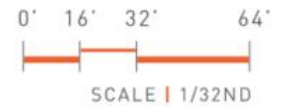
ELEVATIONS



NORTHEAST ENTRY ELEVATION



SOUTHWEST RESTAURANT ELEVATION





HOTEL ROOMS |

SITE PLAN



PROGRAM | TYPE LEGEND

80 Hotel Rooms:	41,920 GSF
24 Cottages:	42,240 GSF
1 Presidential Suite:	3,210 GSF
TOTAL:	87,370 GSF



0' 50' 100' 200'



SCALE | 1:100

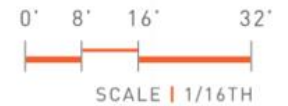
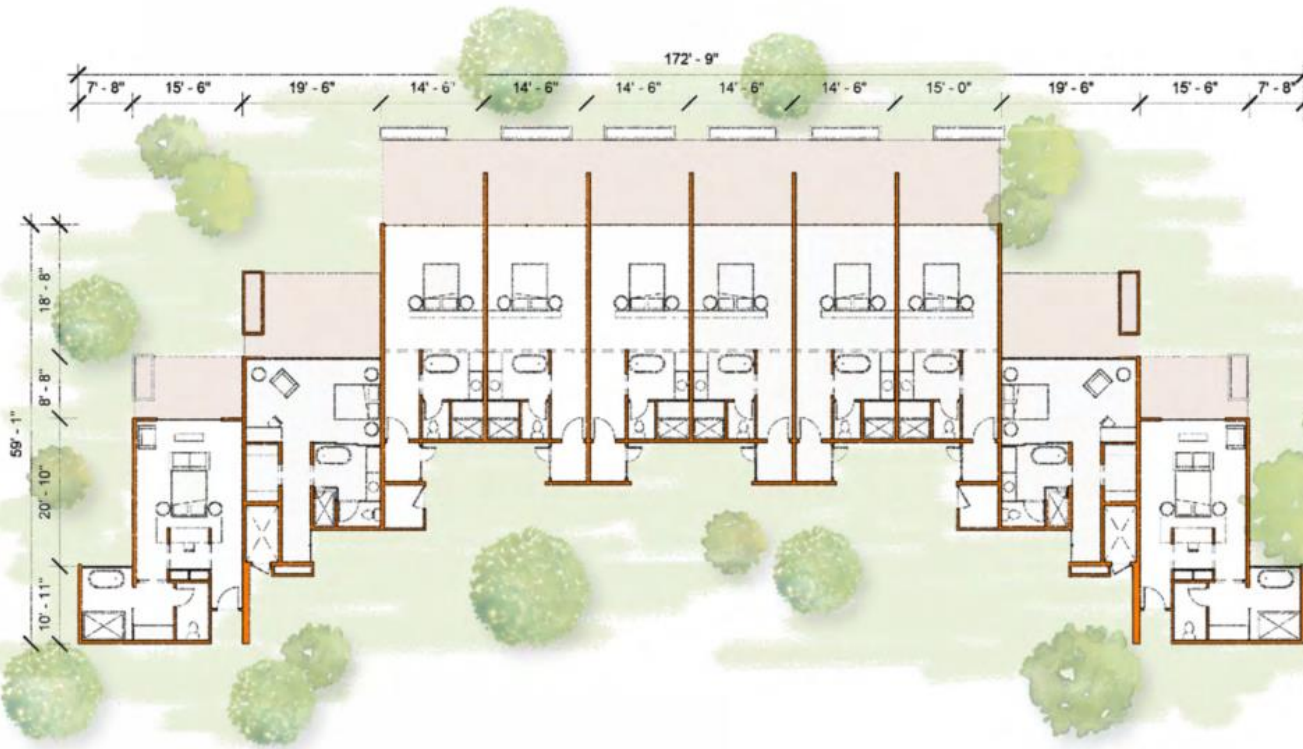
HOTEL ROOMS I

10 PACK - LEVEL 01 - FLOOR PLAN

PROGRAM | TYPE LEGEND

Standard Room:	(6)	500 GSF
Junior Suite:	(2)	540 GSF
Large Suite:	(2)	580 GSF

TOTAL: 5,240GSF
 2 Story TOTAL: 10,480 GSF



CONCEPT PERSPECTIVE I

HOTEL ROOMS



CONCEPT PERSPECTIVE |
HOTEL ROOM ENTRY



HOTEL ROOMS |

ELEVATIONS



STONE 1



WOOD 1



GREEN ROOF



CORTEN



WEST ELEVATION



EAST ELEVATION



CONCEPT PERSPECTIVE | HOTEL ROOM COURTYARD



CONCEPT PERSPECTIVE |
HOT POT VIEW OVER HOTEL ROOMS



COTTAGES I

LEVEL 01 - FLOOR PLAN



PROGRAM | ROOM LEGEND

- | | |
|-----------------|-------------|
| 1. Bedroom | 6. Kitchen |
| 2. Closet | 7. Dining |
| 3. Owner Closet | 8. Living |
| 4. Lock - Off | 9. Bathroom |
| 5. Laundry | |

PROGRAM | TYPE LEGEND

Junior Suite:	525 GSF
Large Suite:	1,235 GSF
TOTAL:	1,760 GSF

CONCEPT PERSPECTIVE I

1050 N STREET VIEW



COTTAGES | ELEVATIONS



STONE 2



WOOD 2



GREEN ROOF



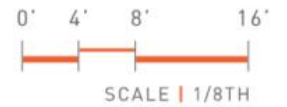
CORTEN + STONE 3



NORTH ELEVATION



EAST ELEVATION



COTTAGES | ELEVATIONS



STONE 4



WOOD 2



WOOD CEILING



CORTEN + STONE 3



SOUTH ELEVATION



WEST ELEVATION





DUPLEXES + LODGES

DUPLEXES AND LODGES |

SITE PLAN



PROGRAM | TYPE LEGEND

Duplexes:	86,800 GSF
Family Lodges:	12,160 GSF
TOTAL:	98,960 GSF



0' 50' 100' 200'



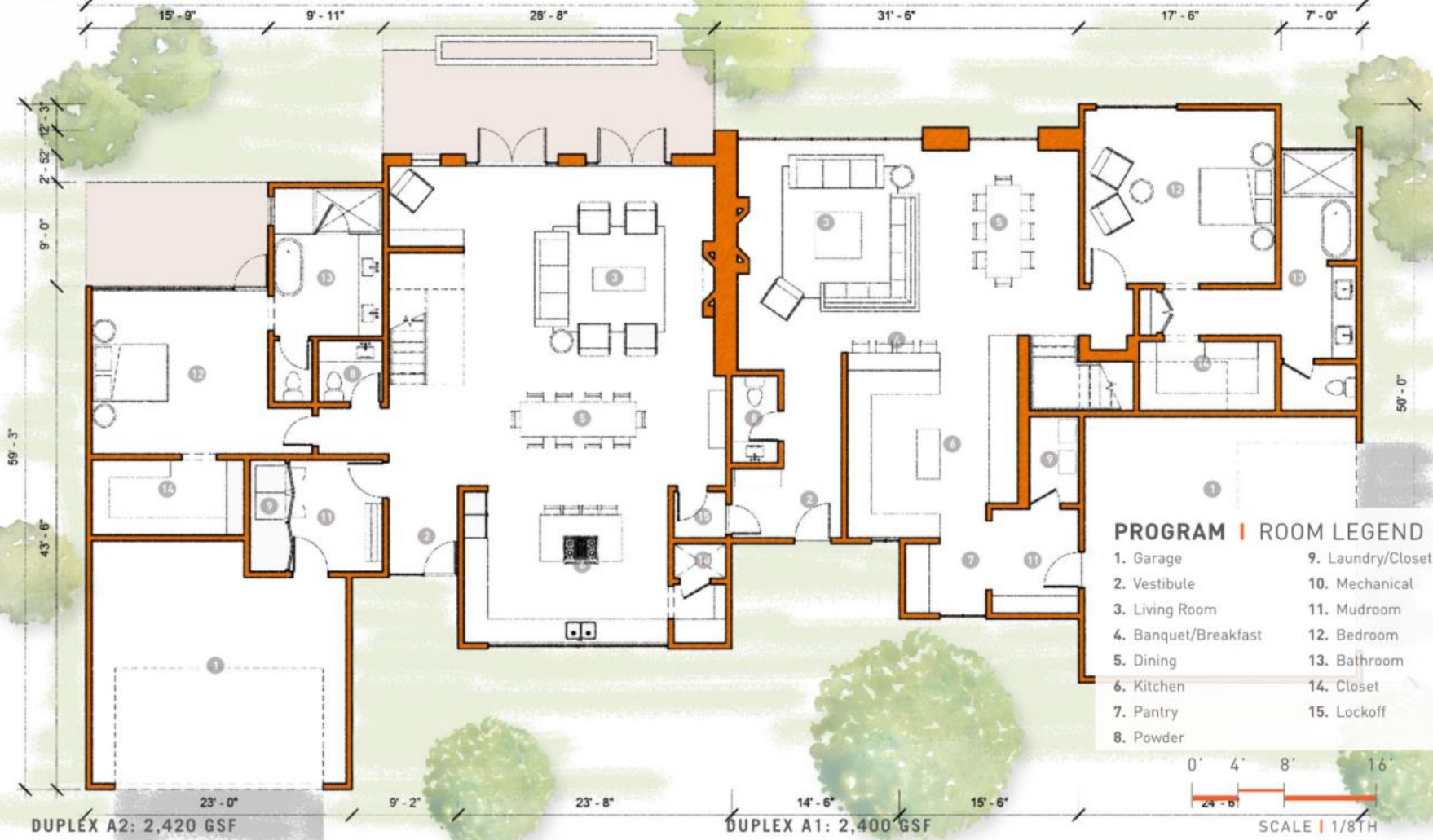
SCALE | 1:100

CONCEPT PERSPECTIVE |
DUPLEX APPROACH



DUPLEX A |

LEVEL 01 - LOCK OFF - FLOOR PLAN



DUPLEX A2: 2,420 GSF

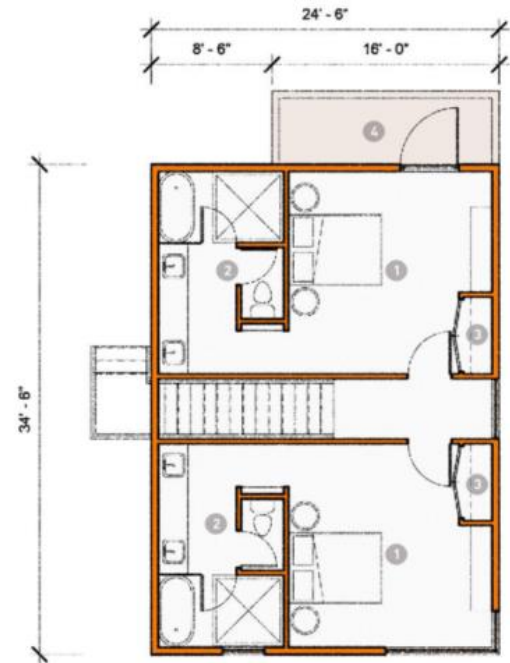
DUPLEX A1: 2,400 GSF

DUPLEX A |

LEVEL 02 - LOCK OFF - FLOOR PLAN



DUPLEX A2: 1,300 GSF



DUPLEX A1: 900 GSF

PROGRAM | ROOM LEGEND

- 1. Bedroom
- 2. Bathroom
- 3. Closet
- 4. Terrace

0' 4' 8' 16'

SCALE | 1/8TH

DUPLEX A | ELEVATIONS



STONE 2



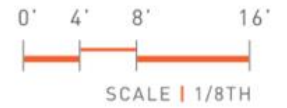
STONE 3 + CORTEN



WOOD 3



WEST ELEVATION



DUPLEX A | ELEVATIONS



WOOD 4



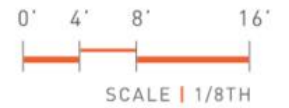
STONE 3 + CORTEN



WINDOW 1



EAST ELEVATION



CONCEPT PERSPECTIVE |
DUPLEX A



CONCEPT PERSPECTIVE |

DUPLEX A



DUPLEX B |
FLOOR PLAN LEVEL 01



DUPLEX B2: 2,300 GSF

DUPLEX B1: 2,400 GSF

PROGRAM | ROOM LEGEND

- | | |
|----------------|-------------------|
| 1. Garage | 8. Powder |
| 2. Vestibule | 9. Laundry/Closet |
| 3. Living Room | 10. Mechanical |
| 4. Lockoff | 11. Mudroom |
| 5. Dining | 12. Storage |
| 6. Kitchen | 13. Closet |
| 7. Pantry | |



DUPLEX B I
FLOOR PLAN LEVEL 02



DUPLEX B2: 1,800 GSF

DUPLEX B1: 1,800 GSF

PROGRAM | ROOM LEGEND

- 1. Bedroom
- 2. Bathroom
- 3. Closet
- 4. Terrace

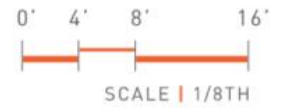
0' 4' 8' 16'

SCALE | 1/8TH

DUPLEX B |
ELEVATIONS



SOUTHEAST ELEVATION



DUPLEX B |
ELEVATIONS



SOUTHWEST ELEVATION



CONCEPT PERSPECTIVE |
DUPLEX B



CONCEPT PERSPECTIVE |
DUPLEX B



FAMILY LODGE I

FLOOR PLAN LEVEL 01 - STUDY OPTION



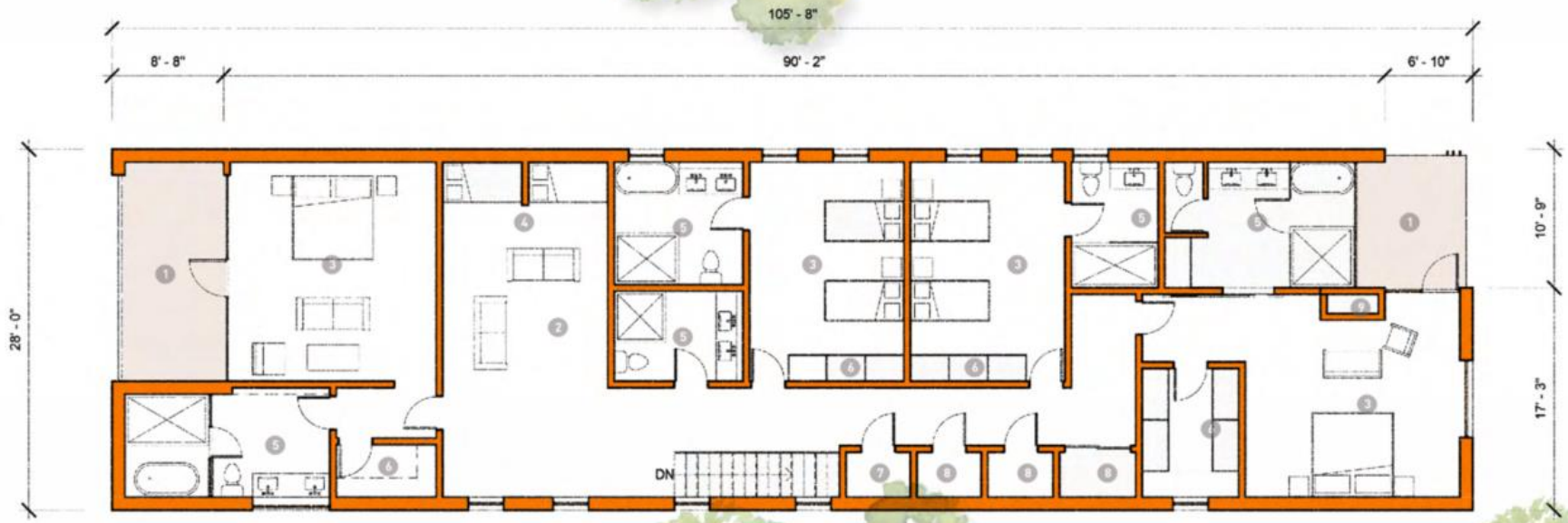
- PROGRAM | ROOM LEGEND**
- | | |
|----------------------|------------------------|
| 1. Garage | 9. Laundry/Closet |
| 2. Vestibule | 10. Mechanical |
| 3. Living Room | 11. Mudroom |
| 4. Banquet/Breakfast | 12. Study |
| 5. Dining | 13. Powder |
| 6. Kitchen | 14. Closet |
| 7. Pantry | 15. Exterior Fireplace |
| 8. Gear | |

FAMILY LODGE I

FLOOR PLAN LEVEL 02

PROGRAM | ROOM LEGEND

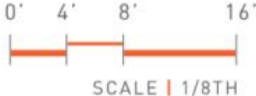
- | | |
|-------------|-------------------|
| 1. Terrace | 6. Closet |
| 2. Fun Room | 7. Mechanical |
| 3. Bedroom | 8. Laundry/Closet |
| 4. Bunks | 9. Fireplace |
| 5. Bathroom | |



FAMILY LODGE |
ELEVATIONS



SOUTHWEST ELEVATION



FAMILY LODGE |

ELEVATIONS



SOUTHEAST ELEVATION



PROJECTED ERU |

REVISED GSF

TOTAL | GROSS SF

PROGRAM	Gross SF
80 Hotel Rooms:	41,920
24 Cottages:	42,240
1 Presidential Suite:	3,210
Core Building:	55,705
24 Duplexes:	86,800
2 Family Lodges:	12,160
Old Stone Structure:	-
4 Yurts:	3,000
1 Event Barn:	4,000
TOTAL:	249,035

PROJECTED ERU I

REVISED GSF

MAIN BUILDING

PROGRAM	Gross SF
Full Service/Multi-Dimensional Spa:	10,220
Med Spa Addition:	7,300
Basement Spa:	5,140
Hotel Lobby/Admin/Support/Fitness:	5,310
Basement Hotel/Event/Restaurant:	12,165
Event/Prefunction/Support:	7,050
Kitchen/Food Prep/Support:	6,520
Rooftop Bar:	2,000
TOTAL	55,705

COTTAGES + HOTEL ROOMS

PROGRAM	Gross SF
80 Hotel Rooms:	41,920
24 Cottages:	42,240
1 Presidential Suite:	3,210
TOTAL	87,370

DUPLEXES

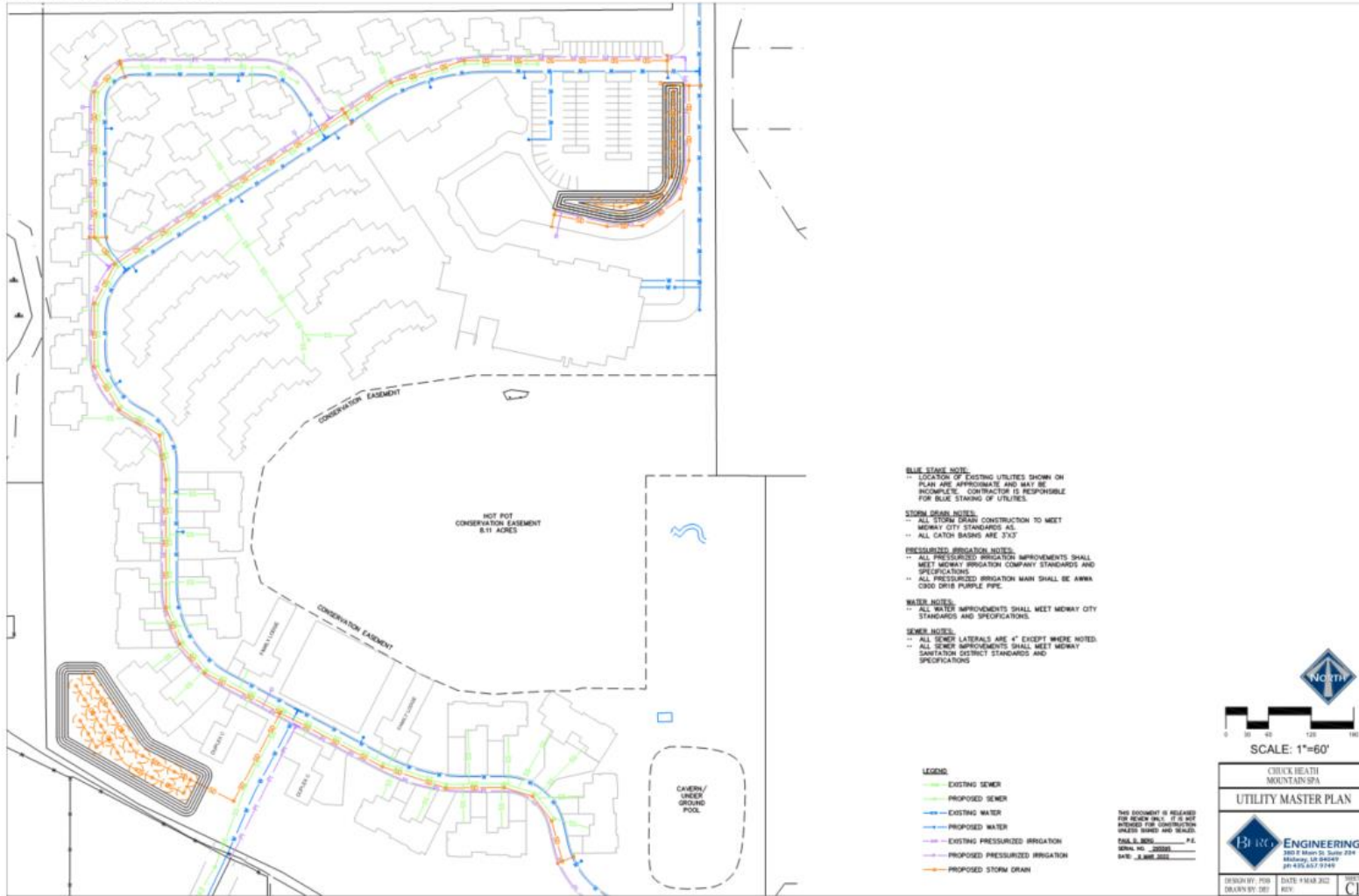
PROGRAM	Gross SF
24 Duplexes:	86,800
2 Family Lodges:	12,160
TOTAL	98,960



UTILITIES

UTILITIES I

UTILITY MASTER PLAN



QUESTIONS?